

FRATELLI GROUP

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| | | | | | | | | | | | | |
|----------------------|---------------|-----|----------|-------------------------------------|-----|---------|-----|----------------|-----|--|----------------|-----------|
| COUNCIL: JOONDALUP | | | | PROJECT: ELITE SPECIFICATION CUSTOM | | | | OWNER(S): TODD | | | | |
| REV | DETAILS | DWN | DATE | CHK | REV | DETAILS | DWN | DATE | CHK | ADDRESS: LOT 1 (#58a) BERNARD MANNING DRIVE DUNCRAIG | | |
| 01 | PLANNING DWGS | LM | MAR'26 | - | | | | | | JOB NO: FH449 | SHEET 01 of 09 | REV No: |
| 02 | SOAKWELLS | LM | 12.05.26 | | | | | | | SITE PLAN | SCALE: | 03 |
| 03 | SHIRE AMEND | LM | 18.05.26 | | | | | | | | | |
| OWNER..... DATE..... | | | | BUILDER..... DATE..... | | | | | | | | |



SHADOW DIAGRAM
110.03 m² SOLID HATCH
SHOWING SHADOW
CAST AT MIDDAY
ON 21st JUNE FOR PERTH
OVER ADJOINING P.A.W.

SHADOW DIAGRAM
2.41 m² SOLID HATCH
SHOWING SHADOW
CAST AT MIDDAY
ON 21st JUNE FOR PERTH
OVER ADJOINING P.A.W.

SITE COVER CALC.

| | |
|------------|----------------------|
| ZONED | R40 |
| % ALLOWED | 60% |
| SITE AREA | 350.00m ² |
| SITE COVER | 204.98m ² |

SITE COV. =58.6%

TERMITE TREATMENT TO BE IN ACCORDANCE N.C.C. 2019 PART 1.0.7 PART 2.1.1 & PART 3.1.4 USING THE TERMICO MANAGEMENT SYSTEM

NOTE:
SET DOWN SHOWER RECESS BASE 30mm & FIT REFLUX VALVE.

ALL PAVING BY OWNER AFTER HANDOVER

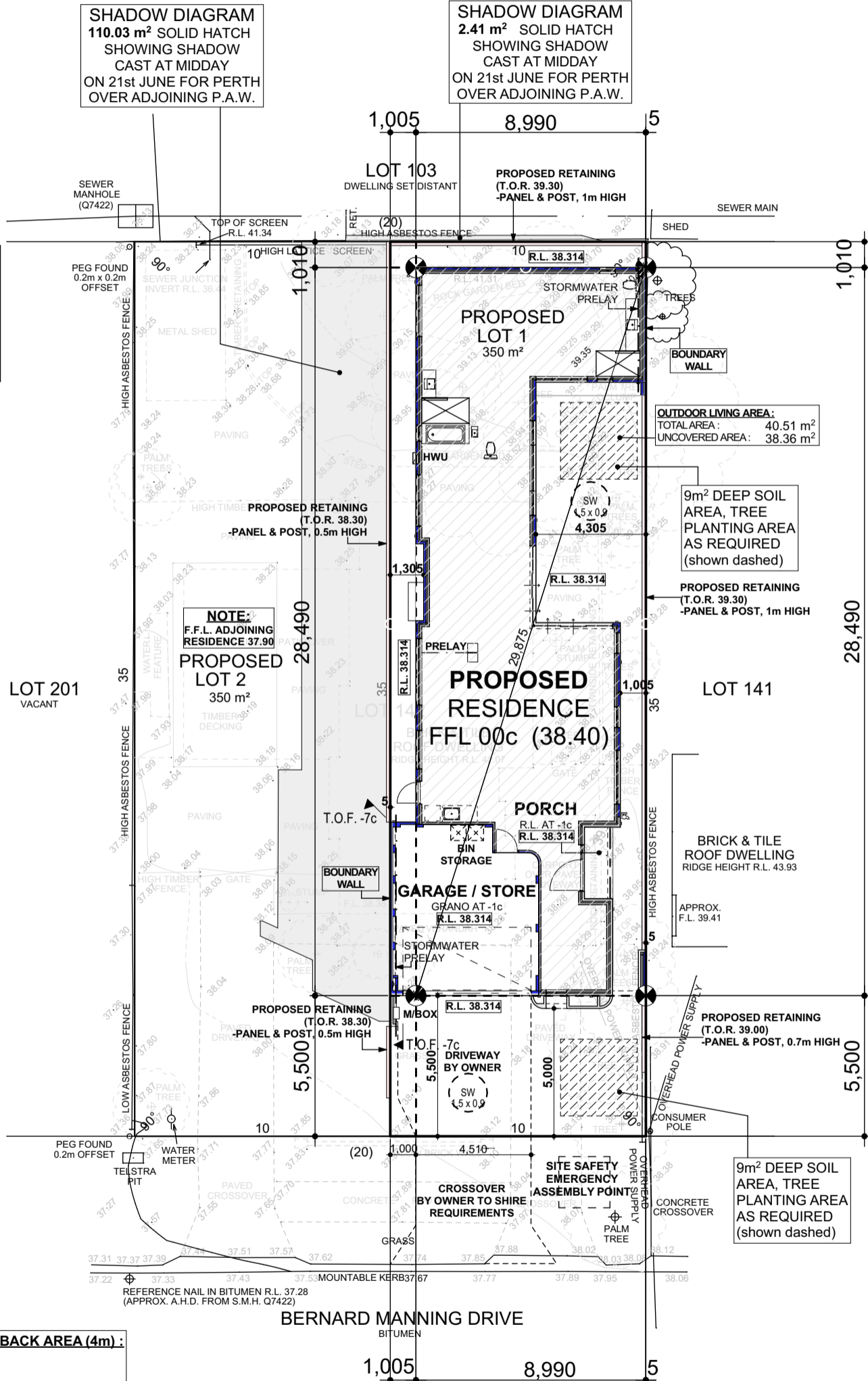
STORMWATER DISPOSAL BY BUILDER TO COUNCIL REQUIREMENTS (SOAKWELLS) PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS.

| Soak Well Type | No. | Capacity |
|-----------------------------------|-----|----------------------|
| SW 1500x900 | 2 | 3.2 m ³ |
| Total Capacity | | 3.2 m ³ |
| Roof Area GF | | 220.0 m ² |
| Total Area | | 220.0 m ² |
| Capacity Required (Area x 0.0125) | | 2.8 m ³ |
| Extra Capacity Provided | | 0.4 m ³ |

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

NOTE: EXISTING HOUSE TO BE DEMOLISHED

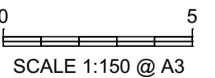
NOTE: REMOVAL OF ALL TREES / STUMPS BUSHES AS REQUIRED



LOT 1 (#58a) - LANDSCAPING SETBACK AREA (4m):
TOTAL SETBACK AREA 40.00m²
PERVIOUS AREA = 19.69m²
IMPERVIOUS AREA = 20.31m²

PROPOSED BOUNDARY
EXISTING BOUNDARY

NOTES : ALL BUILDINGS & STRUCTURES ON PROPOSED LOTS TO BE REMOVED.
NO BOUNDARY CORNER MARKS FOUND, UNLESS OTHERWISE STATED.



