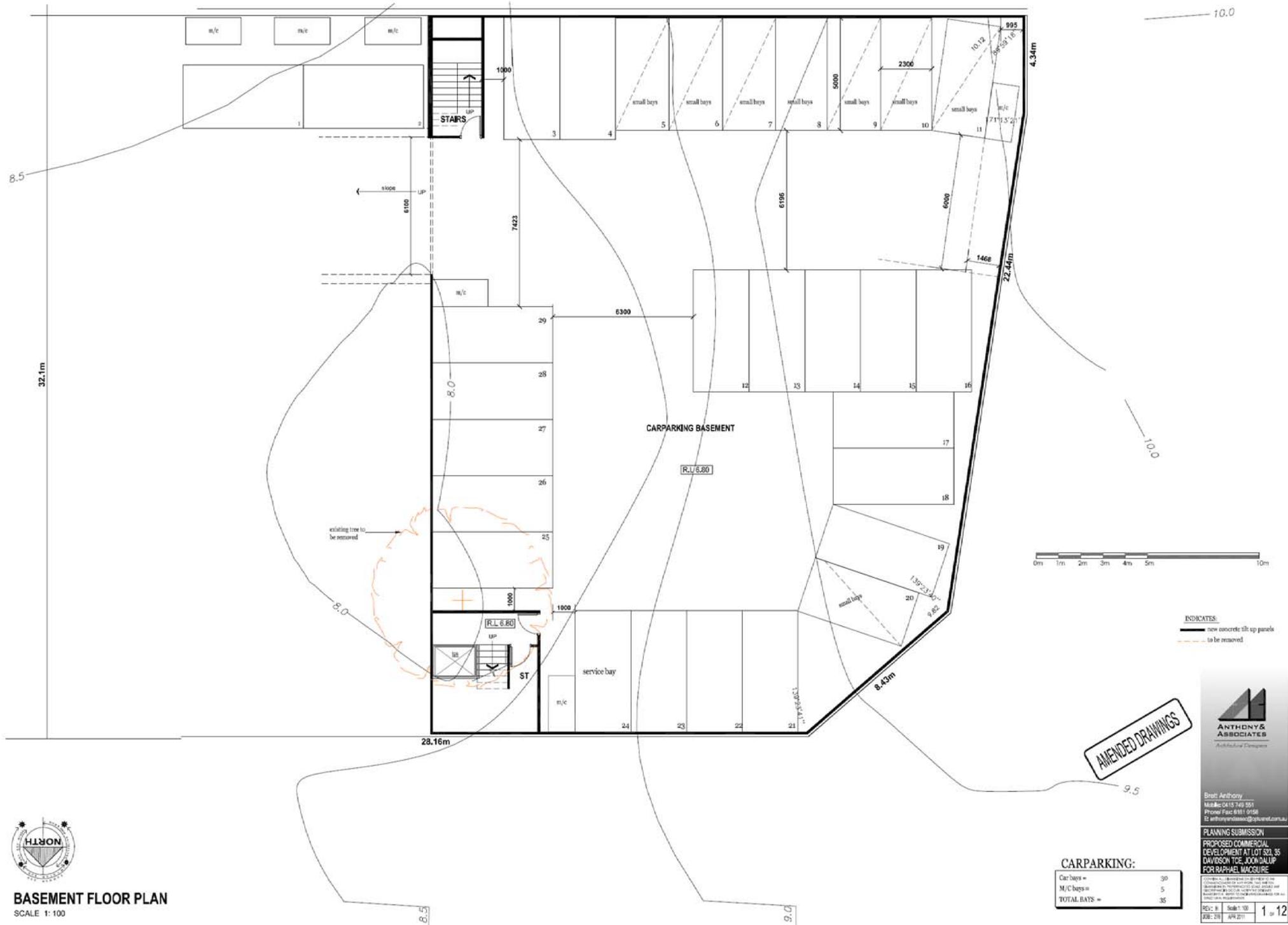




ATTACHMENT 2 - Development Plans



AMENDED DRAWINGS

INDICATES:
 — new concrete tilt up panels
 - - - to be removed



BASEMENT FLOOR PLAN
 SCALE 1:100

CARPARKING:

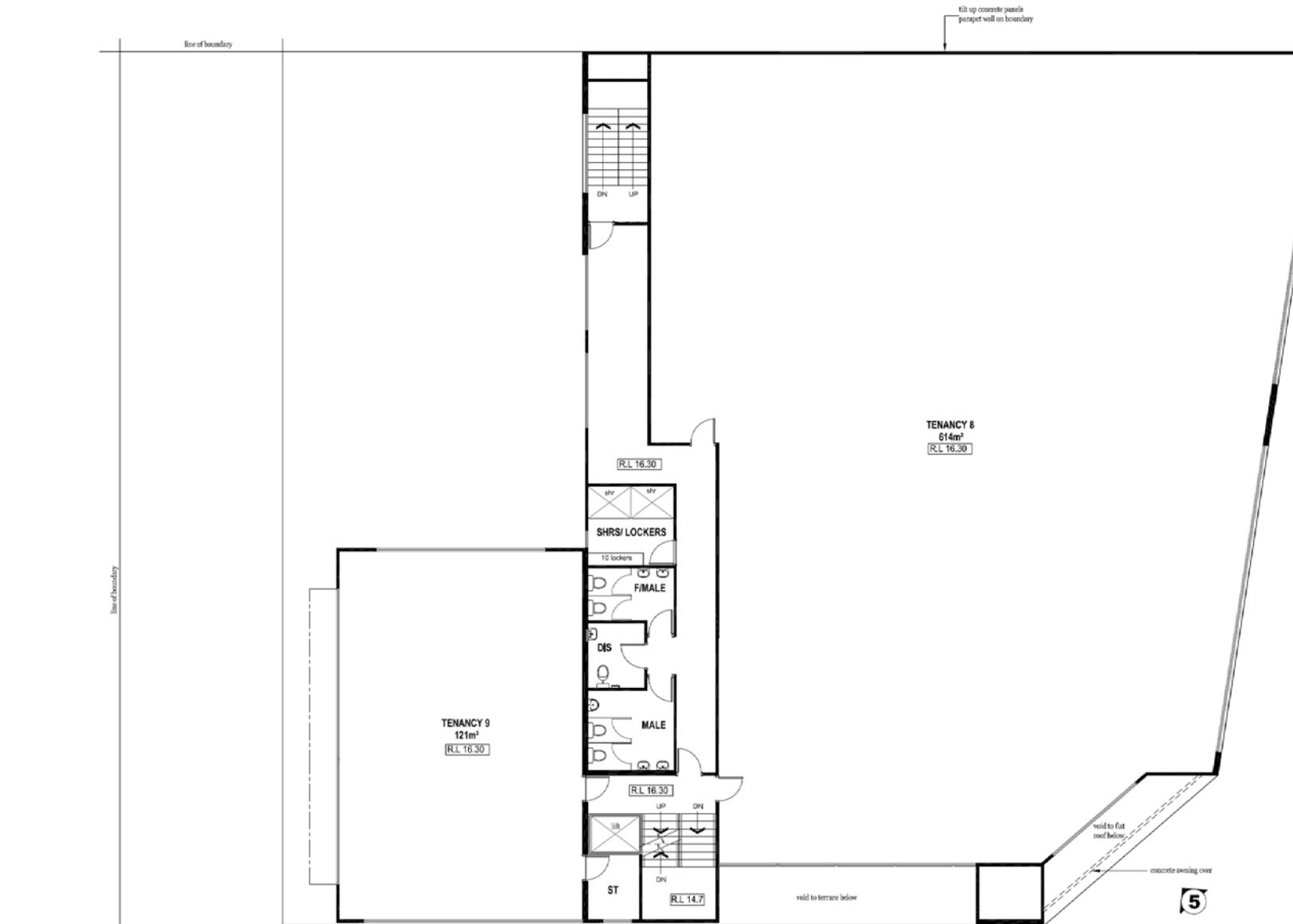
Car bays =	30
M/C bays =	5
TOTAL BAYS =	35

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PLANNING SUBMISSION
 PROPOSED COMMERCIAL
 DEVELOPMENT AT LOT 323, 35
 DAVIDSON THE JUNCTION
 FOR RACHAEL MACQUINE

