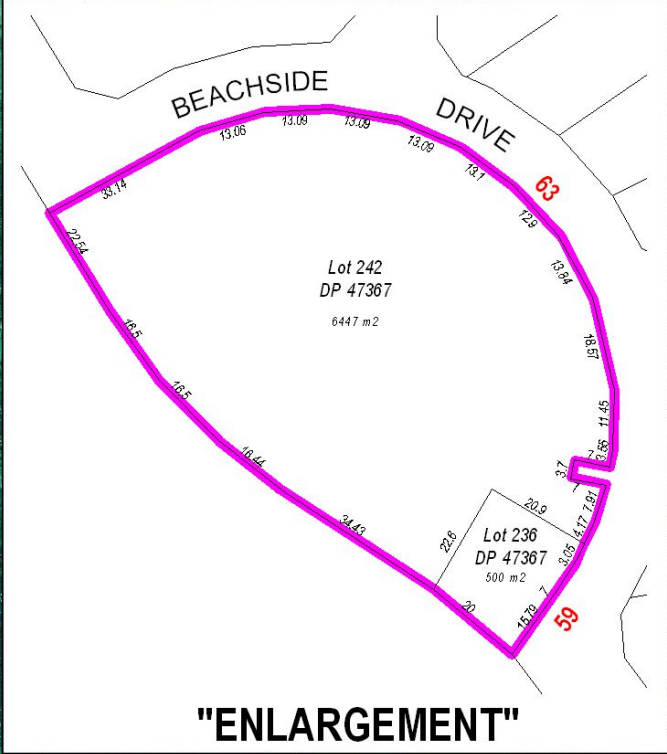
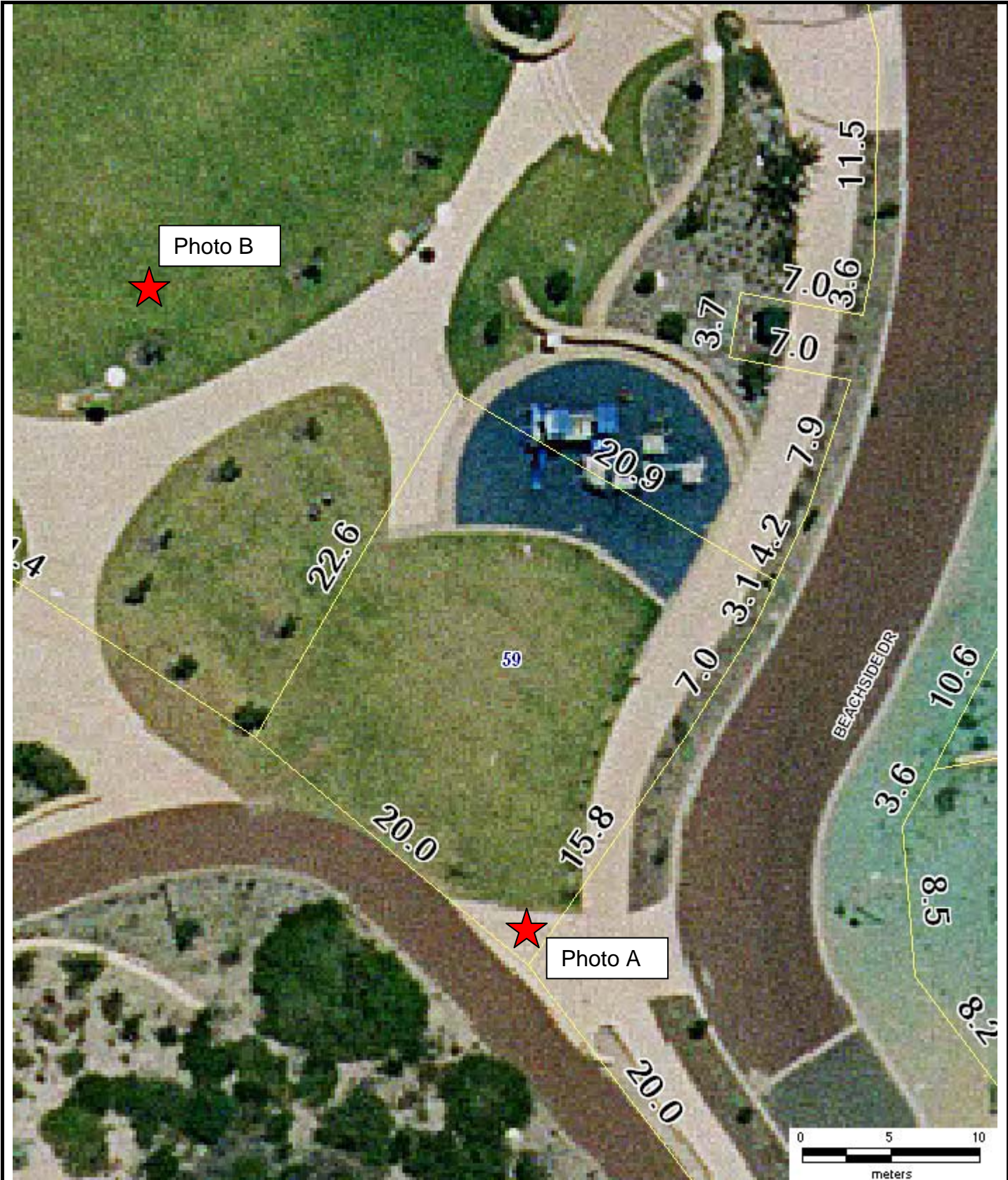