DIAL 1100 BEFORE YOU DIG

| | |
|--|-----|
| POWER - OVERHEAD | YES |
| WATER - YES | YES |
| SEWERAGE - YES | YES |
| GAS - YES | YES |
| TELSTRA - YES | YES |
| HYDRANTS - REFER TO WATER CORP E-PLAN | |
| DRAINAGE - GOOD | |
| ROAD - BITUMEN | |
| KERB - MOUNTABLE | |
| FOOTPATH - LOCATED | |
| VIEWS - NONE | |
| OVERHANGING TREES - LOCATED | |
| SIGNIFICANT ENCROACHMENTS - LOW BRICK WALL ON FRONT BOUNDARY | |
| BUSH FIRE PRONE AREA - NO | |

PROPOSED SUBDIVISION OF LOT 142
#58 BERNARD MANNING DRIVE, DUNCRAIG

| | |
|----------------|----------------------------|
| PLAN | : 13950 |
| C/T | : 1627-288 |
| AUTHORITY | : CITY OF JOONDALUP |
| TOTAL LOT AREA | : 700 m ² Orig. |
| SCALE | : 1 : 150 @ A3 |
| SURVEY DATE | : 09-12-2021 |
| JOB | : 18051 |

THIS PROPOSED SUBDIVISION PLAN IS SUBJECT TO APPROVAL BY THE WESTERN AUSTRALIAN PLANNING COMMISSION & LOCAL GOVERNMENT & IS SUBJECT TO FIELD SURVEY TO CONFIRM PROPOSED DIMENSIONS.

| | |
|------------|--------------|
| DRAFTED BY | : GO |
| DATE | : 06-01-2022 |
| CHECKED BY | : DKM |

HEIGHT DATUM A.H.D.

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9300 8137
www.surveyingsolutionswa.com.au

CHECK TITLE FOR EASEMENTS, RESTRICTIVE COVENANTS ETC.
THIS SURVEY DOES NOT GUARANTEE THE CORRECT POSITION OF BOUNDARY PEGS FOUND OR FENCE POSITIONS SHOWN, UNLESS A BOUNDARY RE-ESTABLISHMENT SURVEY HAS BEEN UNDERTAKEN BY SURVEYING SOLUTIONS WA. ALL FEATURES AND BUILDING POSITIONS ARE APPROXIMATE ONLY, AS THEY HAVE BEEN POSITIONED FROM MEASUREMENTS TAKEN FROM EXISTING PEGS, FENCES & WALLS.
A BOUNDARY RE-ESTABLISHMENT SURVEY IS RECOMMENDED PRIOR TO UNDERTAKING ANY SITE WORKS OR CONSTRUCTION.
INFORMATION SHOWN ON THIS SURVEY IS CURRENT AT THE DATE SHOWN. SURVEYING SOLUTIONS WA ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES THAT HAVE OCCURRED AFTER THIS DATE, TO SITE LEVELS AND FEATURES OR BUILDINGS. CADASTRAL BOUNDARY DIMENSIONS SHOWN HAVE BEEN OBTAINED FROM SURVEY PLANS AND ARE SUBJECT TO FIELD SURVEY UNLESS SHOWN OTHERWISE.

LOT STATISTICS

| | |
|---------------------------------------|--------------------------|
| ORIGINAL LOT 142 TOTAL AREA | 700 m ² |
| R20/40 MINIMUM LOT SIZE | 160 m ² (R40) |
| R20/40 AVERAGE LOT SIZE | 220 m ² (R40) |
| PROPOSED LOT 199 - 350 m ² | |
| PROPOSED LOT 200 - 350 m ² | |
| PROPOSED MINIMUM LOT SIZE | 350 m ² |
| PROPOSED AVERAGE LOT SIZE | 350 m ² |

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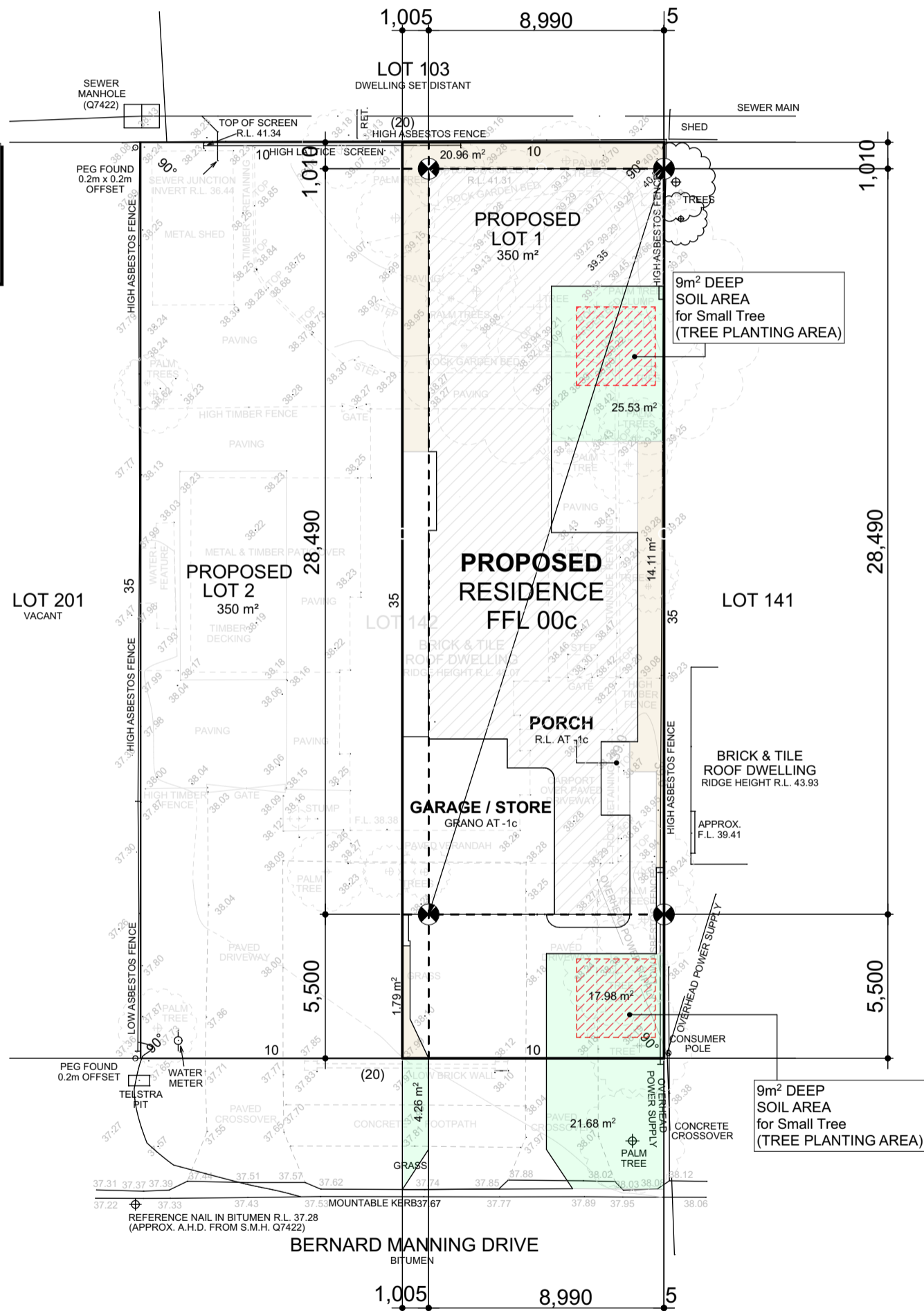
| | | | | | | | | | | | | |
|--------------------|---------------|-----|----------|-------------------------------------|-----|---------|-----|----------------|-----|--|----------------|---------|
| COUNCIL: JOONDALUP | | | | PROJECT: ELITE SPECIFICATION CUSTOM | | | | OWNER(S): TODD | | | | |
| REV | DETAILS | DWN | DATE | CHK | REV | DETAILS | DWN | DATE | CHK | ADDRESS: LOT 1 (#58a) BERNARD MANNING DRIVE DUNCRAIG | | |
| 01 | PLANNING DWGS | LM | MAR'26 | - | | | | | | JOB NO: FH449 | SHEET 02 of 09 | REV No: |
| 02 | SOAKWELLS | LM | 12.05.26 | | | | | | | LANDSCAPE PLAN | SCALE: | 03 |
| 03 | SHIRE AMEND | LM | 18.05.26 | | | | | | | | | |
| | | | | OWNER..... DATE..... | | | | | | | | |
| | | | | BUILDER..... DATE..... | | | | | | | | |



