

**Approximate Areas :**

Ground Floor	66 m <sup>2</sup>
Upper Floor	65 m <sup>2</sup>
Garage	34 m <sup>2</sup>
Porch	4 m <sup>2</sup>
Balcony	17 m <sup>2</sup>
<b>Total</b>	<b>186 m<sup>2</sup></b>



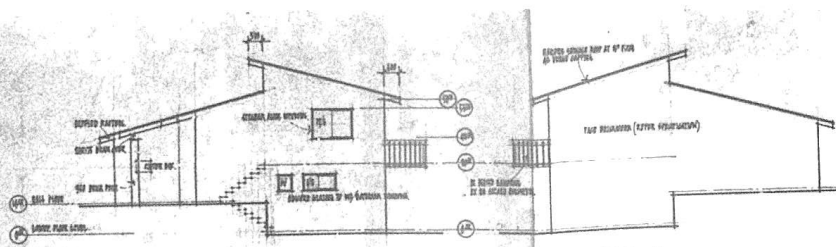
# 58 Dampier Avenue, Mullaloo WA 6027



**FINESSE**

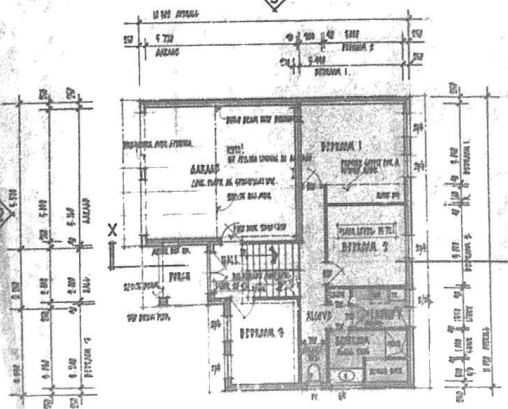
Care has been taken to ensure the accuracy of this floor/site plan, however all dimensions and areas should be considered as approximate. It has been produced as a guide for the purpose of the property sale or lease only. No credit is taken for the original building or landscape design. This floor plan/site plan design is subject to strict copyright and should not be reproduced, copied or altered without prior consent. The Agent, Vendor & Finesse Property Photography will not be held liable or responsible for any error, omission, misstatement or use of any data shown on this plan.

11/18/24

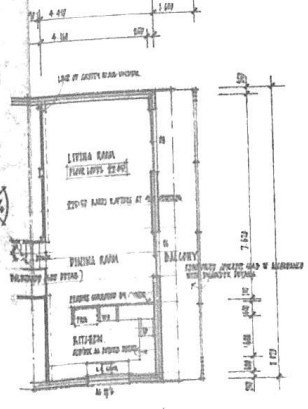


ELEVATION 1  
SCALE 1/8" = 1'-0"

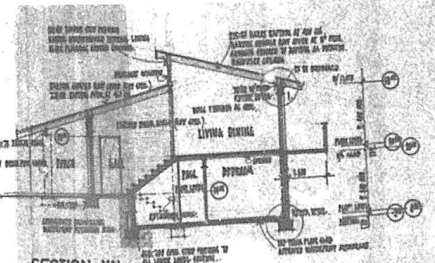
ELEVATION 3  
SCALE 1/8" = 1'-0"



FLOOR PLAN  
SCALE 1/8" = 1'-0"



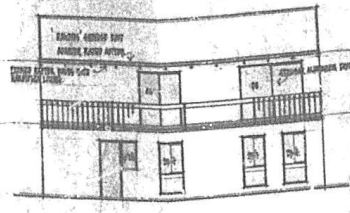
UPPER PLAN  
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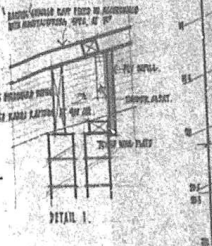
SECTION XX  
SCALE 1/8" = 1'-0"



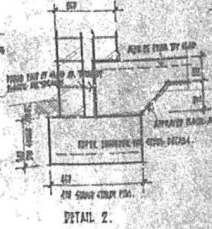
ELEVATION 2  
SCALE 1/8" = 1'-0"



