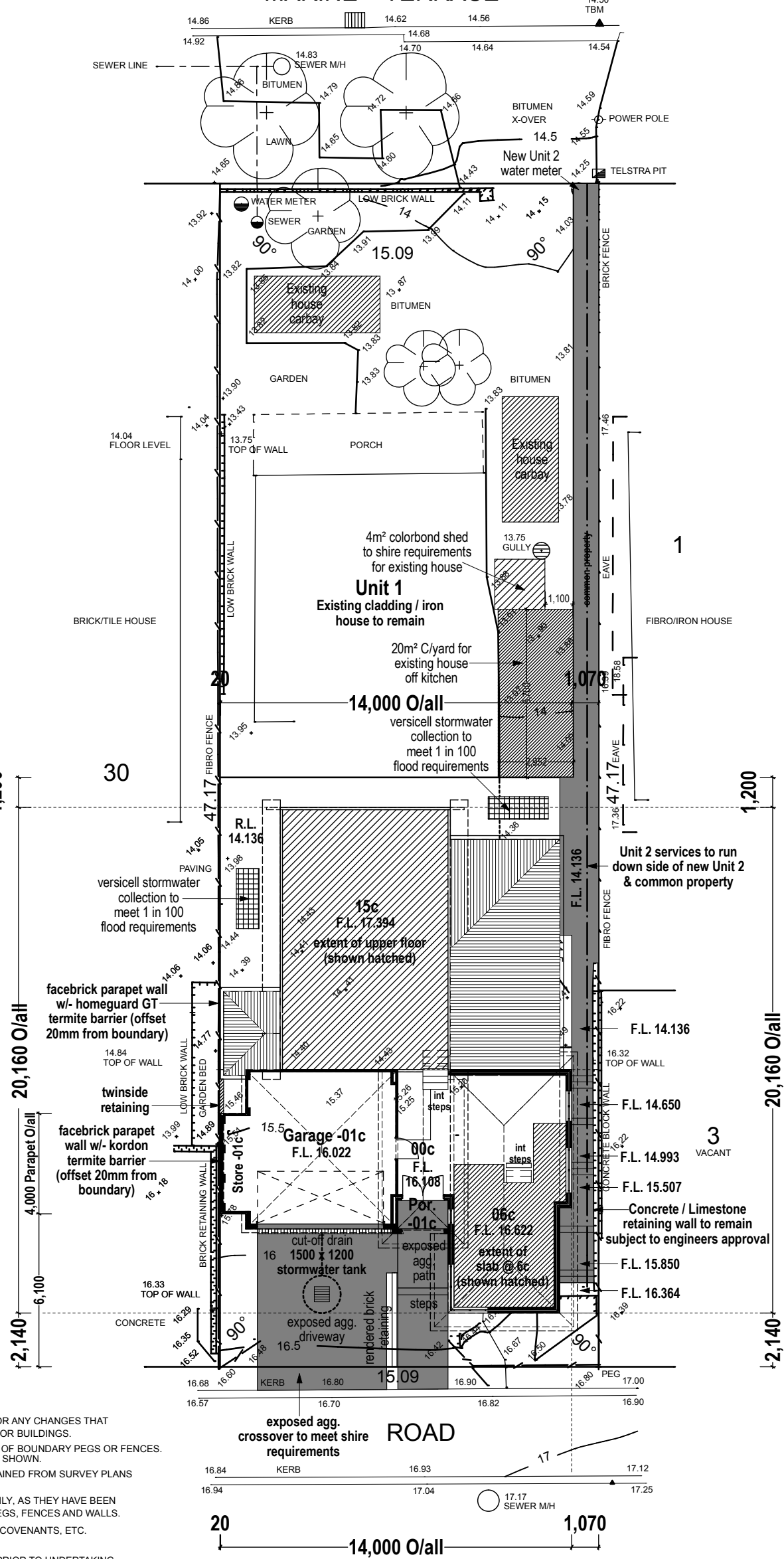
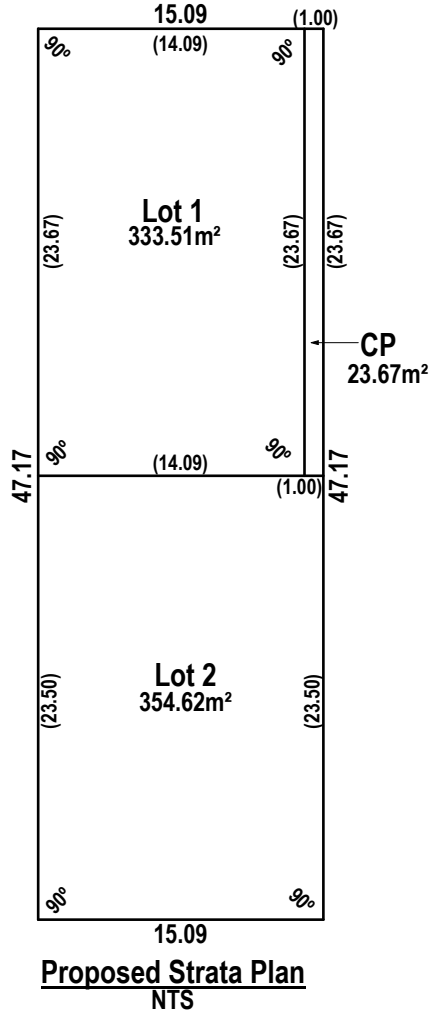


