

Joondalup

City Centre

Development

Plan and Manual



Development Manual

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Development Manual





Introduction

This is the Development Manual referred to under the City of Wanneroo Town Planning Scheme containing design and site planning policies for the Joondalup City Centre. It provides information to assist developers in the design of buildings for the Joondalup City Centre.

The Document sets out:

- *The approval process and requirements for submissions to LandCorp and the City of Wanneroo.*
- *Controls and guidelines pertaining to site planning, building envelope and building details.*

- *Information regarding additional licenses and permits such as those involving alfresco dining, construction guidelines, signage, etc.*

The purpose of the manual is to encourage buildings that make an optimum contribution to the enhancement of the City. This assistance is given in the form of controls and guidelines:

- *Discretion will be used in the assessment of all proposals where the overall result reflects the spirit of the policies.*

How the Manual Works

Each control or guideline is derived from policies set down in the Development Plan. Under each guideline heading, reference is made to the policies from which the guidelines are derived. Further information can be found by linking it back via the reference number to the policy background set out in the Development Plan.

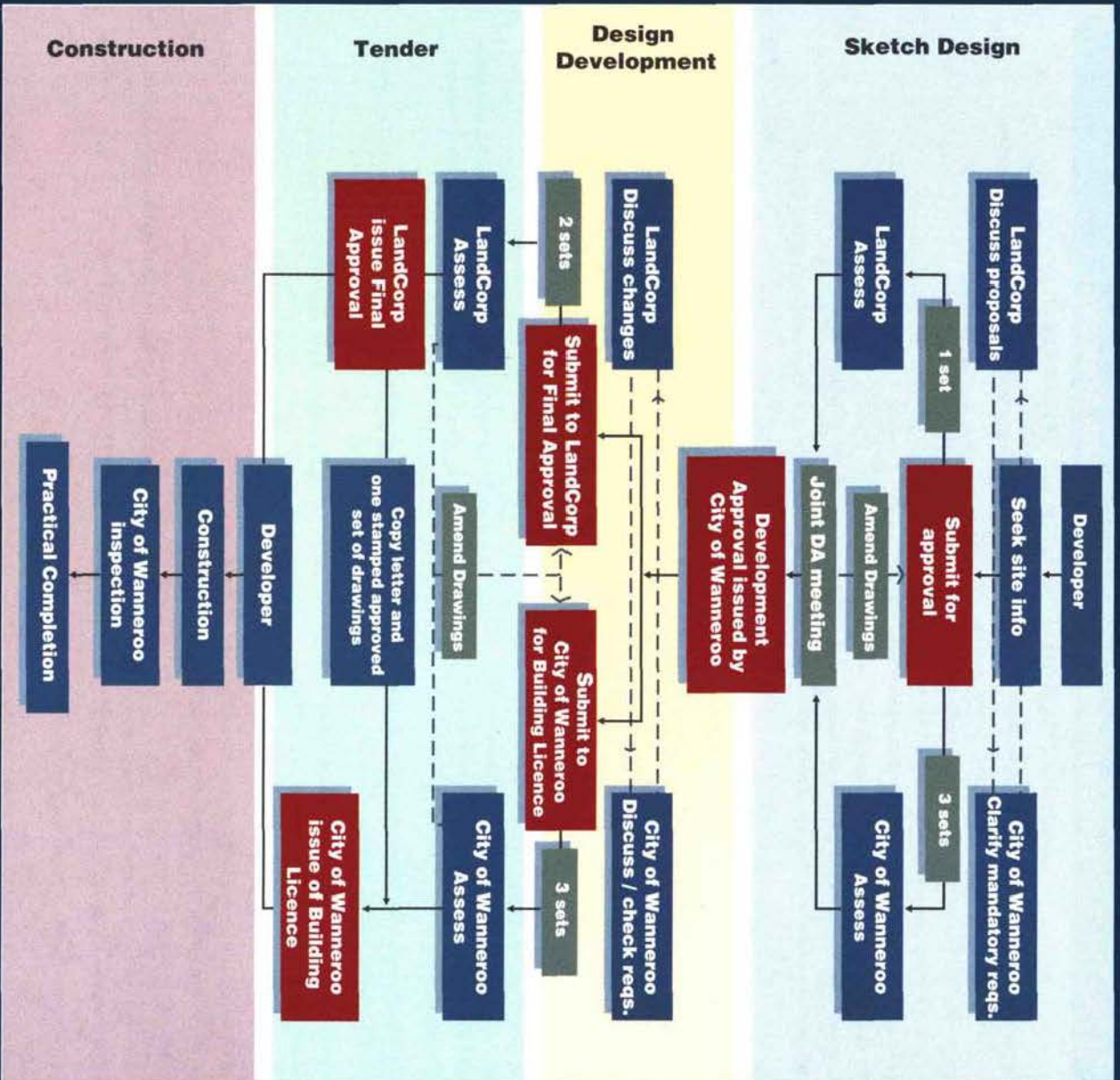
The controls included in this document are in addition to the Building Code of Australia, Australian Standards and any other City of Wanneroo requirements which may be applicable.