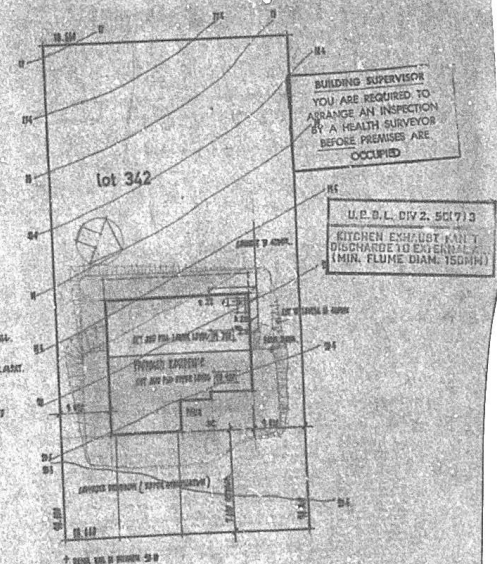
ELEVATION 4  
SCALE 1/8" = 1'-0"



DETAIL 1



DETAIL 2



BUILDING SUPERVISOR  
YOU ARE REQUIRED TO  
ARRANGE AN INSPECTION  
BY A HEALTH SURVEYOR  
BEFORE PREMISES ARE  
OCCUPIED

U.P.C.L. DIV. 2, SEC. (7) 3  
KITCHEN EXHAUST KANAL  
DISCHARGE TO EXTERIOR  
(MIN. FLUME DIAM. 150MM)

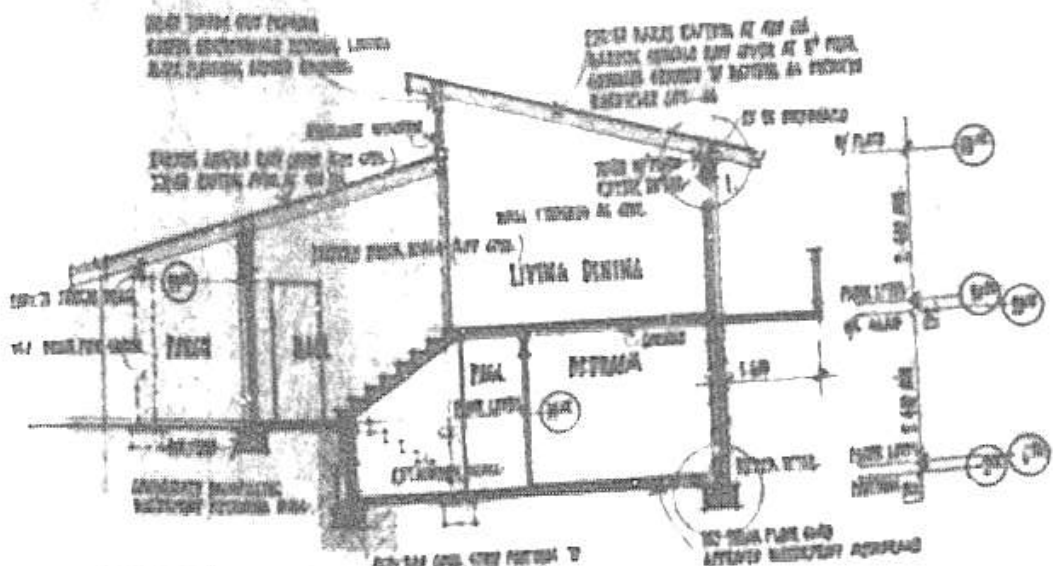
Dampier Ave  
SCALE 1/8" = 1'-0"

Proposed residence for Mr. A. Keith  
lot 342 Dampier ave., Heathridge

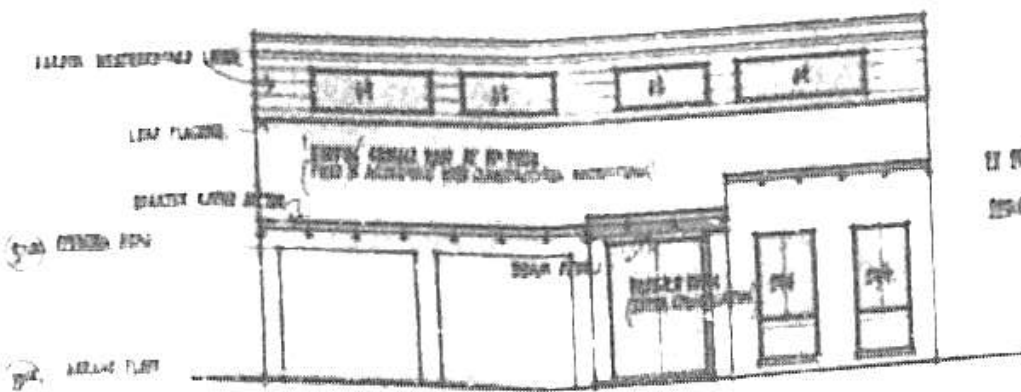
PAT BEGLEY BUILDERS  
1. WHITE BEAR ROAD, BIRCHMOUNT, N.W.A. DIST., TORONTO, ONT. M2S 1R3