| SITE COVER CALC. | |
|------------------|----------------------|
| ZONED | R40 |
| % ALLOWED | 60% |
| SITE AREA | 350.00m ² |
| SITE COVER | 204.98m ² |
| SITE COV. =58.6% | |

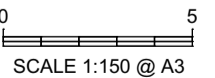
| LANDSCAPING : | |
|---------------|-------------------------|
| | SELECTED LAWN AREA |
| | GARDEN BED & MULCH AREA |

| LANDSCAPING AREA - H.O.A. | |
|------------------------------|---------------------|
| LOT AREA - 350m ² | |
| AREA REQUIRED (20%): | 70m ² |
| TOTAL LANDSCAPE AREA: | 80.37m ² |



— PROPOSED BOUNDARY
— EXISTING BOUNDARY

NOTES : ALL BUILDINGS & STRUCTURES ON PROPOSED LOTS TO BE REMOVED.
NO BOUNDARY CORNER MARKS FOUND, UNLESS OTHERWISE STATED.



| | |
|--|-----|
| DIAL 1100 BEFORE YOU DIG | |
| POWER - OVERHEAD | YES |
| WATER - YES | YES |
| SEWERAGE - YES | YES |
| GAS - YES | YES |
| TELSTRA - YES | YES |
| HYDRANTS - REFER TO WATER CORP E-PLAN | |
| DRAINAGE - GOOD | |
| ROAD - BITUMEN | |
| KERB - MOUNTABLE | |
| FOOTPATH - LOCATED | |
| VIEWS - NONE | |
| OVERHANGING TREES - LOCATED | |
| SIGNIFICANT ENCROACHMENTS - LOW BRICK WALL ON FRONT BOUNDARY | |
| BUSH FIRE PRONE AREA - NO | |

| PROPOSED SUBDIVISION OF LOT 142 #58 BERNARD MANNING DRIVE, DUNCRAIG | |
|---|----------------------------|
| PLAN | : 13950 |
| C/T | : 1627-288 |
| AUTHORITY | : CITY OF JOONDALUP |
| TOTAL LOT AREA | : 700 m ² Orig. |
| SCALE | : 1 : 150 @ A3 |
| SURVEY DATE | : 09-12-2021 |
| JOB | : 18051 |
| THIS PROPOSED SUBDIVISION PLAN IS SUBJECT TO APPROVAL BY THE WESTERN AUSTRALIAN PLANNING COMMISSION & LOCAL GOVERNMENT & IS SUBJECT TO FIELD SURVEY TO CONFIRM PROPOSED DIMENSIONS. | |
| DRAFTED BY | : GO |
| DATE | : 06-01-2022 |
| CHECKED BY | : DKM |

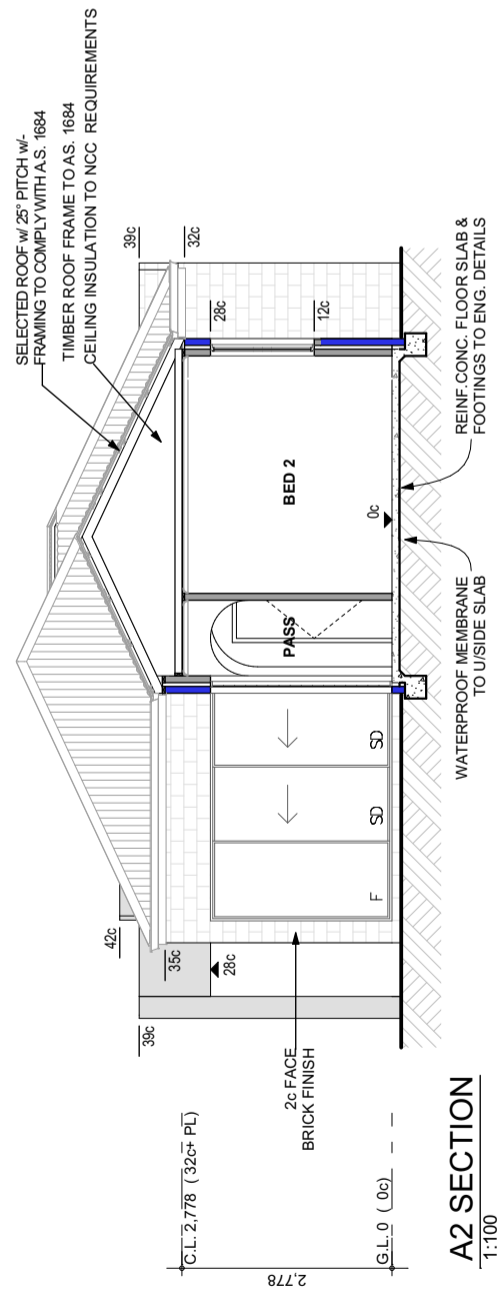
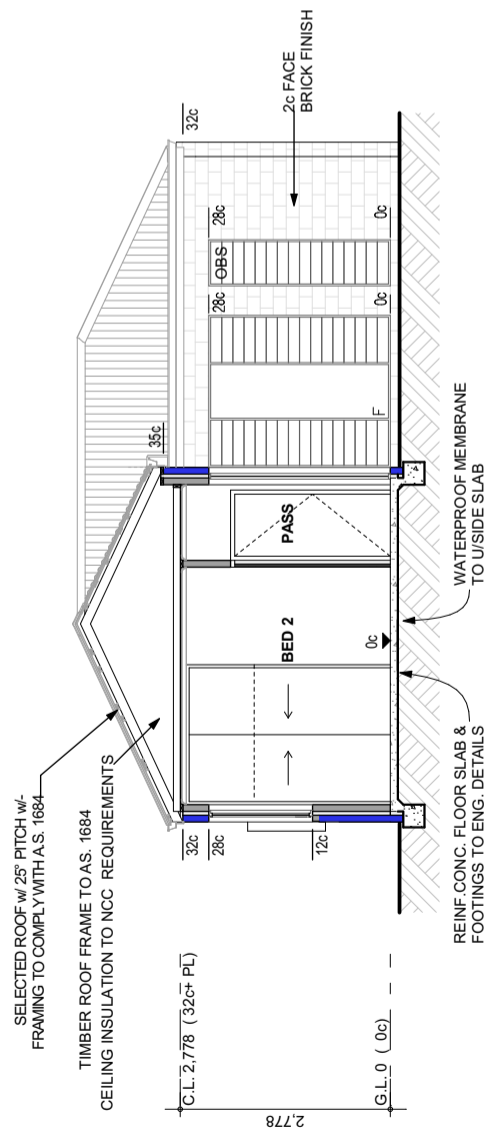
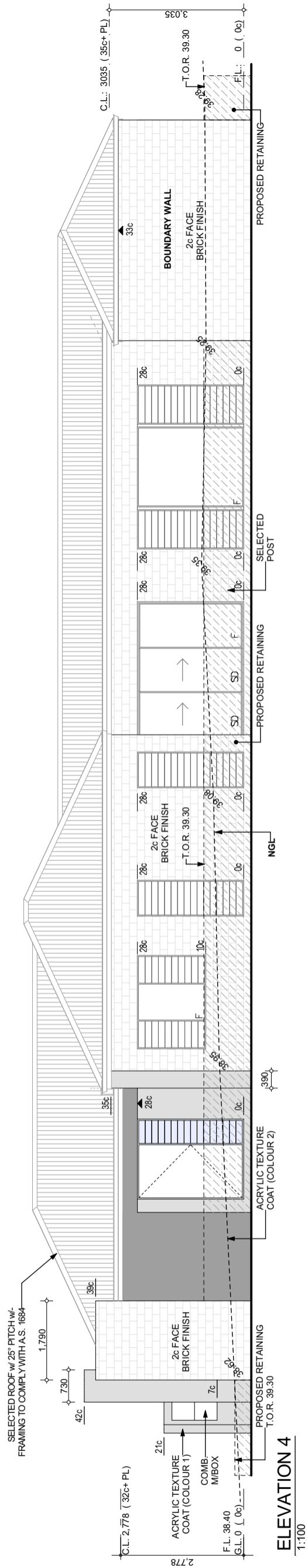
HEIGHT DATUM A.H.D.