REV: 01 Scale: 1:100 1 of 12
 DATE: 27/ APR 2011



AMENDED DRAWINGS



SECOND FLOOR PLAN
SCALE 1:100

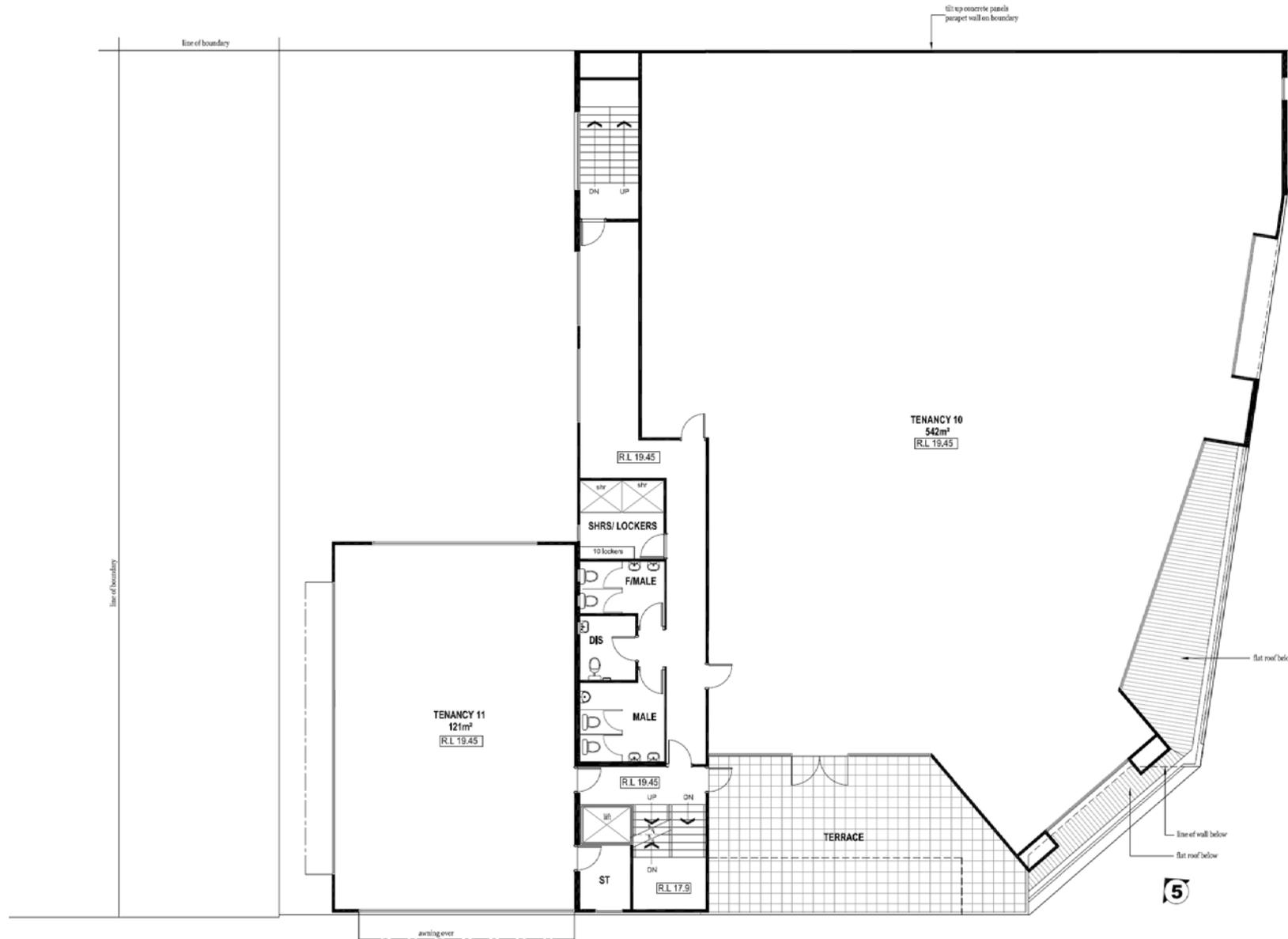


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PLANNING SUBMISSION
PROPOSED COMMERCIAL
DEVELOPMENT AT LOT 523, 35
DAVIDSON TCE, JOONDALLUP
FOR RAPHAEL MACQUE

REV: H Scale: 1:100 4 of 12
JOB: 216 APR 2011



AMENDED DRAWINGS



THIRD FLOOR PLAN
SCALE 1:100



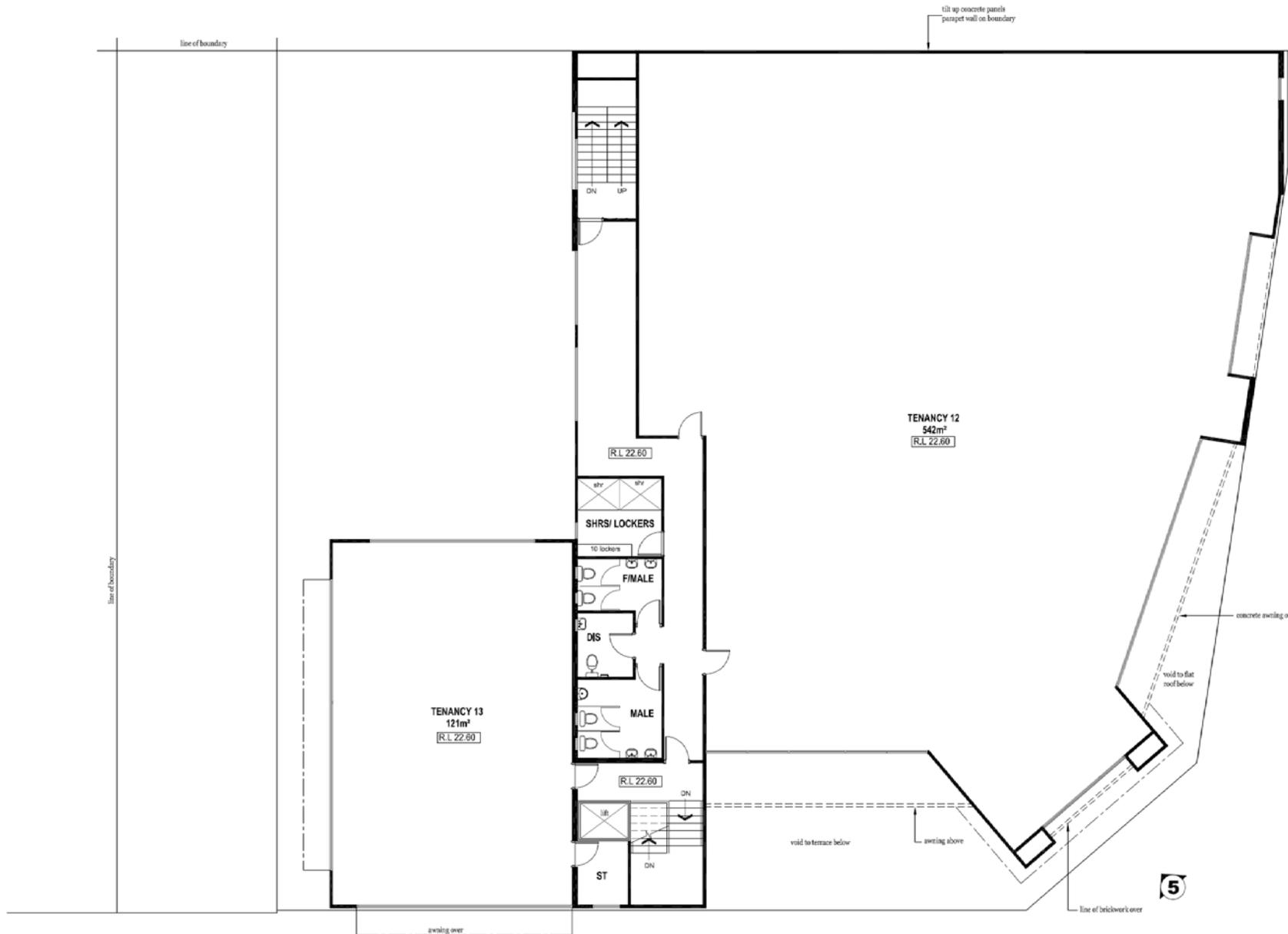
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PLANNING SUBMISSION
PROPOSED COMMERCIAL DEVELOPMENT AT LOT 323, 35 DAWSON THE SPINDLE FOR RAPHAEL MACGURE