208 200000

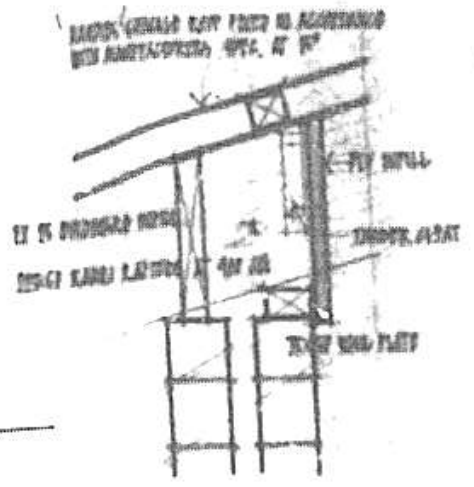
microforms  
DIVISION OF  
RECORDS MANAGEMENT



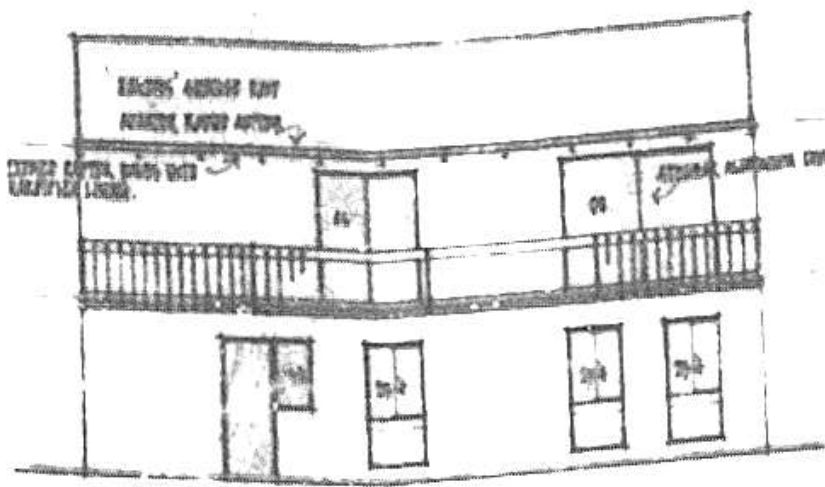
**SECTION XX**  
SCALE 1" = 3'