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| LOT STATISTICS | |
|---------------------------------------|--------------------------|
| ORIGINAL LOT 142 TOTAL AREA | 700 m ² |
| R20/40 MINIMUM LOT SIZE | 160 m ² (R40) |
| R20/40 AVERAGE LOT SIZE | 220 m ² (R40) |
| PROPOSED LOT 199 - 350 m ² | |
| PROPOSED LOT 200 - 350 m ² | |
| PROPOSED MINIMUM LOT SIZE | 350 m ² |
| PROPOSED AVERAGE LOT SIZE | 350 m ² |

NOTE:
32c + PLATE CEILING
 LEVEL
 UNLESS NOTED OTHERWISE.
METAL DECK ROOF
AT 25° EAVE AT 500mm
 02c DOUBLE HEIGHT FACE BWK
 -ACRYLIC TEXTURE COAT,
 1c FACE BWK & LINEA
 WEATHERBOARD FINISH TO
 EXTERNAL BWK UNLESS NOTED
 OTHERWISE.



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COUNCIL:
JOONDALUP

PROJECT: ELITE SPECIFICATION
CUSTOM

OWNER(S):
TODD

| REV | DETAILS | DWN | DATE | CHK | REV | DETAILS | DWN | DATE | CHK |
|-----|---------------|-----|----------|-----|-----|---------|-----|------|-----|
| 01 | PLANNING DWGS | LM | MAR'26 | - | | | | | |
| 02 | SOAKWELLS | LM | 12.05.26 | | | | | | |
| 03 | SHIRE AMEND | LM | 18.05.26 | | | | | | |

ADDRESS:
**LOT 1 (#58a)
 BERNARD MANNING DRIVE
 DUNCRAIG**

OWNER..... DATE.....

JOB NO: **FH449** SHEET 05 of 09 REV No:

BUILDER..... DATE.....

ELEVATIONS / SECTIONS SCALE: 1:100 **03**

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| | | | | | | | | |
|------------------------------|---------------|-------------|---|-----|---------|---|-----|--|
| COUNCIL: JOONDALUP | | | PROJECT: ELITE SPECIFICATION CUSTOM | | | OWNER(S): TODD | | |
| REV | DETAILS | DWN DATE | CHK | REV | DETAILS | DWN DATE | CHK | ADDRESS: LOT 2 (#58b) BERNARD MANNING DRIVE DUNCRAIG |
| 01 | PLANNING DWGS | LM MAR'26 | - | | | | | JOB NO: FH467 SHEET 01 of 09 REV No: |
| 02 | W.DWGS | LM 07.04.26 | | | | | | SCALE: 04 |
| 03 | STORMWATER | LM 12.05.26 | | | | | | |
| 04 | SHIRE AMEND | LM 18.05.26 | | | | | | SITE PLAN |
| OWNER..... DATE..... | | | BUILDER..... DATE..... | | | JOB NO: FH467 SHEET 01 of 09 REV No: | | |



SHADOW DIAGRAM
110.03 m² SOLID HATCH
SHOWING SHADOW
CAST AT MIDDAY
ON 21st JUNE FOR PERTH
OVER ADJOINING P.A.W.

SHADOW DIAGRAM
2.41 m² SOLID HATCH
SHOWING SHADOW
CAST AT MIDDAY
ON 21st JUNE FOR PERTH
OVER ADJOINING P.A.W.

SITE COVER CALC.

| | |
|------------|----------------------|
| ZONED | R40 |
| % ALLOWED | 60% |
| SITE AREA | 350.00m ² |
| SITE COVER | 204.98m ² |

SITE COV. =58.6%

TERMITE TREATMENT TO BE IN ACCORDANCE N.C.C. 2019 PART 1.0.7 PART 2.1.1 & PART 3.1.4 USING THE TERMICO MANAGEMENT SYSTEM

NOTE:
SET DOWN SHOWER RECESS BASE 30mm & FIT REFLUX VALVE.

ALL PAVING BY OWNER AFTER HANDOVER

STORMWATER DISPOSAL BY BUILDER TO COUNCIL REQUIREMENTS (SOAKWELLS) PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS.