Approvals Process

The process to be followed from initial planning through the stages of approval to construction is described in the following flow diagram.



Approvals Process





Applications for Development Approval

LandCorp and The City Of Wanneroo

Applications for development approval shall be made to LandCorp and the City of Wanneroo concurrently. Three (3) sets of drawings are required by the City of Wanneroo along with application Form 1 and the necessary fees. One (1) set of drawings and a photocopy of Form 1 are required by LandCorp. Development approvals are assessed and issued jointly. Notice of LandCorp approval is forwarded to the City of Wanneroo and will be issued as an attachment to their development approval.

Drawings shall include the following information:

Site Plan To Street Kerb

(To a scale not less than 1:200) To include:

- Street names, lot number and area of site.
- North point clearly marked.
- All relevant details of road reserve, such as parking, trees, furniture lighting, site contours etc.
- Site plan information of adjoining properties (details supplied by LandCorp) to indicate streetscape compatibility of adjoining developments.
- The dimensioned position of proposed new development and of any existing development on the site.
- Existing and proposed levels, including the street or pedestrian accessway, should be clearly indicated by contour lines and/or spot levels over the whole of the site.
- Details of the location and layout of any carparking area and all points of access and egress, both vehicular and pedestrian, to the site.
- The method of disposing of all stormwater collected on site, in a manner acceptable to the City Engineer.
- The extent of all landscaping on the site and continuous verges.

- Calculations of GLA and parking (on drawings).
- Building use (on drawings).

Building Plan

(To a scale not less than 1:200) To include:

- A plan of every storey.
- Levels of all floors and surrounding ground.
- The height of each storey.
- The distance between buildings.
- Details of any retaining walls.
- Dimensions of significant areas such as public arcades and colonnades.

Elevations

(To a scale not less than 1:200) To include:

- Street frontage elevations including adjoining properties (supplied by Authority) and all existing street trees and furniture.
- Other elevations fronting a public accessway or public space.
- Any mechanical plant external to the building.
- Materials to be used externally.

Sections

(To a scale not less than 1:200) To include:

- Typical sections showing level relationships to street.
- Any external mechanical plant.

See supplementary information on next page

Application to Landcorp not required.

Dev. Approval not required for changes of preferred use.

(Resolution of Joint Commissioners - 25 August 1998 - G186-08/98)

Introduction: Omit reference to Landcorp to read as follows:

The Document sets out

- The approval process and requirements for submission to the City of Joondalup

Approvals Process: Omit reference to Landcorp, in diagram:

Applications for Development Approval: Omit references to Landcorp, to read as follows:

Applications for Development Approval
The City of Joondalup

Applications for development approval shall be made to the City of Joondalup for all development in the Joondalup City Centre other than a change of use between permitted non-residential uses. Three (3) sets of drawings are required along with application Form 1 and the necessary fees.

Applications are required for all external signage to be mounted on buildings or which is visible from the public street.

Applications for Final Approval: Omit references to Landcorp, to read as follows:

Building Licence – City of Joondalup

The City of Joondalup requires three sets of all documents to accompany the Form 2 application for a Building Licence.