MARINE TERRACE



ROSS McLOUGHLIN SURVEYS ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES THAT HAVE OCCURED AFTER THIS DATE TO SITE LEVELS, FEATURES OR BUILDINGS.
 THIS SURVEY DOES NOT GUARANTEE THE CORRECT POSITION OF BOUNDARY PEGS OR FENCES. INFORMATION SHOWN ON THIS PLAN IS CURRENT AT THE DATE SHOWN.
 CADASTRAL BOUNDARY DIMENSIONS SHOWN HAVE BEEN OBTAINED FROM SURVEY PLANS
 ALL FEATURES AND BUILDING POSITIONS ARE APPROXIMATE ONLY, AS THEY HAVE BEEN POSITIONED FROM MEASUREMENTS TAKEN FROM EXISTING PEGS, FENCES AND WALLS.
 CHECK CERTIFICATE OF TITLE FOR EASEMENTS, RESTRICTIVE COVENANTS, ETC. AND ARE SUBJECT TO FIELD SURVEY.
 A BOUNDARY RE-ESTABLISHMENT SURVEY IS RECOMMENDED PRIOR TO UNDERTAKING ANY SITE WORKS OR CONSTRUCTION.

ROSS McLOUGHLIN
 CONSULTING SURVEYOR
 JOONDALUP: UNIT 1, 9 MERCER LANE
 LANCELIN: 4 SALVAIRE CRESCENT
 MOBILE 0419 255 999
 EMAIL rossmac@inet.net.au

LOT 31 (No.56) MARINE TERRACE - SORRENTO			
SITE PLAN			
SCALE: 1:200 @ A3 SIZE	LOCAL AUTHORITY: CITY OF JOONDALUP	SURVEYOR: RAM	
DATE: 18.1.2018	PLAN: PLAN 2820	DRAWN: RAM	
DATUM: AHD (SEWER M/H LID)	AREA: 712m ²	SDR FILE: MR1	

Salcic Designs & Drafting
 PH: 0403522789
 EMAIL: salcicdesigns@hotmail.com

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Wind Class: TBC

SDD1146

DWG.	Site Plan		
Scale	1:100		
Sheet	1 of 6		
DRW	DATE	CHK'D	DESCRIPT
JS	11/03/18	-	Sketch
JS	21/05/18	-	Planning