**SUBJECT SITES**







 <p>90 Boas Ave, Joondalup WA 6027 PO Box 21, Joondalup WA 6919 Ph: 08 9400 4000 Fax: 08 9300 1383 info@joondalup.wa.gov.au www.joondalup.wa.gov.au</p>	 <p>N</p>	Scale(A4):1:300	<b>Burns Beach Land Exchange</b>
		Date: 11 May 2010	
		DISCLAIMER: While every care is taken to ensure the accuracy of this data, the City of Joondalup makes no representations or warranties about its accuracy, completeness or suitability for any particular purpose and disclaims all liability for all expenses, losses, damages and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.	

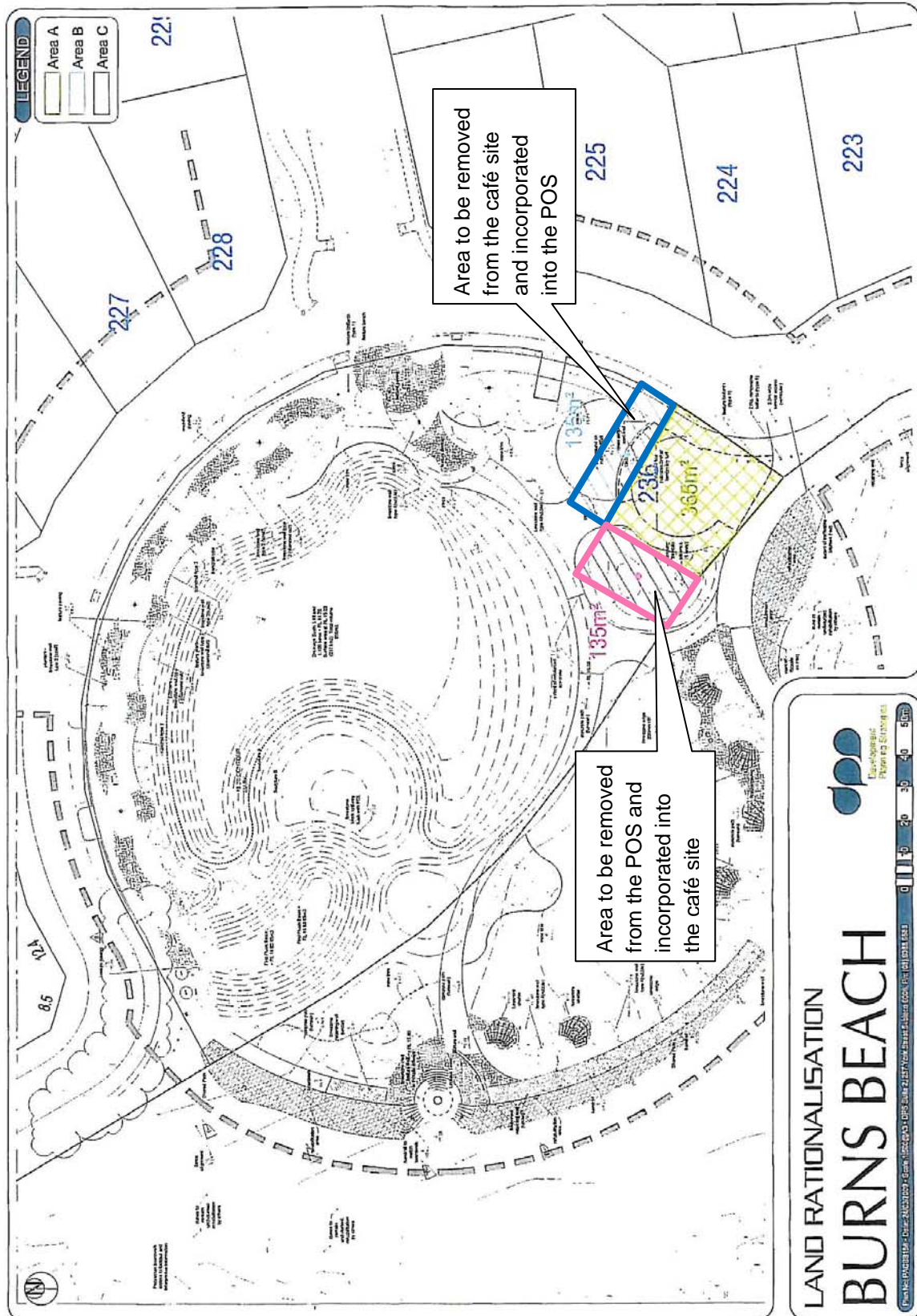




**Photo A**



**Photo B**



**PROPOSED LAND EXCHANGE – BEACHSIDE DRIVE, BURNS BEACH  
SCHEDULE OF SUBMISSIONS (CLOSED 25 FEBRUARY 2010)**

<b>NO</b>	<b>NAME OF SUBMITTER</b>	<b>DESCRIPTION OF AFFECTED PROPERTY</b>	<b>SUBMISSION SUMMARY</b>	<b>OFFICER OR COUNCIL'S RECOMMENDATION</b>
1	Burns Beach Ratepayers, Residents & Community Recreation Assoc Inc	N/A	Support <ul style="list-style-type: none"> <li>• Submission raises concerns that when a café is built, there will not be sufficient parking.</li> <li>• Support the construction of a café with toilet facilities.</li> </ul>	Noted. <ul style="list-style-type: none"> <li>• Parking will be examined when a development application for the café is submitted.</li> <li>• The construction of toilets is a separate matter.</li> </ul>
2	A Patullo	2A Tryal Place Currambine 6028	<ul style="list-style-type: none"> <li>• Would it not have been easier, cheaper and less trouble to move the playground?</li> <li>• The playground is very close to the road.</li> <li>• Café site is landscaped with 8 trees that would need to be removed.</li> <li>• There is no additional parking shown for the café site.</li> <li>• There are no toilets in the park.</li> </ul>	Noted/Partial Support <ul style="list-style-type: none"> <li>• The developer has advised that it would be more expensive to move the playground equipment and associated retaining walls and they requested the land exchange, which Council is obliged to consider.</li> <li>• Although not part of the matter under consideration, the playground was approved as part of the subdivision clearance.</li> <li>• It is noted that trees may be affected by the future development of a café. It is considered appropriate that the developer be advised that the trees, if affected, will need to be relocated (if possible) or new trees planted in the immediate area.</li> <li>• Parking will be examined when a development application for the café is submitted.</li> <li>• The issue of the provision of toilets not part of the matter under consideration.</li> </ul>