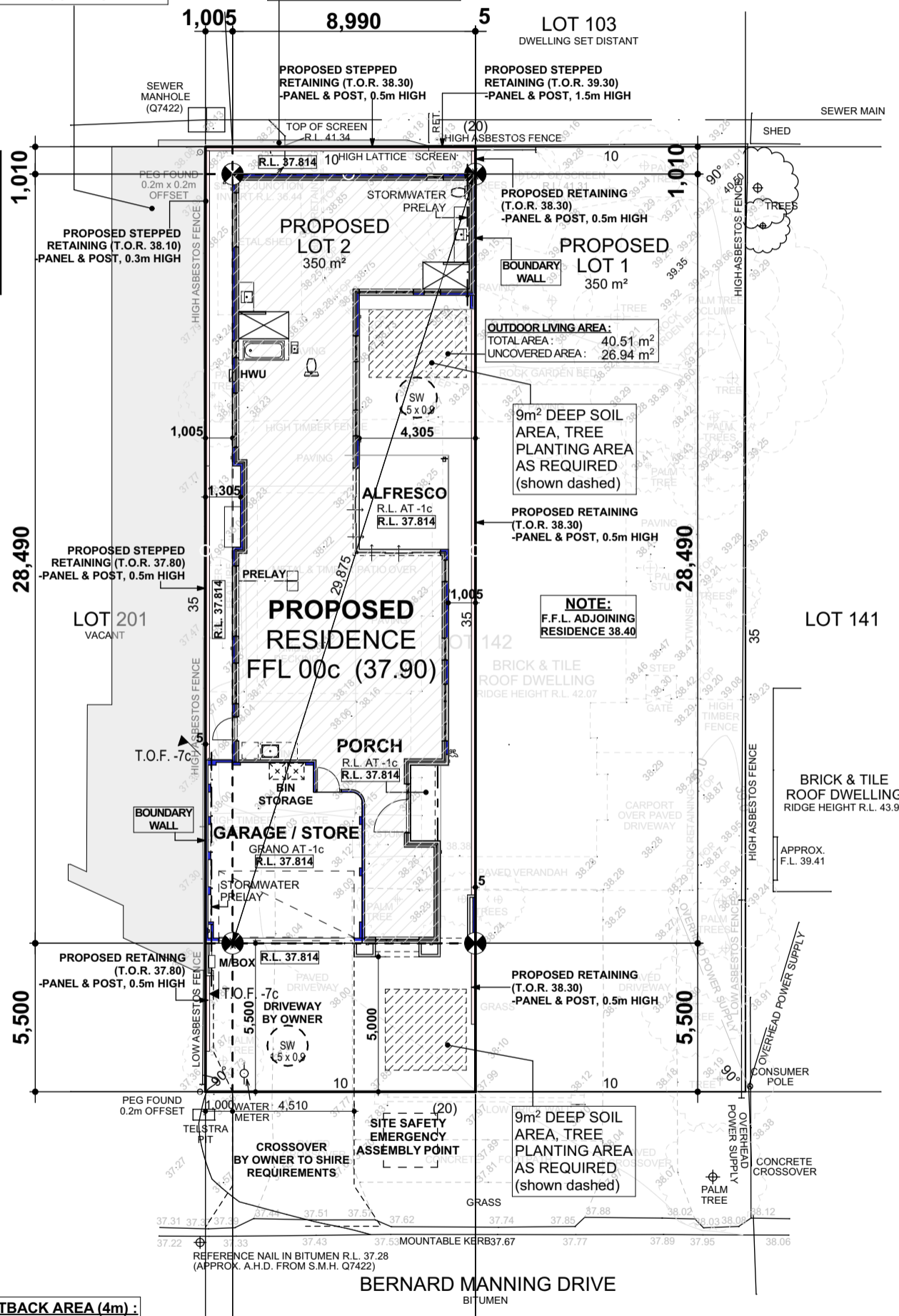
| Soak Well Type | No. | Capacity |
|-----------------------------------|-----|----------------------|
| SW 1500x900 | 2 | 3.2 m ³ |
| Total Capacity | | 3.2 m ³ |
| Roof Area GF | | 220.0 m ² |
| Total Area | | 220.0 m ² |
| Capacity Required (Area x 0.0125) | | 2.8 m ³ |
| Extra Capacity Provided | | 0.4 m ³ |

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

NOTE: EXISTING HOUSE TO BE DEMOLISHED

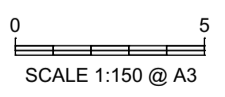
NOTE: REMOVAL OF ALL TREES / STUMPS BUSHES AS REQUIRED

LOT 2 (#58b) - LANDSCAPING SETBACK AREA (4m) :
TOTAL SETBACK AREA 40.00m²
PERVIOUS AREA = 19.69m²
IMPERVIOUS AREA =20.31m²



— PROPOSED BOUNDARY
— EXISTING BOUNDARY

NOTES : ALL BUILDINGS & STRUCTURES ON PROPOSED LOTS TO BE REMOVED.
NO BOUNDARY CORNER MARKS FOUND, UNLESS OTHERWISE STATED.



DIAL 1100 BEFORE YOU DIG

| | |
|--|---------------------------------------|
| POWER - OVERHEAD | WATER - YES |
| SEWERAGE - YES | GAS - YES |
| TELSTRA - YES | HYDRANTS - REFER TO WATER CORP E-PLAN |
| DRAINAGE - GOOD | ROAD - BITUMEN |
| KERB - MOUNTABLE | FOOTPATH - LOCATED |
| VIEWS - NONE | OVERHANGING TREES - LOCATED |
| SIGNIFICANT ENCROACHMENTS - LOW BRICK WALL ON FRONT BOUNDARY | BUSH FIRE PRONE AREA - NO |

PROPOSED SUBDIVISION OF LOT 142 #58 BERNARD MANNING DRIVE, DUNCRAIG

| | |
|----------------|----------------------------|
| PLAN | : 13950 |
| C/T | : 1627-288 |
| AUTHORITY | : CITY OF JOONDALUP |
| TOTAL LOT AREA | : 700 m ² Orig. |
| SCALE | : 1 : 150 @ A3 |
| SURVEY DATE | : 09-12-2021 |
| JOB | : 18051 |

THIS PROPOSED SUBDIVISION PLAN IS SUBJECT TO APPROVAL BY THE WESTERN AUSTRALIAN PLANNING COMMISSION & LOCAL GOVERNMENT & IS SUBJECT TO FIELD SURVEY TO CONFIRM PROPOSED DIMENSIONS.

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| DATE | : 06-01-2022 |
| CHECKED BY | : DKM |

HEIGHT DATUM A.H.D.

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LOT STATISTICS

| | |
|---------------------------------------|--------------------------|
| ORIGINAL LOT 142 TOTAL AREA | 700 m ² |
| R20/40 MINIMUM LOT SIZE | 180 m ² (R40) |
| R20/40 AVERAGE LOT SIZE | 220 m ² (R40) |
| PROPOSED LOT 199 - 350 m ² | |
| PROPOSED LOT 200 - 350 m ² | |
| PROPOSED MINIMUM LOT SIZE | 350 m ² |
| PROPOSED AVERAGE LOT SIZE | 350 m ² |

| | | | | | | | | | | | | |
|------------------------|---------------|-----|----------|-------------------------------------|-----|---------|-----|----------------|-----|--|----------------|-----------|
| COUNCIL: JOONDALUP | | | | PROJECT: ELITE SPECIFICATION CUSTOM | | | | OWNER(S): TODD | | | | |
| REV | DETAILS | DWN | DATE | CHK | REV | DETAILS | DWN | DATE | CHK | ADDRESS: LOT 2 (#58b) BERNARD MANNING DRIVE DUNCRAIG | | |
| 01 | PLANNING DWGS | LM | MAR'26 | - | | | | | | JOB NO: FH467 | SHEET 02 of 09 | REV No: |
| 02 | W.DWGS | LM | 07.04.26 | | | | | | | LANDSCAPE PLAN | SCALE: | 04 |
| 03 | STORMWATER | LM | 12.05.26 | | | | | | | | | |
| 04 | SHIRE AMEND | LM | 18.05.26 | | | | | | | | | |
| OWNER..... DATE..... | | | | JOB NO: FH467 | | | | SHEET 02 of 09 | | REV No: | | |
| BUILDER..... DATE..... | | | | LANDSCAPE PLAN | | | | SCALE: | | 04 | | |