PROPOSED RESIDENCE
FOR: F. & D. Fitzsimmons

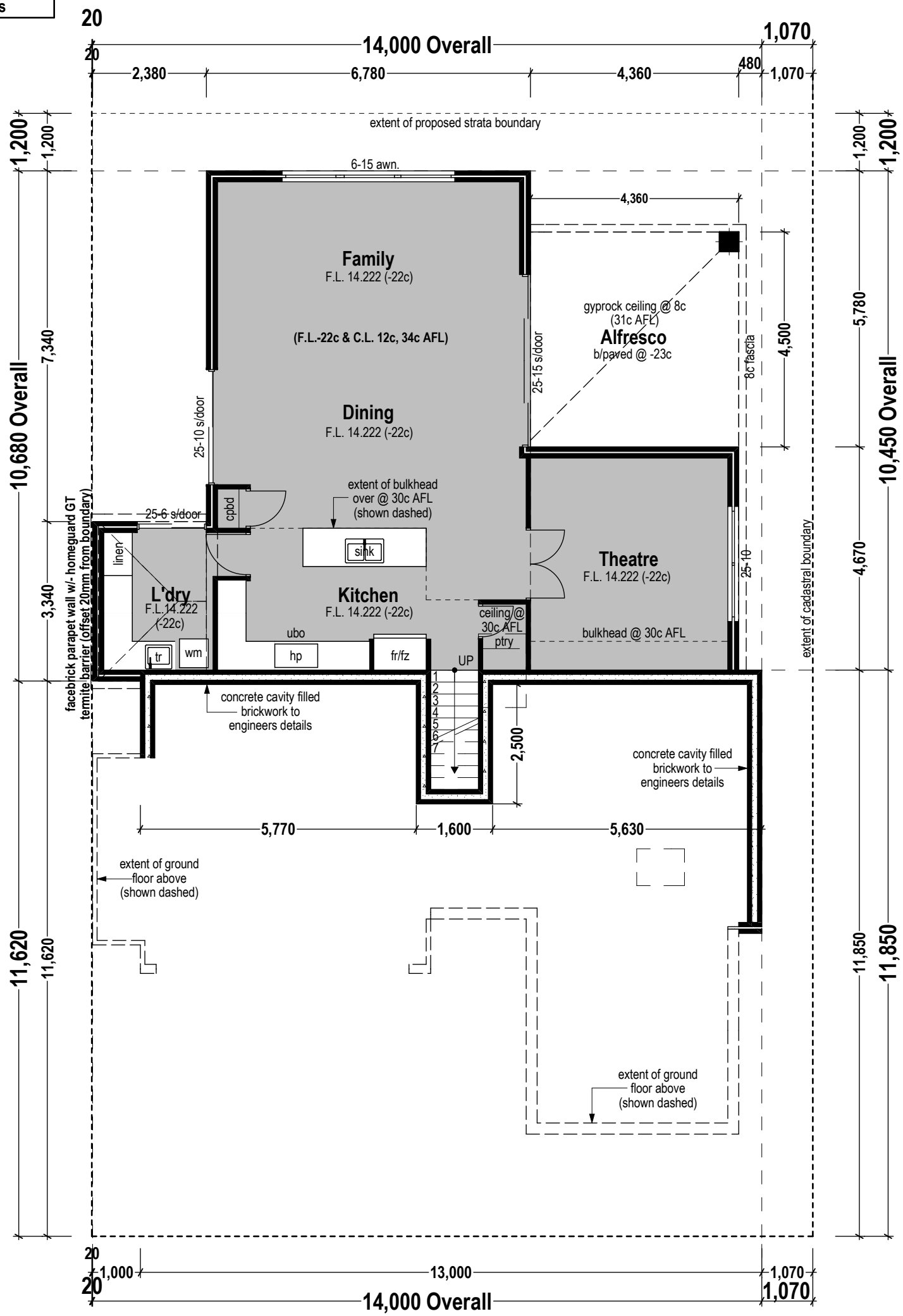
AT: Lot 31 (#56)
 Marine Terrace, Sorrento

These are the plans referred to in contract

Date _____
 Owner _____ Builder _____
 Owner _____ Witness _____

Note:
Timber Roof Framing
in accordance with relevant
Australian Standards

Note! Design subject to
WAPC, Western Power,
Neighbours, Shire,
Engineers & Water
Corp Approval



design may require further changes
to comply with the Energy Efficiency
Provisions & Star Rating in the
Building Code of Australia which
became effective as of May 2012.
Note the orientation and climate zone
of th building will effect the star
rating and may incur additional cost
to meet 6 star requirements