CJ86-08/98 (25/8/98)

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Central Business District

C O N T E N T S

Site Planning

- A1** Land Use
- A2** Plot Ratio
- A3** Carparking
- A4** Setbacks and Heights

Building Envelope

- B1** Design in Context
- B2** Active Frontages
- B3** Entrances and Access
- B4** Levels
- B5** Roofscape
- B6** Facade : Solid-Void Ratio
- B7** Pedestrian Shelter
- B8** Signage and Advertising
- B9** Sightline Easements
- B10** Overshadowing

Details

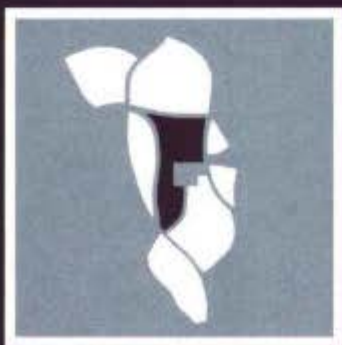
- C1** Overlooking
- C2** Public Art
- C3** Services and Servicing
- C4** Lighting of Buildings and Open Space
- C5** Public Safety and Security
- C6** Ancillary Structures
- C7** Landscaping and Open Space
- C8** Materials

Joondalup

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Central Business District





Central Business District

The Central Business District is intended to epitomise the urbanity of a bustling city centre.

There will be an intensely developed mix of city centre activities within a "pedestrianised" environment where street level retail and entertainment facilities predominate. There will be an emphasis on speciality shops, cinemas, personal service establishments, restaurants, alfresco dining, offices and residential accommodation. This combination will contribute to a 24-hour character with nightlife focused upon entertainment, leisure, arts and cultural activities.

The retail component of the District will focus on "city centre retailing" in contrast to the convenience retailing in the Western Business District.

Station Square, above the railway station, will be a major node of the City, supporting retail and entertainment activities as well as being the interfacing element between transportation modes. Its location at the junction of the major pedestrian axes will reinforce its prominent position in the structure of the City.

Movement through the District should be pedestrian-dominant, however, a high level of accessibility by private and public transport is also intended.

Public carparking stations will be developed throughout the District.

The scale of development in the District should be sensitive to its highly pedestrianised nature. Accordingly, elements offering a high level of amenity for pedestrians - such as colonnades, walkways, seating areas, pocket parks and small plazas are encouraged.



Central
Business
District

Central Business District

A

Joondalup

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CBD • Site Planning

C O N T E N T S

- A1 Land Use**
- A2 Plot Ratio**
- A3 Carparking**
- A4 Setbacks and Heights**



A1 P O L I C I E S

- P1.1 Reinforce unique identity of each District.
- P5.1 Concentrate commercial and retail activity in the City.
- P5.2 Create a significant residential population in the City.
- P5.4 Concentrate larger floor space retailing on the western edge of the City.
- P5.5 Integrate retail activity throughout the City.
- P5.8 Encourage 24-hour use of the City.
- P5.9 Encourage outdoor activities.

A1

Land Use

There is considerable flexibility in the possible distribution of land uses throughout the City Centre. The mixing of land use is encouraged and development proposals will be treated on their merit.

A1.1 General City Uses

- Office.
- Retail.
- Accommodation.
- Residential.
- Leisure and entertainment.
- Cultural facilities.
- Community service facilities.
- Medical suites.
- Council administration.
- Civic Centre.
- Law Courts and Police facilities.

There are a number of designated areas of land use:

A1.2 Retail

The central retail area comprises large and small floor space retailing adjacent to the public transport interchange and the Western Business District Regional Shopping Centre. Retail uses will be integrated with uses such as entertainment, cultural, community, office and accommodation which promote extended hours of patronage.

A1.3 Residential/Mixed Use

Residential development integrated with other uses and which must on designated sites achieve a residential density of at least equivalent to R60. The provisions of the Residential Planning Codes do not apply to residential development in the Central Business District.

A1.4 Civic

Centrally located council and civic centre.

A1.5 Cultural Facilities

Mixed throughout the central part of the City and integrated with civic, retail, office, leisure, entertainment and outdoor uses.

The City may permit development up to R100B where the City considers that this has been demonstrated to create an appropriate landmark which enhances the overall legibility & amenity of the City Centre. (rev-JC-25.08.98-CJ86-08/98)

See supplementary information on next page

A1 LAND USE

A1.1 See original document

A1.2 See original document

A1.3 Replaced as follows:

A1.3 Residential/Mixed Use

The provisions of the A1.1 General City Uses shall apply.

CJ136-07/07 (17/7/07)

A1.4 See original document

A1.5 See original document



Land Use Legend

- General City Uses
- Civic
- Retail
- Police Station and Law Courts
- Public Open Space
- Residential Mixed Use
- P Parking
- Where air rights are taken over the railway, such development will be included in the Central Business District.

A1 Land Use



Central Business District

A1 Land Use

A2 PLOT RATIO

The Development Plan Policies call for graded densities and built form having a maximum density at the centre of the City and lower density on the periphery.