SITE COVER CALC.

| | |
|------------|----------------------|
| ZONED | R40 |
| % ALLOWED | 60% |
| SITE AREA | 350.00m ² |
| SITE COVER | 204.98m ² |

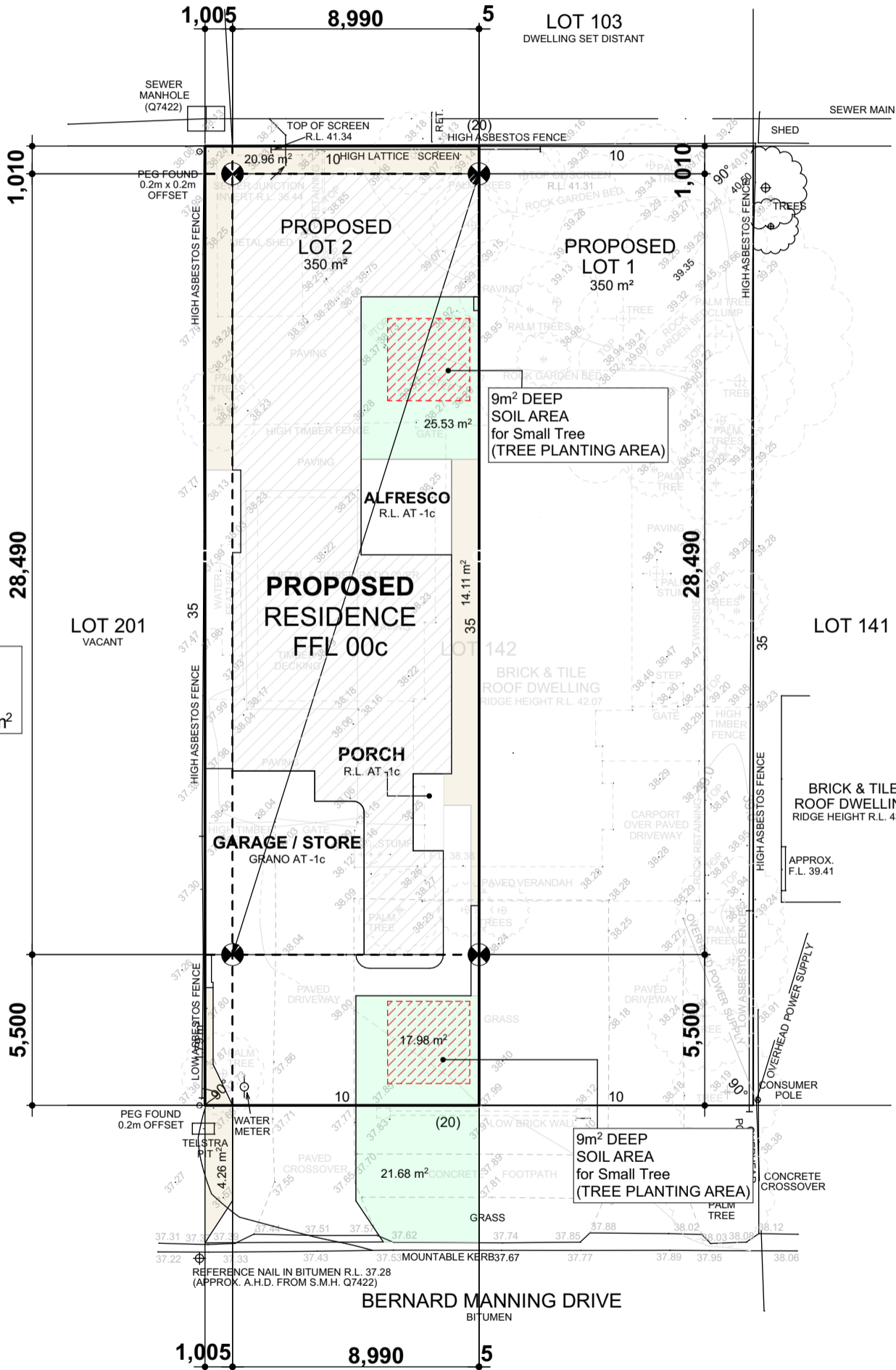
SITE COV. =58.6%

LANDSCAPING :

| | |
|--|-------------------------|
| | SELECTED LAWN AREA |
| | GARDEN BED & MULCH AREA |

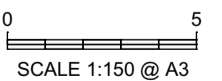
LANDSCAPING AREA - H.O.A.

| | |
|------------------------------|---------------------|
| LOT AREA - 350m ² | |
| AREA REQUIRED (20%) : | 70m ² |
| TOTAL LANDSCAPE AREA : | 80.37m ² |



— PROPOSED BOUNDARY
— EXISTING BOUNDARY

NOTES : ALL BUILDINGS & STRUCTURES ON PROPOSED LOTS TO BE REMOVED.
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DIAL 1100 BEFORE YOU DIG

| | |
|--|-----|
| POWER - OVERHEAD | YES |
| WATER - YES | YES |
| SEWERAGE - YES | YES |
| GAS - YES | YES |
| TELSTRA - YES | YES |
| HYDRANTS - REFER TO WATER CORP E-PLAN | |
| DRAINAGE - GOOD | |
| ROAD - BITUMEN | |
| KERB - MOUNTABLE | |
| FOOTPATH - LOCATED | |
| VIEWS - NONE | |
| OVERHANGING TREES - LOCATED | |
| SIGNIFICANT ENCROACHMENTS - LOW BRICK WALL ON FRONT BOUNDARY | |
| BUSH FIRE PRONE AREA - NO | |