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Wind Class: TBC

GF Area:
House: 101.72m²
Alfresco: 19.62m²

TOTAL AREA: 121.32m²

SDD1146

DWG. Ground Floor Plan

Scale 1:100 Sheet 2 of 6

DRW	DATE	CHK'D	DESCRIPT
JS	11/03/18	-	Sketch
JS	21/05/18	-	Planning

PROPOSED RESIDENCE
FOR: F. & D. Fitzsimmons

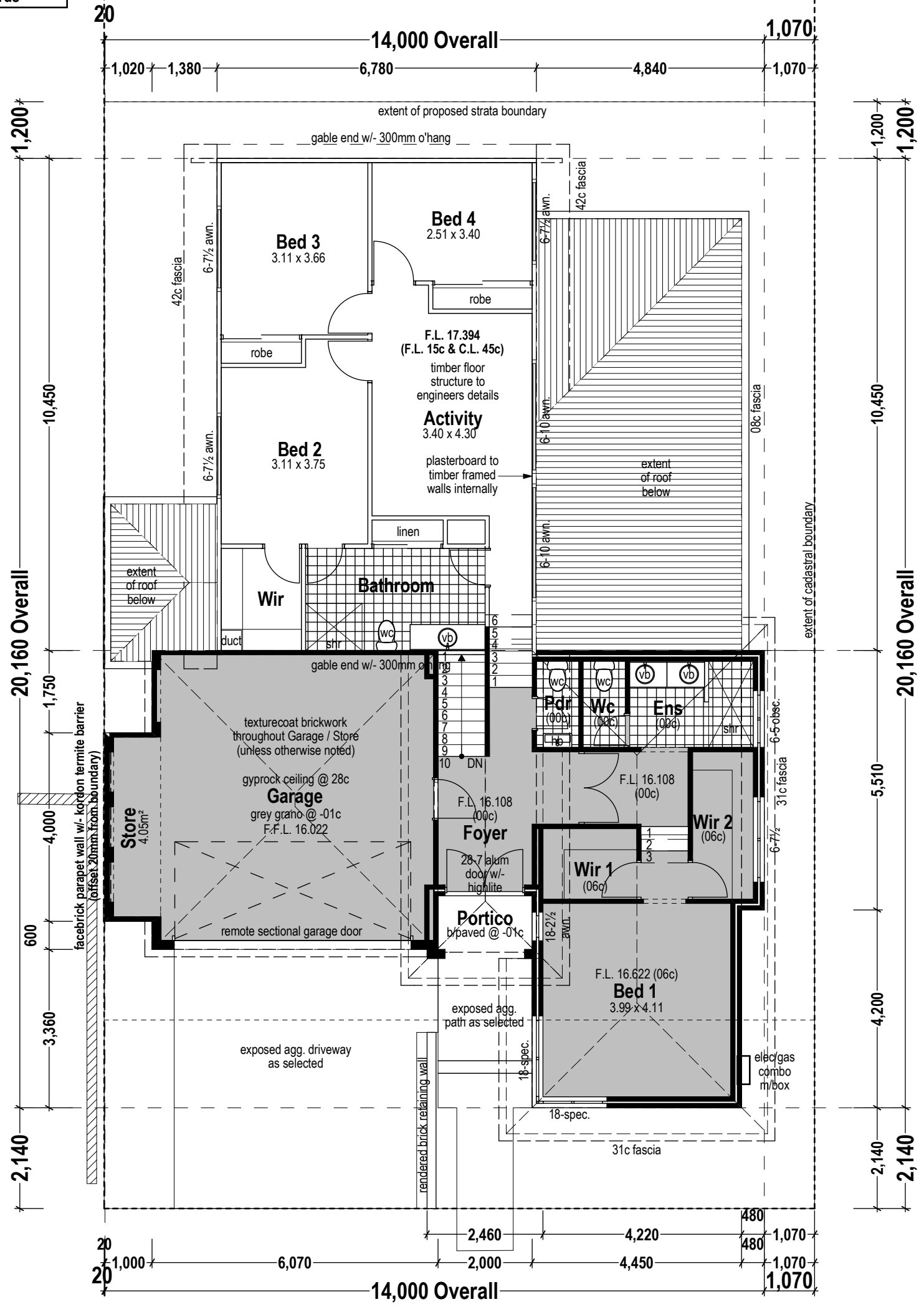
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Marine Terrace, Sorrento