REV: 08 Scale: 1:100
JOB: 278 APR.2011

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AMENDED DRAWINGS



FOURTH FLOOR PLAN
SCALE 1:100



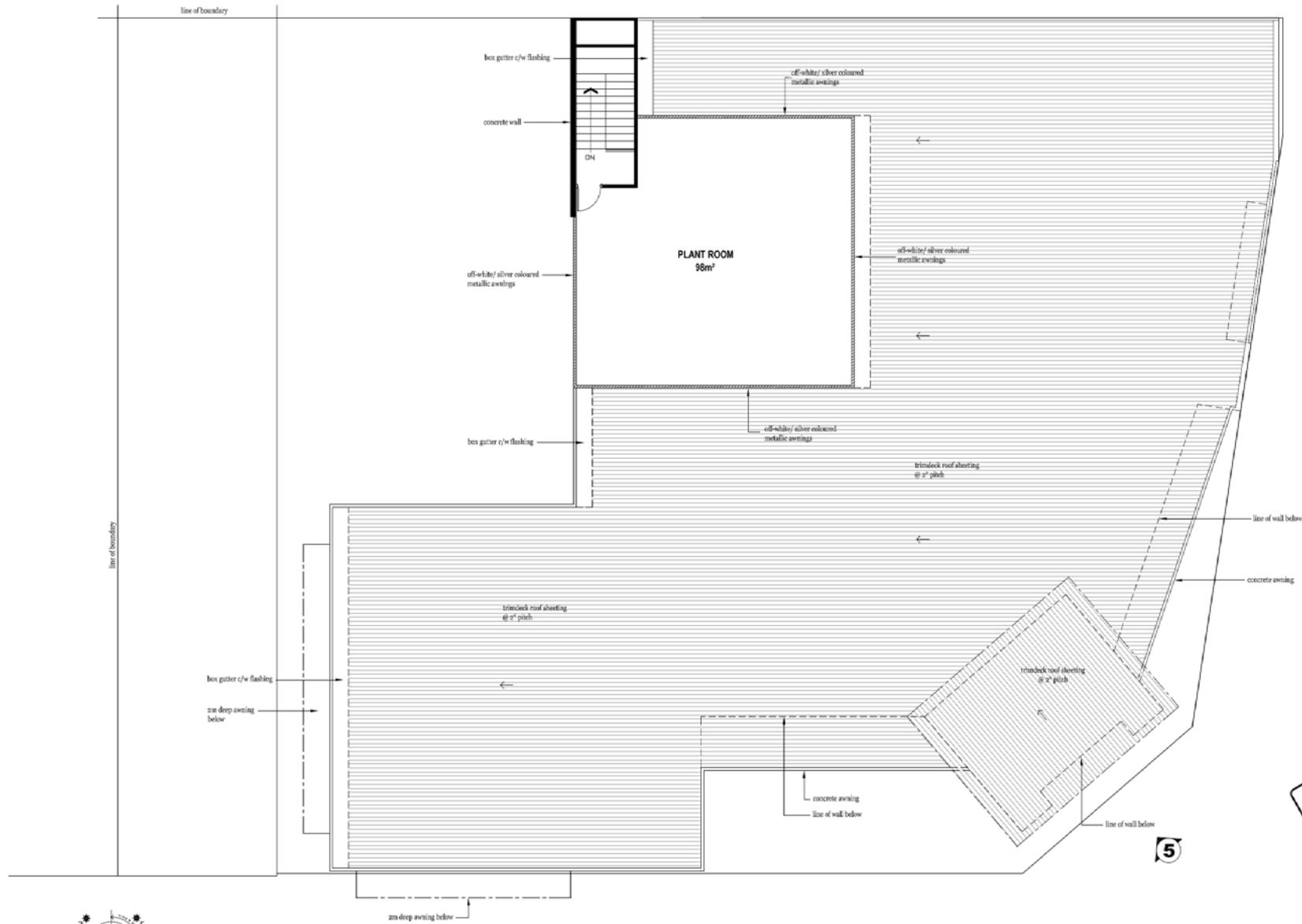
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PLANNING SUBMISSION
PROPOSED COMMERCIAL
DEVELOPMENT AT LOT 503, 35
DAVIDSON TCE, DONDALUP
FOR RACHAEL MACGURE

Contractor to be engaged on behalf of the Client to construct the development in accordance with the approved plans and specifications. All works to be completed in accordance with the relevant building codes and standards.