A2.1 Graded Density

The plot ratios are graded from the centre to the periphery with maximum plot ratios as illustrated.

A2.2 Measuring Plot Ratio

Plot ratio shall be determined as the ratio of the gross total of the areas of all floors of the buildings on a site to the area of land within the site boundaries. For this purpose, such areas shall include the area of any walls, but not include the area of lift shafts, stairs or stair landings common to two or more residential/commercial units, machinery, air-conditioning and equipment rooms, non-habitable space that is wholly below natural ground level, areas used exclusively for the parking of wheeled vehicles at or below natural ground level, lobbies or amenities areas common to more than one residential/commercial unit, or balconies or verandahs open on at least two sides.

A2.3 Concessions

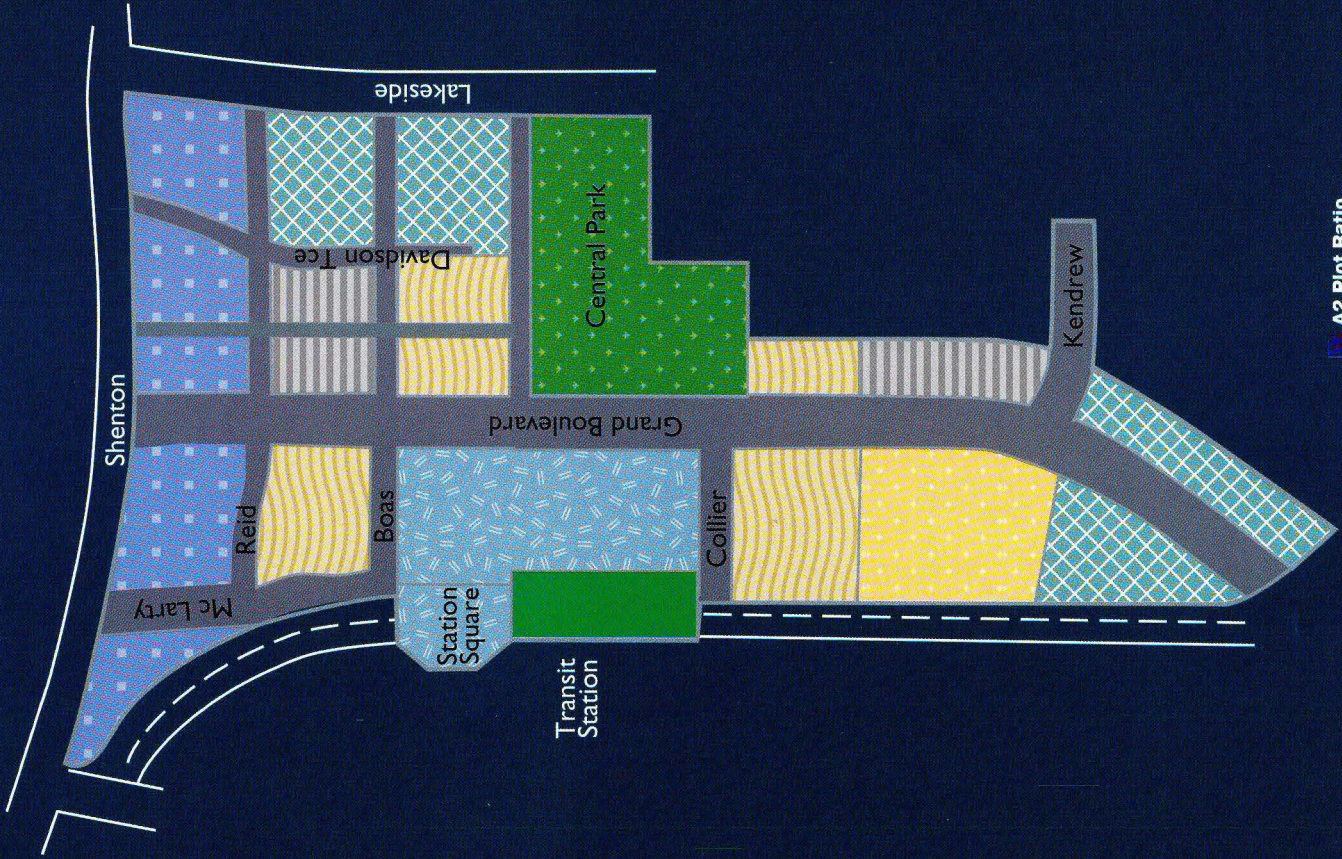
The provision of public open space and residential will not be counted towards the plot ratio.