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Note! Design subject to
WAPC, Western Power,
Neighbours, Shire,
Engineers & Water
Corp Approval



design may require further changes to comply with the Energy Efficiency Provisions & Star Rating in the Building Code of Australia which became effective as of May 2012. Note the orientation and climate zone of th building will effect the star rating and may incur additional cost to meet 6 star requirements

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Wind Class: TBC

GF Area:
House: 126.97m²
Garage / Store: 41.71m²
Porch: 2.70m²

TOTAL AREA: 171.38m²

SDD1146

DWG. Ground & Upper Floor Plan

Scale 1:100 Sheet 3 of 6

DRW	DATE	CHK'D	DESCRIPT
JS	11/03/18	-	Sketch
JS	21/05/18	-	Planning

PROPOSED RESIDENCE
FOR: F. & D. Fitzsimmons

AT: Lot 31 (#56)
Marine Terrace, Sorrento

These are the plans referred to in contract

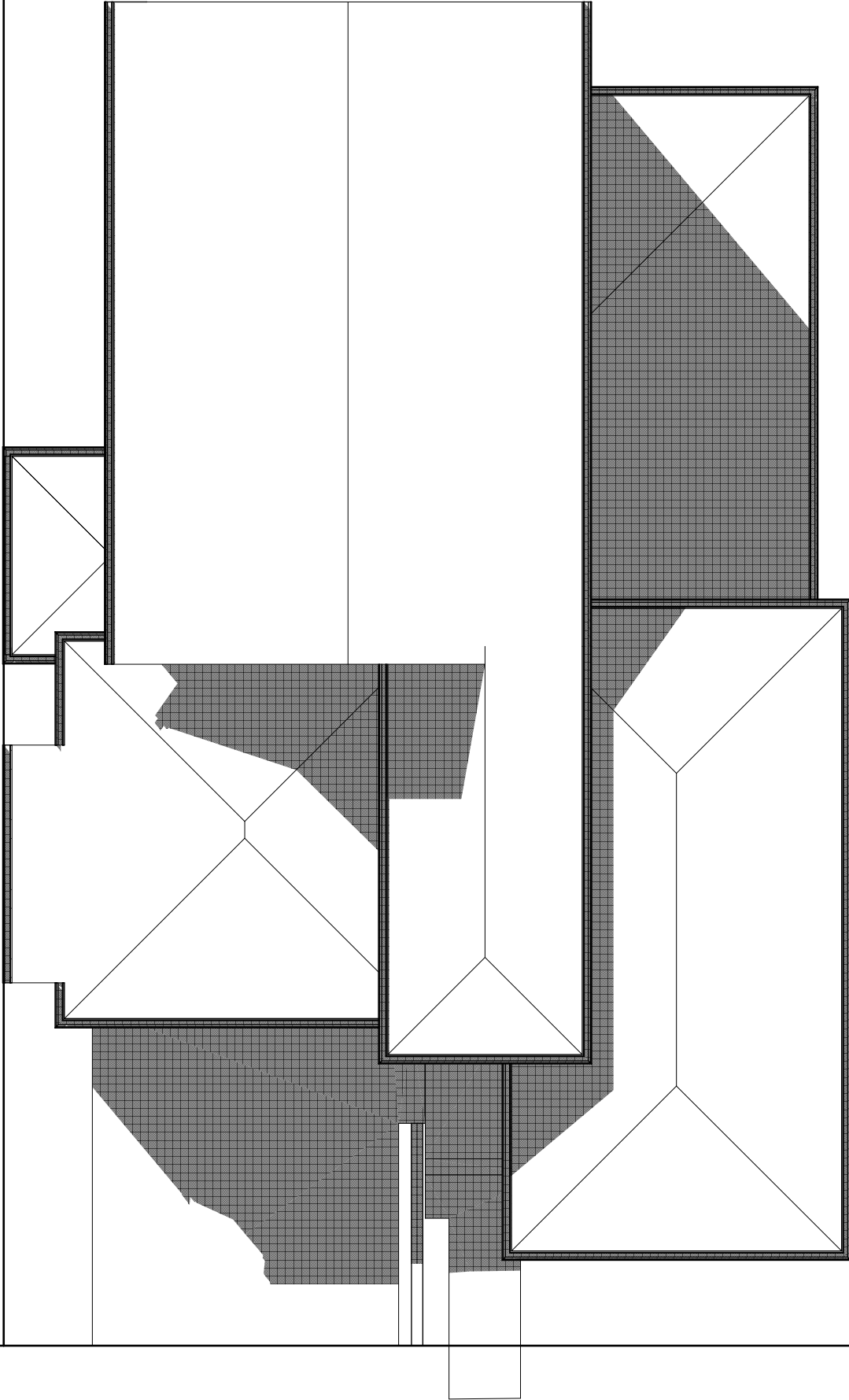
Date _____
Owner _____ Builder _____
Owner _____ Witness _____