REV: # Scale 1:100 6 of 12
JOB: 171 APR 2011



ROOF PLAN
SCALE 1:100



AMENDED DRAWINGS

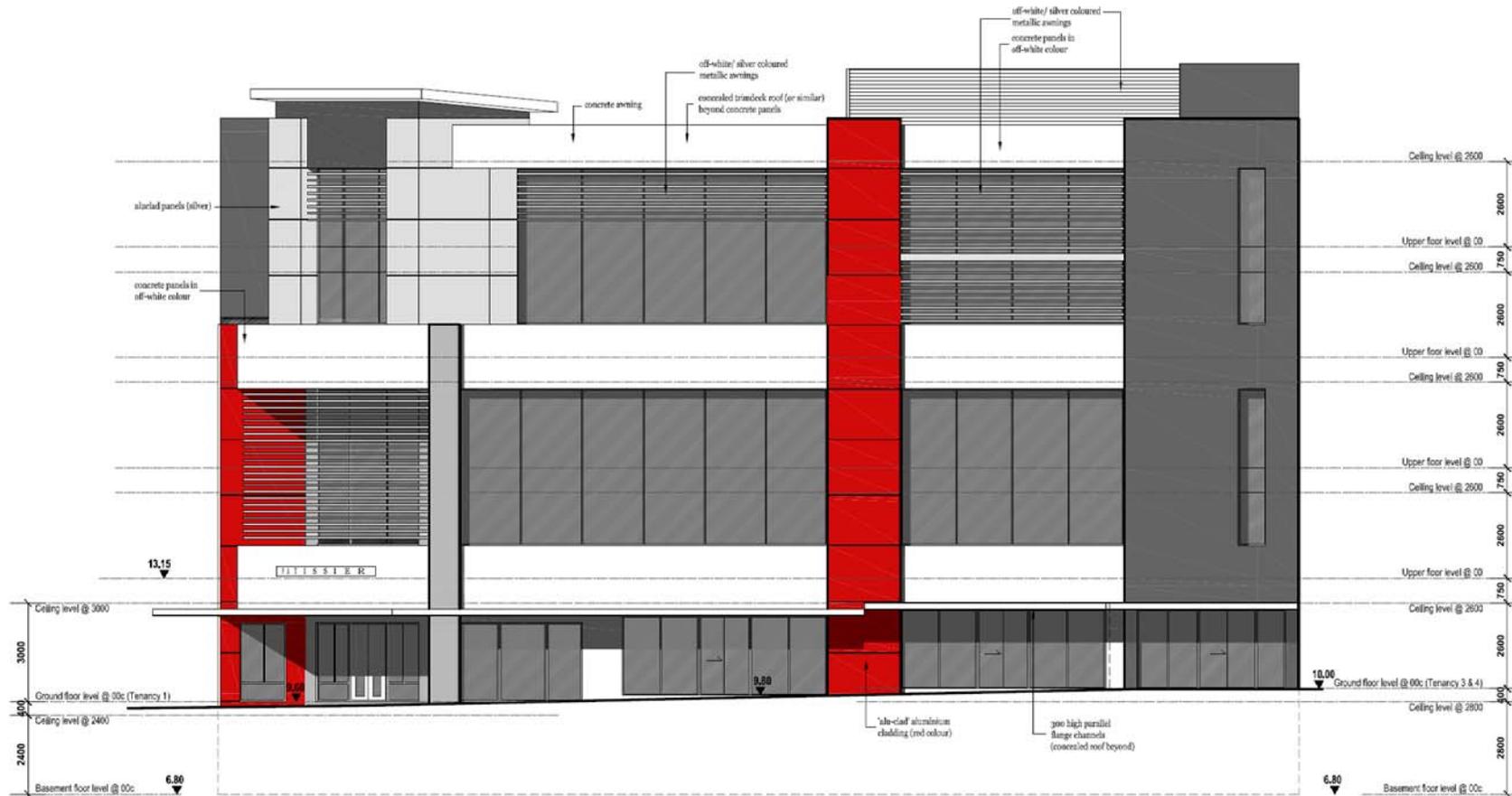
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PLANNING SUBMISSION
PROPOSED COMMERCIAL
DEVELOPMENT AT LOT 523, 35
DAVIDSON TCE, JOON DALLUP
FOR RAPHAEL MAQUIRE

CDR: 11 Scale: 1:100
KAB: 218 APR 2011

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AMENDED DRAWINGS

DAVIDSON TERRACE ELEVATION
SCALE 1: 100



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PLANNING SUBMISSION
PROPOSED COMMERCIAL
DEVELOPMENT AT LOT 523, 35
DAVIDSON TERRACE, JOONBULLUP
FOR RAPHAEL MACSURE

REV: H Scale: 1:100 9 of 12
PAGE: 108 230 2011



STREET CNR ELEVATION/ ELEVATION 5
SCALE 1: 100

AMENDED DRAWINGS



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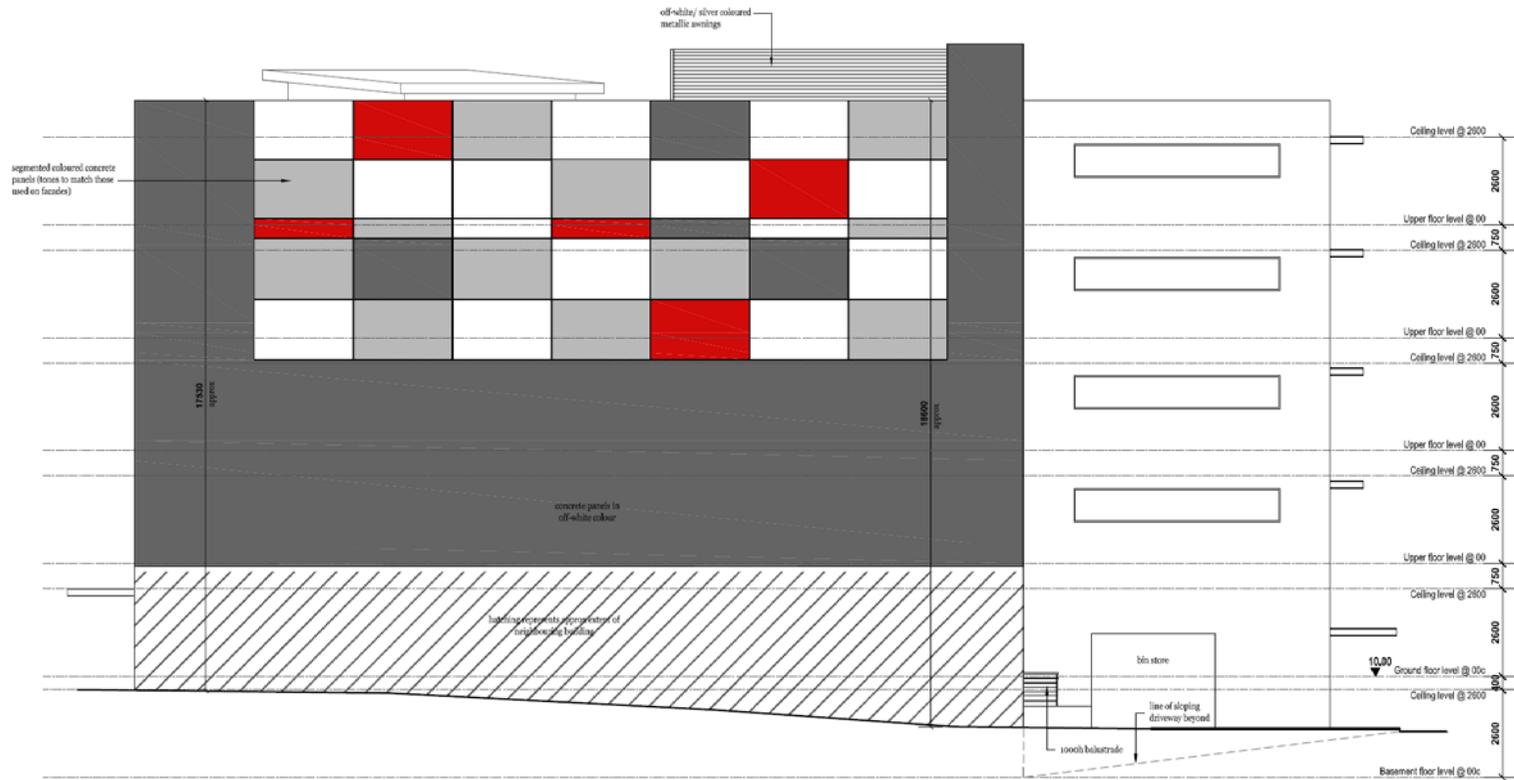
PLANNING SUBMISSION
PROPOSED COMMERCIAL
DEVELOPMENT AT LOT 523, 35
DAVIDSON TCE, JOONDALLUP
FOR RAPHAEL MACGUIRE