Central
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District

A2 Plot Ratio

Plot Ratios

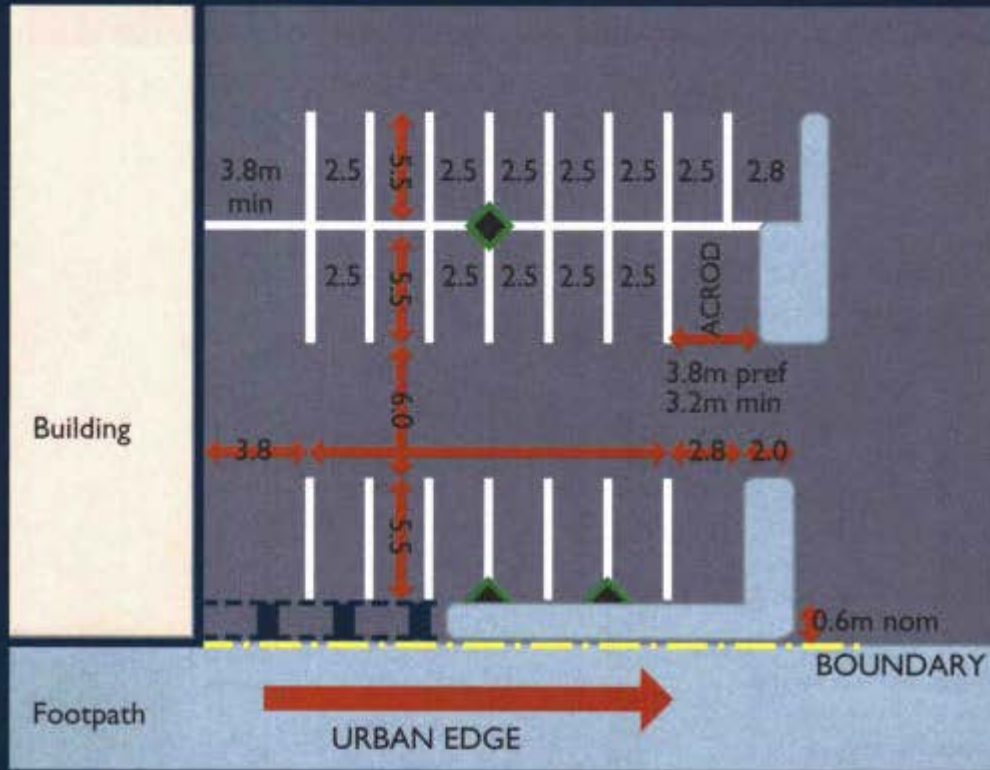


A2 Plot Ratio

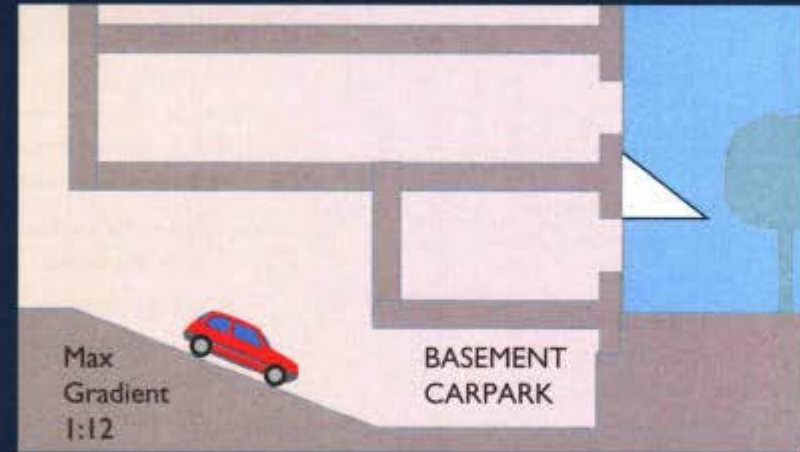
A3 CAR PARKING

A3.1 Car Parking Requirements:

Residential dwelling:	2 bays per dwelling
Single Bedroom Dwelling:	1 bay per dwelling
Aged/Dependent Persons' Dwelling:	1 bay per dwelling
Residential Mixed Use:	1 bay per 30m ² Net Lettable Area (Commercial) and 1 bay per dwelling
Commercial:	1 bay per 30m ² Net Lettable Area
Hotels:	1 bay per 3 bedrooms plus 1 bay per 30m ² for any other commercial space accessible by the public
Warehouse:	1 bay per 50m ² Net Lettable Area



A3.6 Carparking dimensions



A3.8 Ramped access



Central Business District

A3 Carparking



A4 POLICIES

- P2.1** Continuous urban wall enhancing gridded street pattern.
- P2.3** Form discrete contained street spaces and avoid visual domination of open space.
- P2.4** Control adverse environmental impact upon street spaces from building form.