Overshadow Calculations
#56 Marine Terrace,
Sorrento (Proposed Unit 1)
Area: 333.51m²
Area of Overshadowing: 0m²
% of Overshadowing: 0.000%

Overshadow Calculations
#58 Marine Terrace, Sorrento
Area: 485m²
Area of Overshadowing: 0m²
% of Overshadowing: 0.000%

Overshadow Calculations
#54 Marine Terrace, Sorrento
Area: 711.76m²
Area of Overshadowing: 0m²
% of Overshadowing: 0.000%

Overshadow Calculations
#7 St Patricks Road, Sorrento
Area: 453m²
Area of Overshadowing: 0m²
% of Overshadowing: 0.000%




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Wind Class: TBC

SDD1146			
DWG. Overshadowing		Sheet 6 of 6	
Scale 1:100			
DRW	DATE	CHK'D	DESCRIPT
JS	11/03/18	-	Sketch
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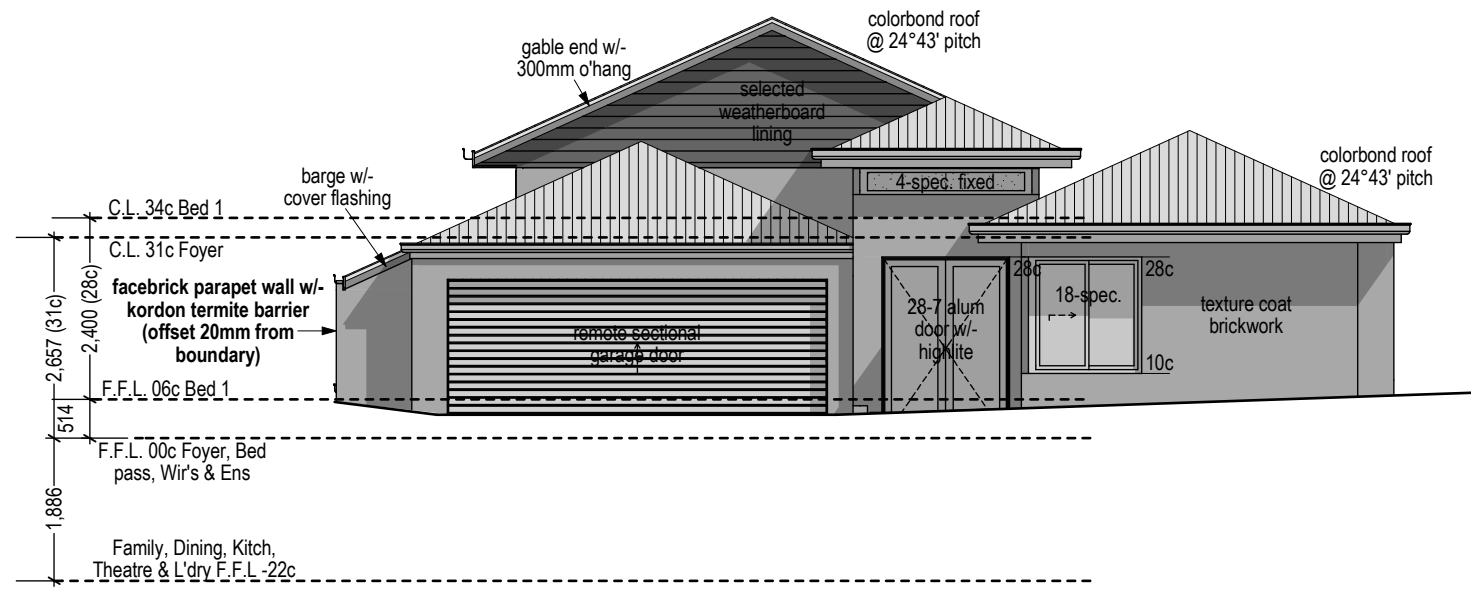
PROPOSED RESIDENCE
FOR: F. & D. Fitzsimmons