| | |
|---|----------------------------|
| PROPOSED SUBDIVISION OF LOT 142 #58 BERNARD MANNING DRIVE, DUNCRAIG | |
| PLAN | : 13950 |
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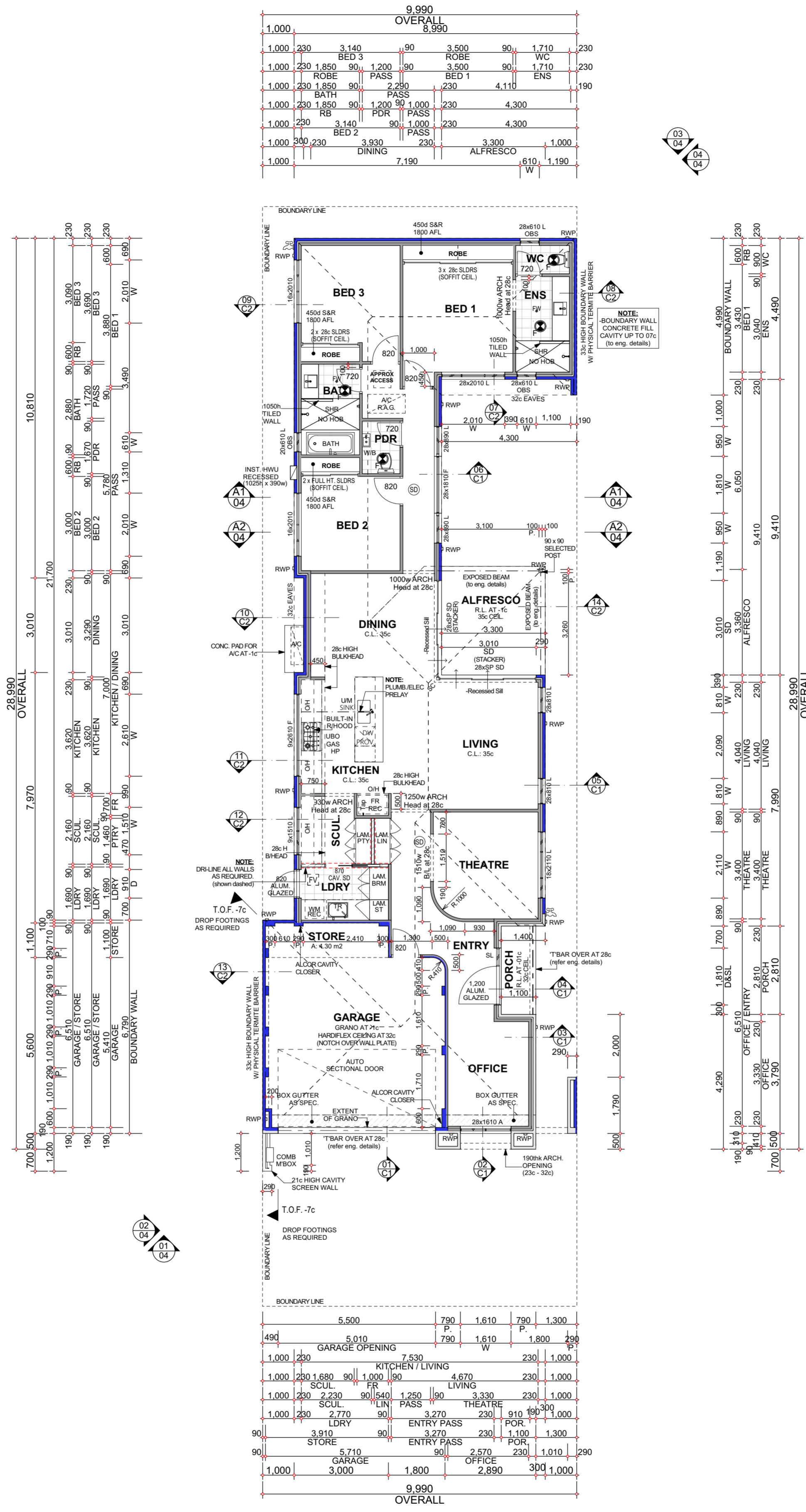
CHECK TITLE FOR EASEMENTS, RESTRICTIVE COVENANTS ETC.
THIS SURVEY DOES NOT GUARANTEE THE CORRECT POSITION OF BOUNDARY PEGS FOUND OR FENCE POSITIONS SHOWN, UNLESS A BOUNDARY RE-ESTABLISHMENT SURVEY HAS BEEN UNDERTAKEN BY SURVEYING SOLUTIONS WA. ALL FEATURES AND BUILDING POSITIONS ARE APPROXIMATE ONLY, AS THEY HAVE BEEN POSITIONED FROM MEASUREMENTS TAKEN FROM EXISTING PEGS, FENCES & WALLS.
A BOUNDARY RE-ESTABLISHMENT SURVEY IS RECOMMENDED PRIOR TO UNDERTAKING ANY SITE WORKS OR CONSTRUCTION.
INFORMATION SHOWN ON THIS SURVEY IS CURRENT AT THE DATE SHOWN.
SURVEYING SOLUTIONS WA ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES THAT HAVE OCCURRED AFTER THIS DATE, TO SITE LEVELS AND FEATURES OR BUILDINGS.
CADASTRAL BOUNDARY DIMENSIONS SHOWN HAVE BEEN OBTAINED FROM SURVEY PLANS AND ARE SUBJECT TO FIELD SURVEY UNLESS SHOWN OTHERWISE.

LOT STATISTICS

| | |
|---------------------------------------|--------------------------|
| ORIGINAL LOT 142 TOTAL AREA | 700 m ² |
| R2040 MINIMUM LOT SIZE | 180 m ² (R40) |
| R2040 AVERAGE LOT SIZE | 220 m ² (R40) |
| PROPOSED LOT 199 - 350 m ² | |
| PROPOSED LOT 200 - 350 m ² | |
| PROPOSED MINIMUM LOT SIZE | 350 m ² |
| PROPOSED AVERAGE LOT SIZE | 350 m ² |

NOTE:
 -230mm CAVITY DOUBLE BRICK
 -EXT. WALLS 2c FACE BRICK (162x290x90mm)
 -INT. WALLS PLASTERED 90mm BRICK
 -FRONT ELEVATION ACRYLIC TEXTURE COAT (EXTENT AS PER PLANS)
 -ALL STRUCTURAL TIMBER H2 TREATED (min)
 -RWP% INDICATIVE ONLY & FINAL POSITION TO PLUMBERS DISCRETION.
 -REFER ELEVATIONS FOR EAVE HEIGHTS
 -HARDIFLEX TO ALL EXTERNAL CEILING & EAVE LININGS UNLESS OTHERWISE NOTED
 -ALL DIMENSIONS MEASURED TO BWK ONLY, DOES NOT INCLUDE PLASTER.
 -DOUBLE GLAZING TO ALL WINDOWS (AS PER SPEC.)

NOTE:
 32c +PLATE CEILING LEVEL UNLESS NOTED OTHERWISE.
METAL DECK ROOF AT 25° EAVE AT 500mm
 02c DOUBLE HEIGHT FACE BWK
 ACRYLIC TEXTURE COAT, 1c FACE BWK & LINEA WEATHERBOARD FINISH TO EXTERNAL BWK UNLESS NOTED OTHERWISE.