Contains all information and drawings required for the submission of a planning application to the local government. It is the responsibility of the applicant to ensure that the information is correct and that the drawings are in accordance with the relevant planning scheme and any other requirements.

REV: H Scale 1: 100
JOB: 2011 APR 2011 12 of 12

NOTE:

Decorative mouldings/ recesses on South facade to be designed during working drawings stage and to meet council satisfaction.



AMENDED DRAWINGS

SOUTH ELEVATION
SCALE 1: 100

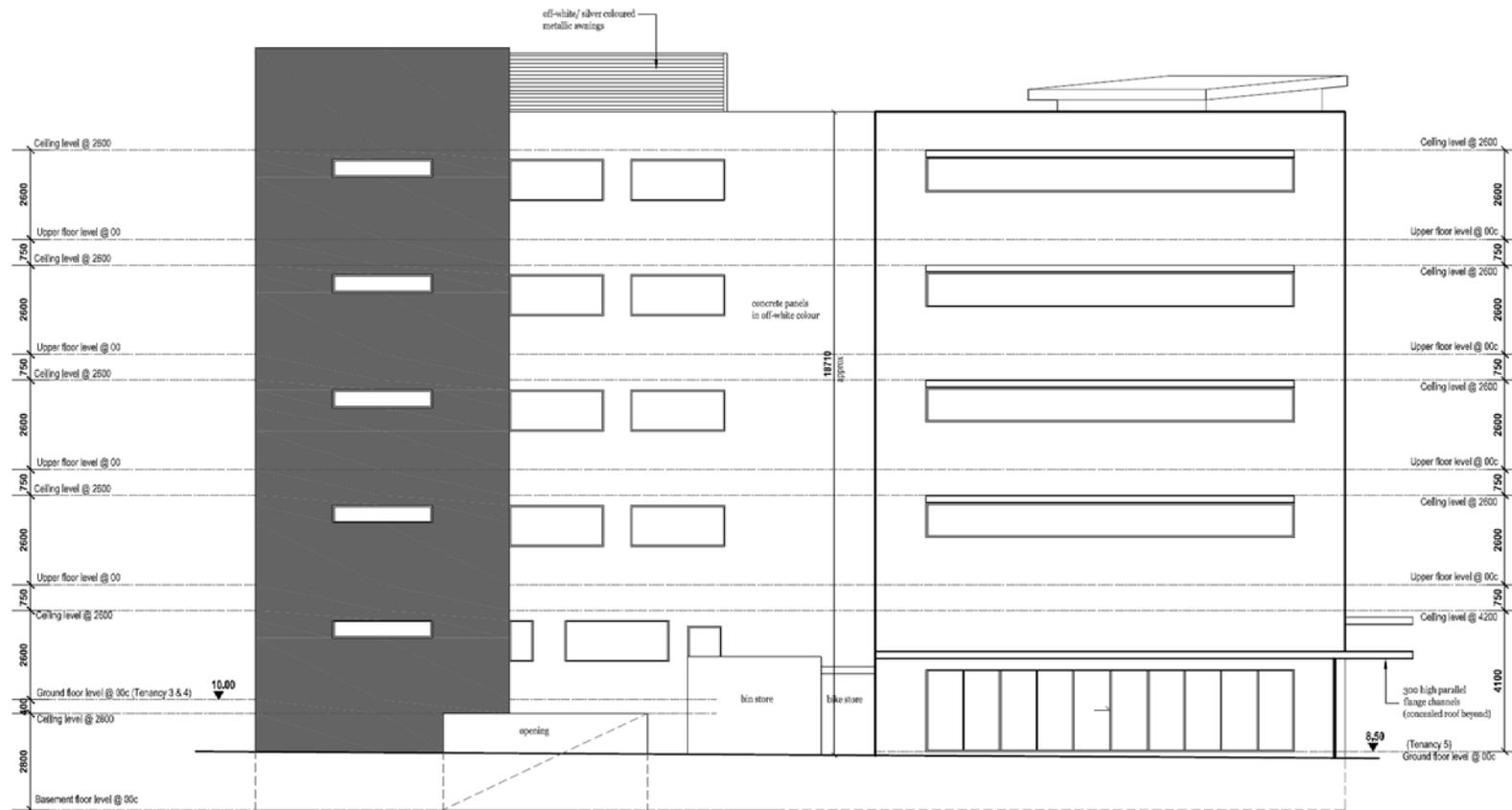


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PLANNING SUBMISSION
PROPOSED COMMERCIAL
DEVELOPMENT AT LOT 523, 35
DAVIDSON TCE, JOONDALUP
FOR RAPHAEL MACGUIRE