AT: Lot 31 (#56)
Marine Terrace, Sorrento

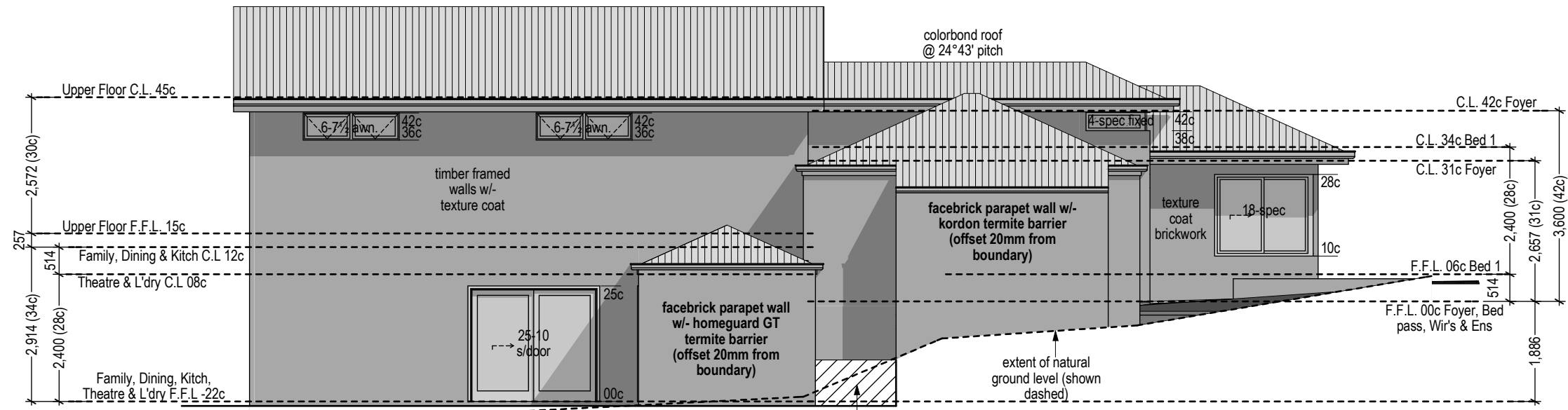
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 Owner _____ Witness _____

Note:
Timber Roof Framing
 in accordance with relevant
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Elevation 1