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AREA PERIM. COUNCIL: JOONDALUP

| REV | DETAILS | DWN DATE | CHK/REV |
|-----|---------------|-------------|---------|
| 01 | PLANNING DWGS | LM MAR'26 | |
| 02 | W.DWGS | LM 07.04.26 | |
| 03 | STORMWATER | LM 12.05.26 | |
| 04 | SHIRE AMEND | LM 18.05.26 | |

TOTAL AREA 216.45 m²

PROJECT: ELITE SPECIFICATION CUSTOM

OWNER: _____ DATE: _____

BUILDER: _____ DATE: _____

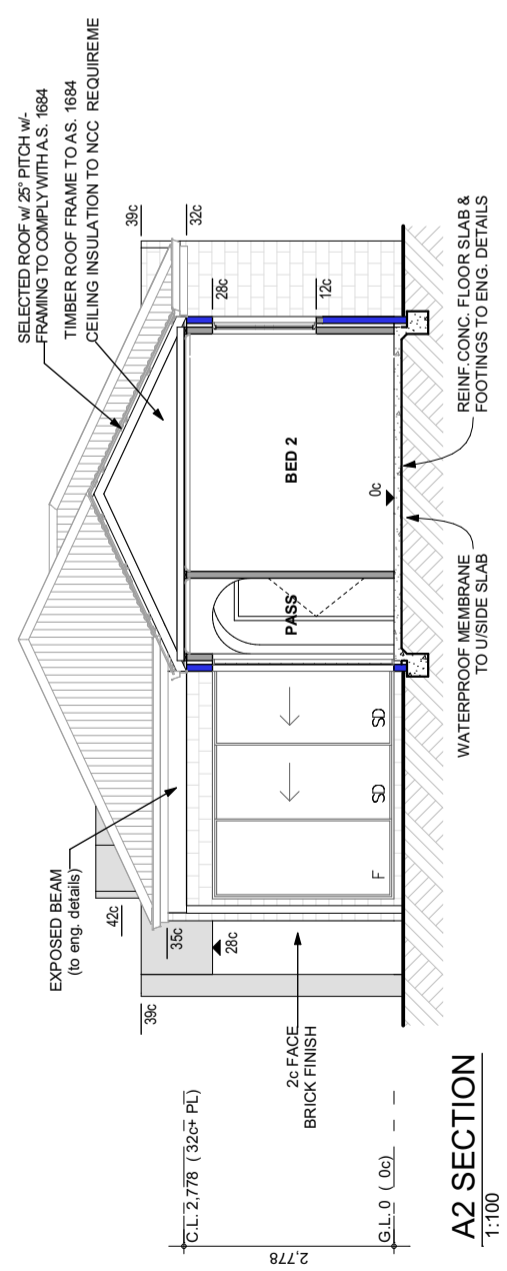
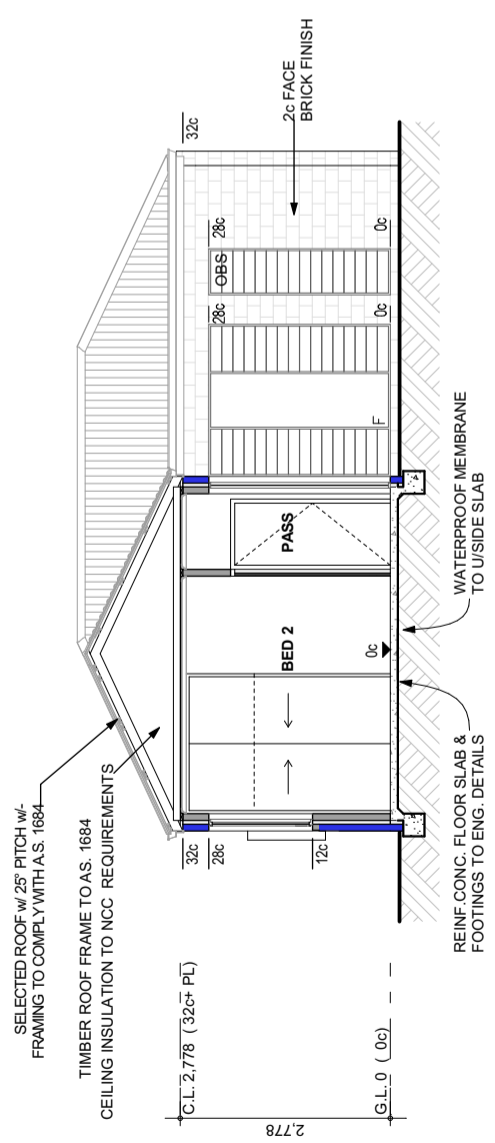
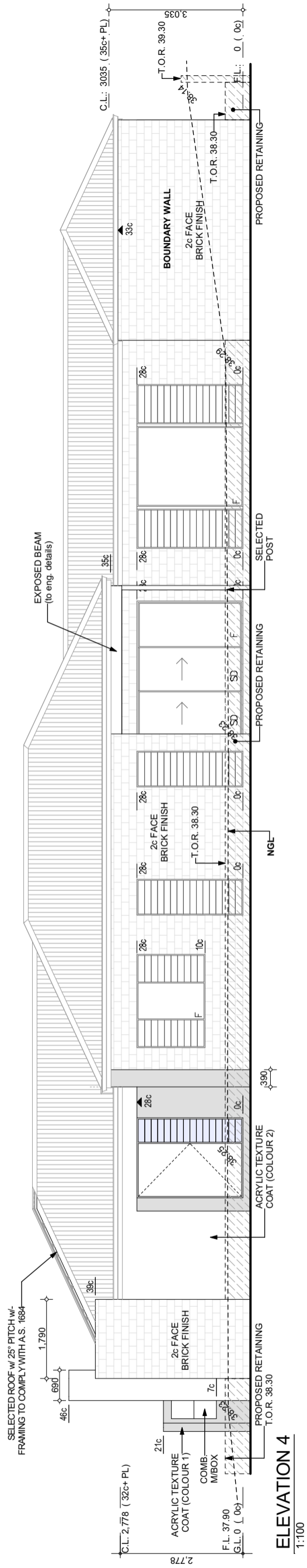
OWNER(S): TODD

ADDRESS: LOT 2 (#58b) BURNAC MANNING DRIVE DUNCRRAIG

JOB NO: FH467 SHEET 03 of 09 REV NO: 04

FLOOR PLAN SCALE: 1:100

NOTE:
32c +PLATE CEILING
 LEVEL
 UNLESS NOTED OTHERWISE.
METAL DECK ROOF
AT 25° EAVE AT 500mm
 02c DOUBLE HEIGHT FACE BWK
 .ACRYLIC TEXTURE COAT,
 1c FACE BWK & LINEA
 WEATHERBOARD FINISH TO
 EXTERNAL BWK UNLESS NOTED
 OTHERWISE.



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| | | | | | | | | | | | | |
|--------------------|---------------|-----|----------|-------------------------------------|-----|---------|-----|----------------|-----|--|--|--|
| COUNCIL: JOONDALUP | | | | PROJECT: ELITE SPECIFICATION CUSTOM | | | | OWNER(S): TODD | | | | |
| REV | DETAILS | DWN | DATE | CHK | REV | DETAILS | DWN | DATE | CHK | ADDRESS: LOT 2 (#58b) BERNARD MANNING DRIVE DUNCRAIG | | |
| 01 | PLANNING DWGS | LM | MAR'26 | - | | | | | | JOB NO: FH467 | | |
| 02 | W.DWGS | LM | 07.04.26 | | | | | | | SHEET 05 of 09 | | |
| 03 | STORMWATER | LM | 12.05.26 | | | | | | | REV No: 04 | | |
| 04 | SHIRE AMEND | LM | 18.05.26 | | | | | | | ELEVATIONS / SECTIONS SCALE: 1:100 | | |
| | | | | OWNER..... DATE..... | | | | JOB NO: FH467 | | | | |
| | | | | BUILDER..... DATE..... | | | | SHEET 05 of 09 | | | | |
| | | | | | | | | REV No: 04 | | | | |