**ELEVATION 2**  
SCALE 1" = 3'



**DETAIL 1**

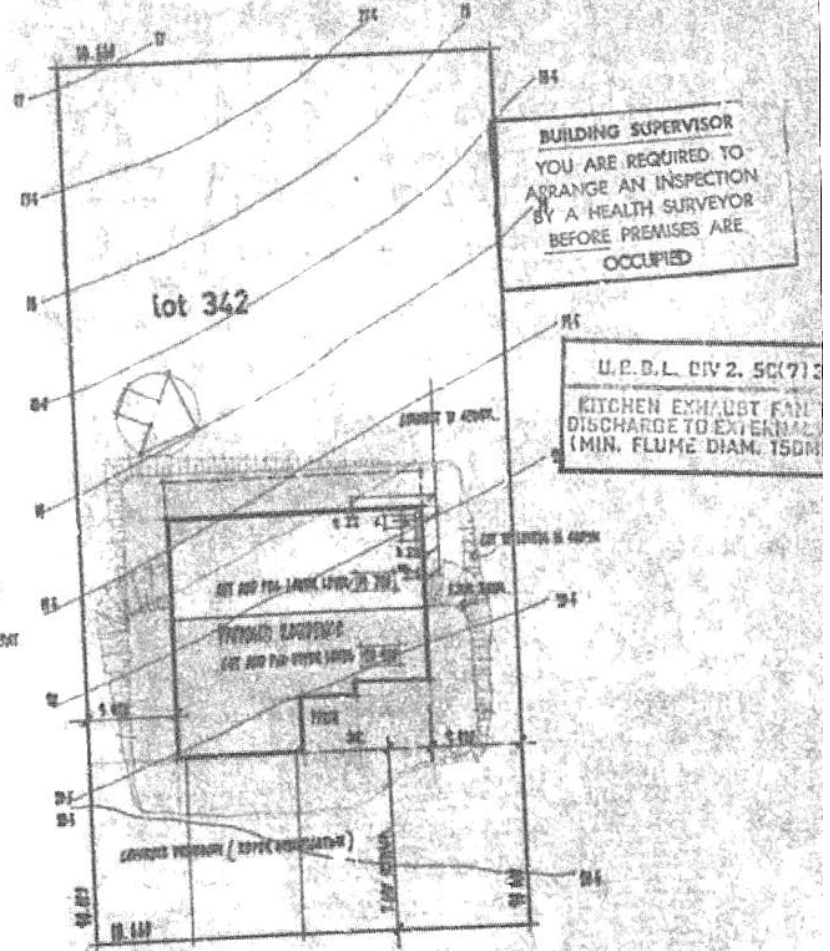
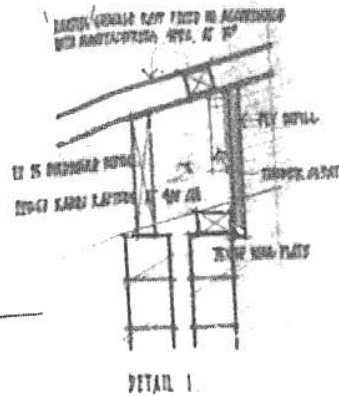
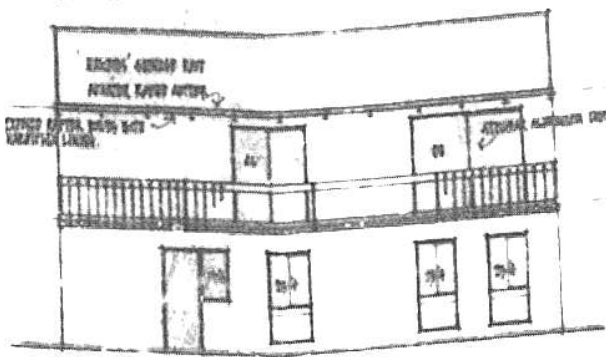
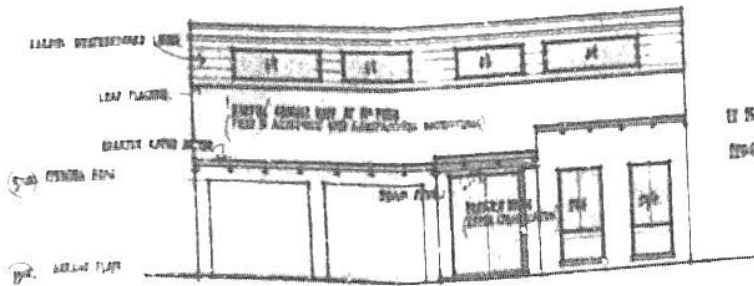
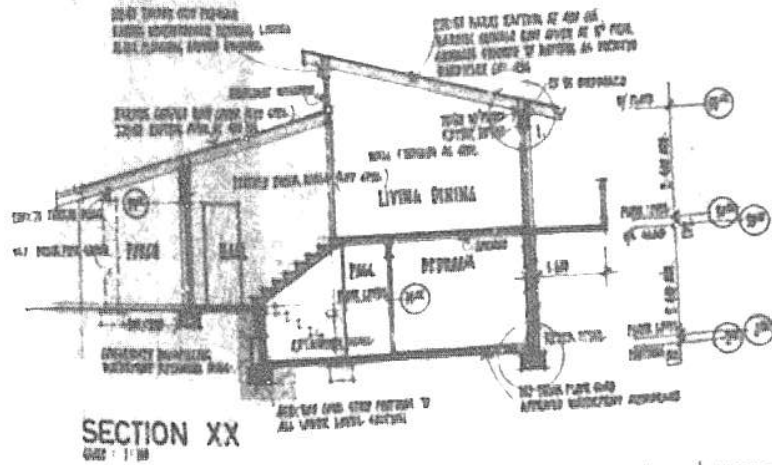


**ELEVATION 4**  
SCALE 1" = 3'



**DETAIL 2**





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U.P.C.L. DIV 2, 50(7)3  
KITCHEN EXHAUST FAN  
DISCHARGE TO EXTERIOR  
(MIN. FLUME DIAM. 150MM)

Dampier Ave  
6422 V. 20

Proposed residence for Mr. A Keith  
lot 342 Dampier ave., Heathridge

**PAT BEGLEY BUILDERS**  
8 WHEEL DRIVE ROAD, NORTH BRIDGE, W.S. 4007 PHONE 447 1124