A4

Setbacks and Heights

The Policy encourages development of a continuous urban wall to street frontages and minimising any setbacks from side boundaries.

A4.1 **Front - lot boundaries adjoining a street or Public Space**

Buildings shall be built to the street property line creating an "urban wall", excepting entries and forecourts, where approved.

Colonnades should be provided within the property or canopies provided over the public space; refer B7.

Buildings shall not penetrate a 60 degree recession plane inclined towards the site from a point 13.5m (10m along north-south pedestrian spine) above the mid-point of the street boundary at natural ground level, as illustrated.

Structures ancillary to the development such as masts, clock towers, spires, aerials and decorative parapet treatment may penetrate the recession plane provided that their horizontal dimension does not exceed 30% of the building frontage, as illustrated.

A4.2 **Side**

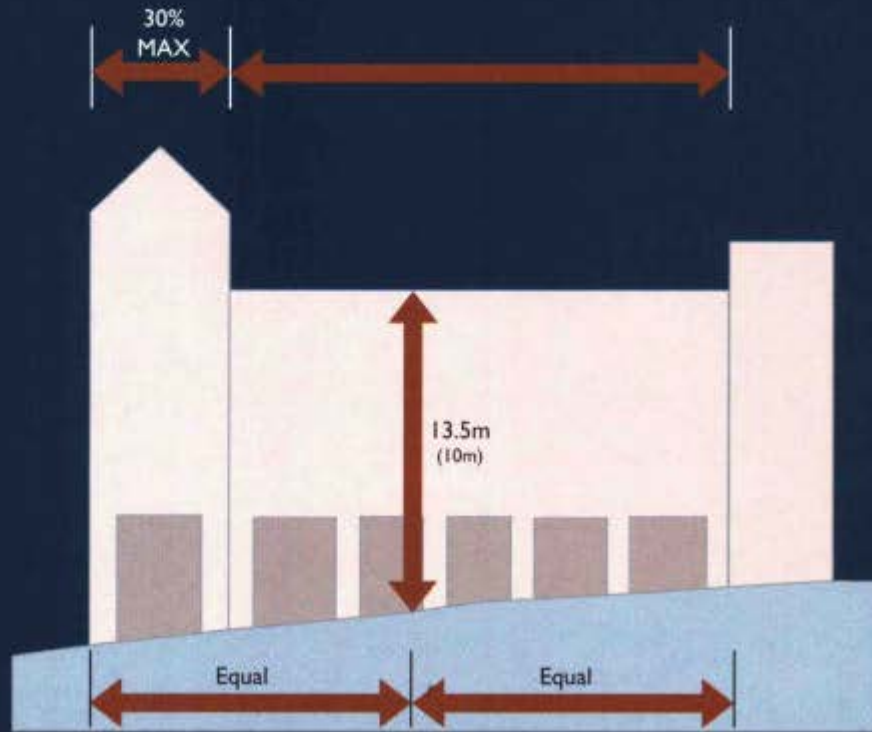
Buildings should have no side set-backs. Where buildings are to be staged, ultimate site planning should reflect this.