10 of 12

REV: 11 Scale: 1:100
106: 3/11 APR 2011



AMENDED DRAWINGS

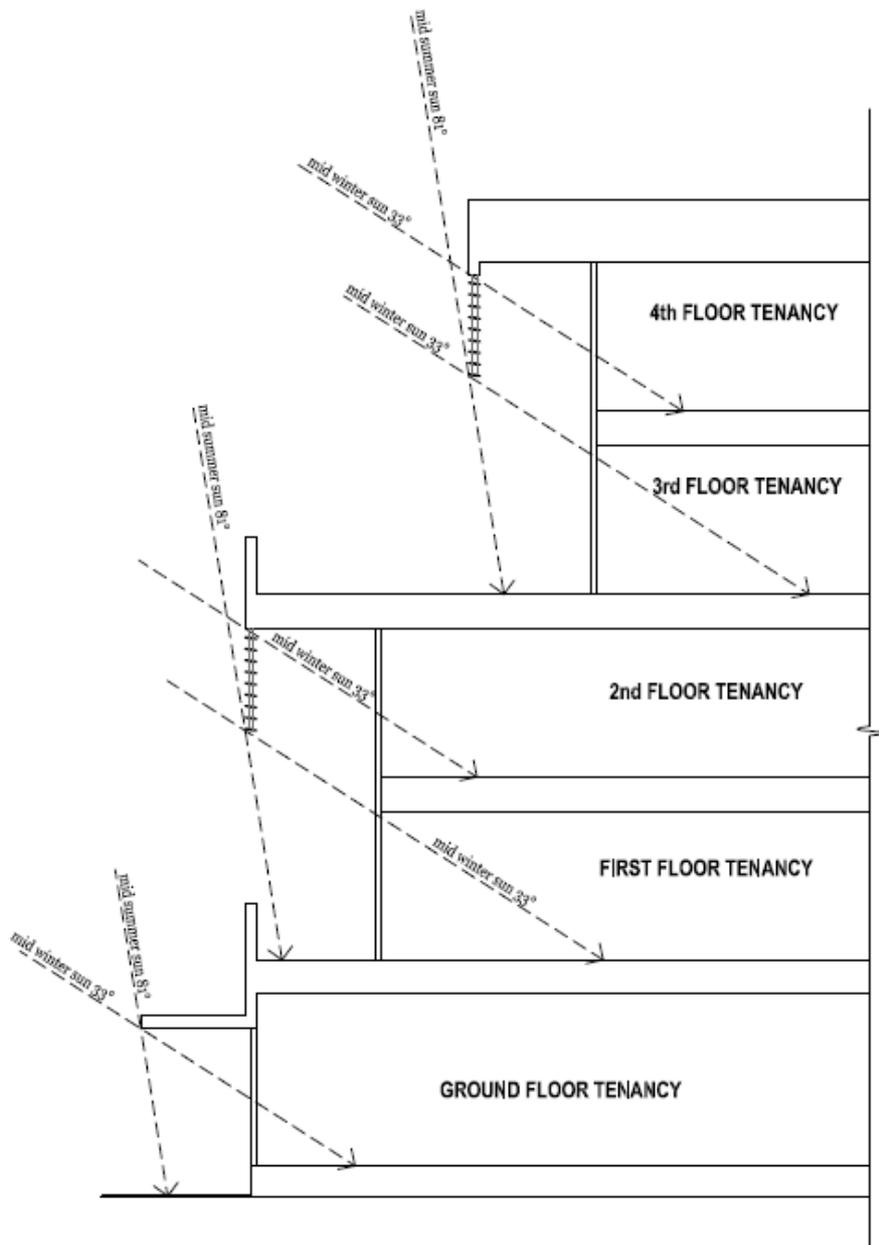
EAST ELEVATION
SCALE 1: 100



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PLANNING SUBMISSION
PROPOSED COMMERCIAL
DEVELOPMENT AT LOT 328, 35
DAVIDSON TCE, DOONDALUP
FOR RAPHAEL MACOSURE