Elevation 2



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Wind Class: TBC

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DWG. Elevations 1

Scale 1:100 Sheet 4 of 6

DRW	DATE	CHK'D	DESCRIPT
JS	11/03/18	-	Sketch
JS	21/05/18	-	Planning

PROPOSED RESIDENCE
FOR: F. & D. Fitzsimmons

AT: Lot 31 (#56)
Marine Terrace, Sorrento

These are the plans referred to in contract

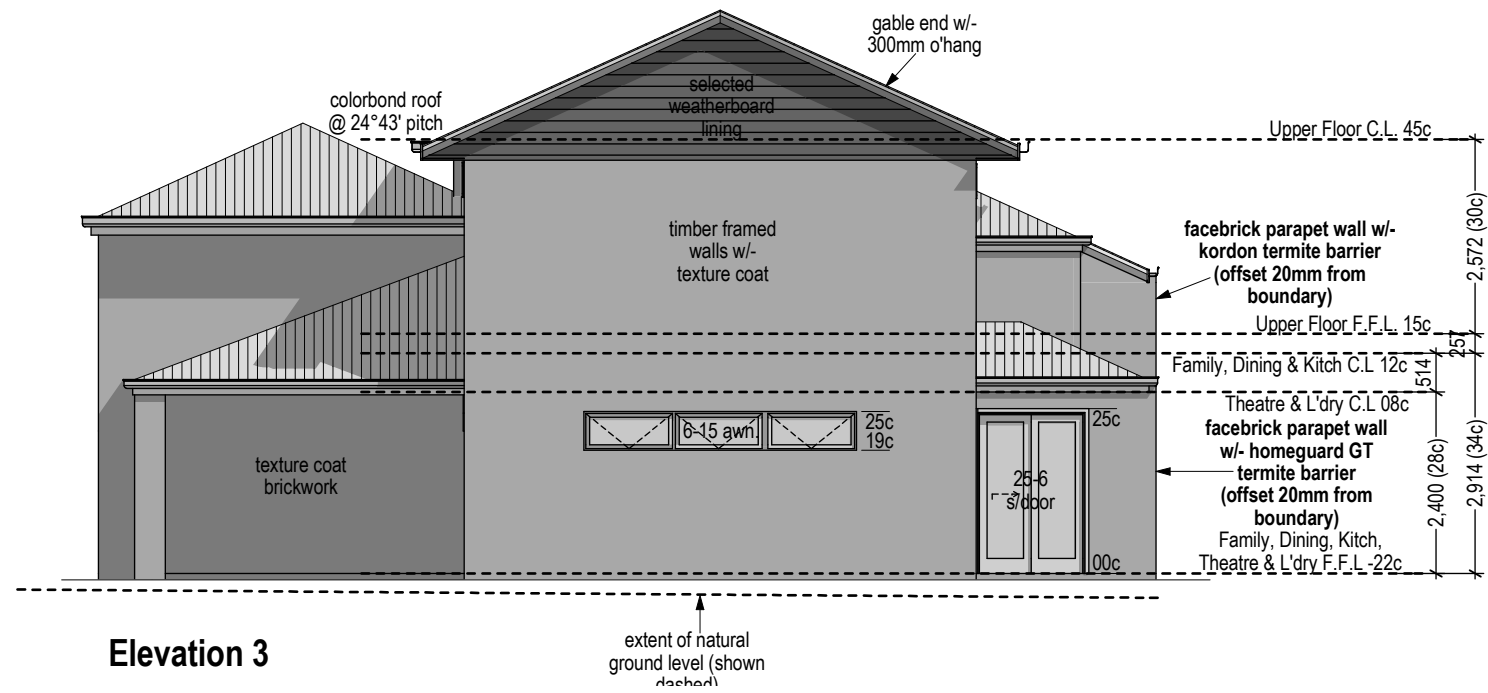
Date _____

Owner _____ Builder _____

Owner _____ Witness _____

Note:
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R-codes clause 5.4.1/6.4.1 - visual
privacy from windows as shown.
Also refer to Elevations for
obscured glazing.



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Wind Class: TBC

SDD1146

DWG. Elevations 2

Scale 1:100 Sheet 5 of 6

DRW	DATE	CHK'D	DESCRPT
JS	11/03/18	-	Sketch
JS	21/05/18	-	Planning

**PROPOSED RESIDENCE
FOR: F. & D. Fitzsimmons**

**AT: Lot 31 (#56)
Marine Terrace, Sorrento**

These are the plans referred to in contract

Date _____

Owner _____ Builder _____

Owner _____ Witness _____