REV: H Scale: 1:100 11 of 12
JOB: 278 APR 2011



SECTION THROUGH NORTH FACADE
SCALE 1:100



PROPOSED COMMERCIAL DEVELOPMENT AT 35 DAVIDSON TERRACE, JOONDALUP



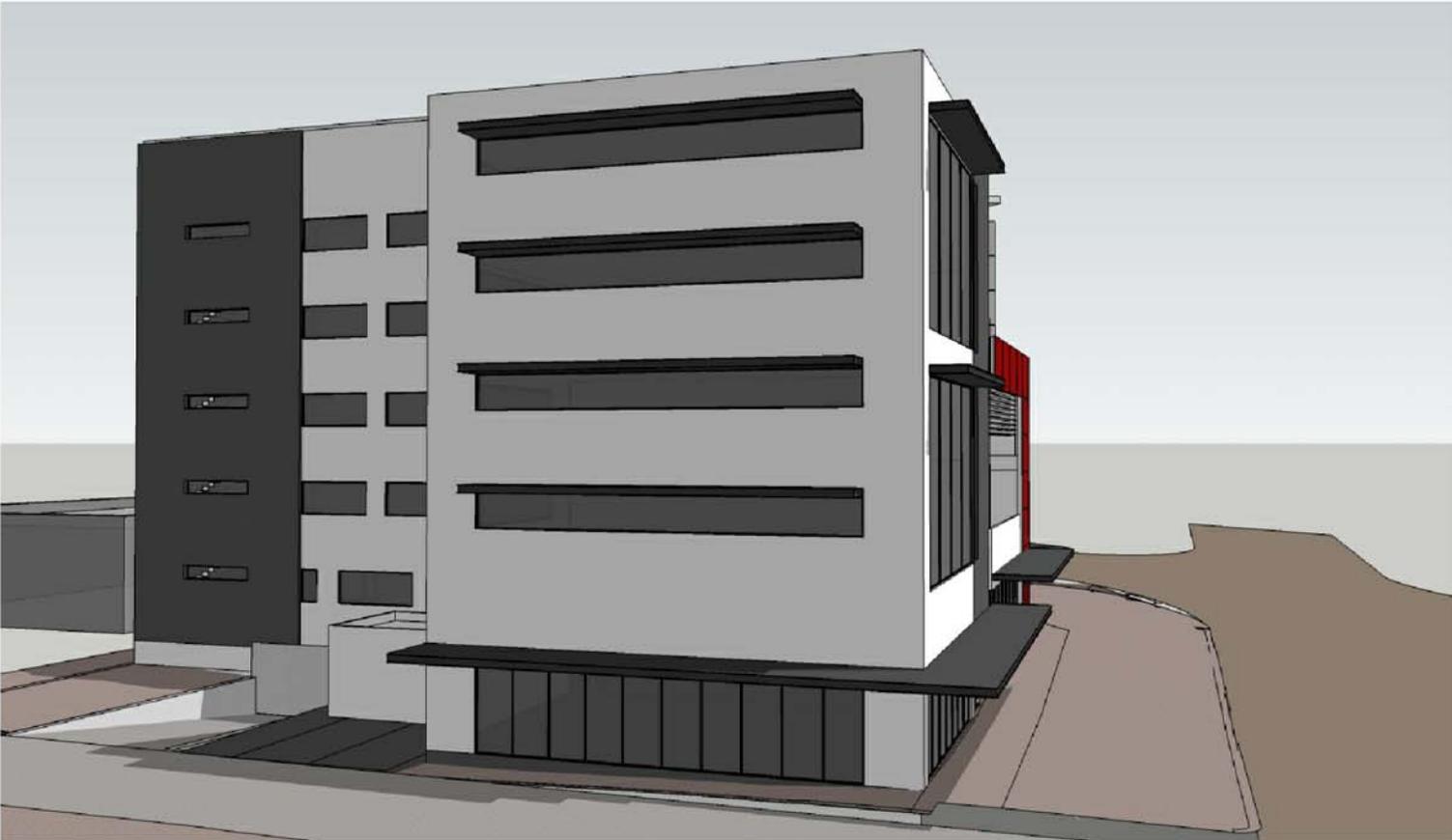
PROPOSED COMMERCIAL DEVELOPMENT AT 35 DAVIDSON TERRACE, JOONDALUP



PROPOSED COMMERCIAL DEVELOPMENT AT 35 DAVIDSON TERRACE, JOONDALUP



PROPOSED COMMERCIAL DEVELOPMENT AT 35 DAVIDSON TERRACE, JOONDALUP



PROPOSED COMMERCIAL DEVELOPMENT AT 35 DAVIDSON TERRACE, JOONDALUP

ITEM 2 PROPOSED FIVE STOREY COMMERCIAL DEVELOPMENT AT LOT 525 (35) DAVIDSON TERRACE

Acting Manager Planning Services provided an overview of the application, advising that the City has been working with the applicant following the Council's decision at its meeting on 19 October 2010. The Council resolved that the determination of the application be deferred pending improvement on the articulation of the building and further justification on the design and sustainability of the building, as well as consideration by the Panel.

Raphael Maguire, the owner and applicant of this development provided a brief introduction on the proposed development to the Panel members.

Discussion ensued and various questions and comments were raised by the Panel and addressed to the applicant:

- Raised concerns with the design of the building especially as it's located within the City Centre. Height of the building is good, however, it needs the quality to go with it.
- Concerned in relation to the environment and the use of mechanical air conditioning.
- The need to reconsider the corner of the building as it's the most visual and a prominent element is needed.
- Advised that more information should be provided on the materials to be used.
- Suggested that a schedule of completion be provided by the applicant.
- Queried the location of the rain water tanks.
- Queried the sun shading and how the windows will be treated on the western elevation.
- Concerned about the lack of details not being available at the approval stage.

The Panel Members were asked to provide feedback and raise any questions with the City officers present, following the presentation by the applicant.

Through its discussion the Panel:

- Advised that the materials to be used are not clearly stated by the applicant.
- Concerned that the corner element does not reflect that this site is a landmark.
- Queried the location of solar energy panels and rain tanks and that it's not reflected on the plans. The Panel advised that this should be shown on the plans and that this comment should be forwarded to Architect.
- Advised that more detail should be shown on the plans and that not enough information has been provided in relation to awnings and sun shading.
- Queried the extended glazing on the western side of the development and that due to the amount of glazing, the site will rely heavily on mechanical air conditioning.
- Advised that if no sun shading is provided, the air conditioning units will be large in size and for a prominent landmark building, will not provide a good look for the City Centre.

- Raised concern with regard to the street level and that it has no point of arrival, particularly due to the sliding doors to the tenancies rather than traditional doors.
- Concerned about the height aspect on the corner and that the applicant has the opportunity to “go for it”.
- Concerned with the design of the foyer and lift area.
- The Panel stated that it would have been beneficial for the Architect to attend the meeting.

The City will write to the Architect raising the concerns of the Panel, and requesting further information on the proposed design.