A4.3 **Multi-Fronted Lots**

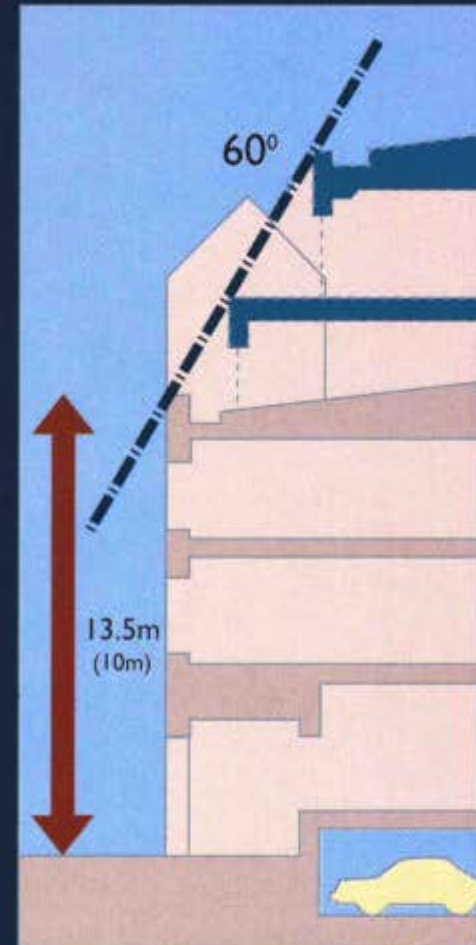
Where buildings cannot achieve a frontage to all public spaces the "urban wall" effect shall be continued through built or landscaped form. Refer B1.6.

A4.4 **Rear**

There is no rear set-back requirement.



A4.1 Ancillary Structures penetrating the 13.5m average parapet height shall not exceed 30% of the street facade



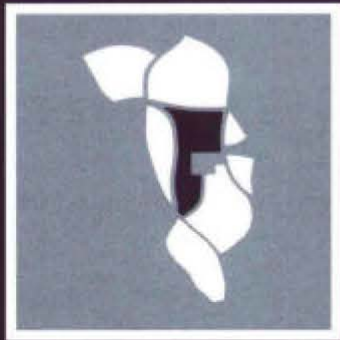
A4.1 60 degree recession plane above 13.5m



Central
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A4 Setbacks and Heights

B



CBD • Building Envelope

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B10	Overshadowing



B1 P O L I C I E S

- P1.2 Integrate separate Districts at edges.
- P1.3 Form urban vistas.
- P1.4 Form urban gateways.
- P1.5 Encourage richness of form.
- P2.2 Form distinct street character.
- P2.3 Encourage visual connection with Lake Joondalup.
- P2.1 Form urban landmarks.
- P2.2 Ensure an appropriate context for landmarks.
- P2.4 Encourage vistas from outside the centre to key locations within the City.
- P2.5 Form landmarks at key locations.

B1

Design in Context

The richness and character of the street space should be achieved through the variety of the individual buildings. The integrity of the streetscape requires some consistency in the form and rhythm of building frontages.

B1.1 Street Context

The design of the building elevation should reflect an integrity of form and rhythm. This should be derived from a compatibility in fenestration, scale, finishes, details and colour between buildings in the street.

B1.2 Facades

Facades should address street frontages and in the case of corner properties, both street frontages.

B1.3 Corners

The corners of buildings should be designed to articulate the corner, especially for landmark or nodal locations as designated in P2 and P3.

B1.4 Public Space Landscaping And Furniture

The design of the building facade should take into account the location and form of existing street planting and furniture to ensure a considered and integrated composition of streetspace and building.

B1.5 Staged Development

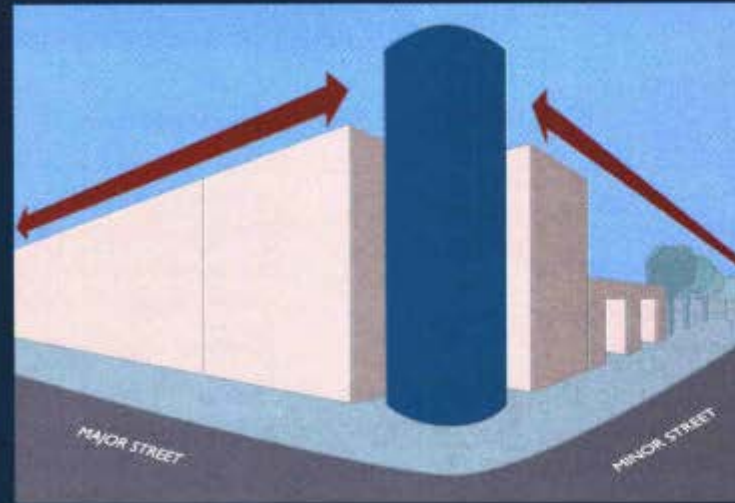
Planning of a staged development of a site should ensure that each stage is designed as a complete architectural composition and that site planning for the complete development should reflect the requirements of these guidelines.

B1.6 Multi-Fronted Lots

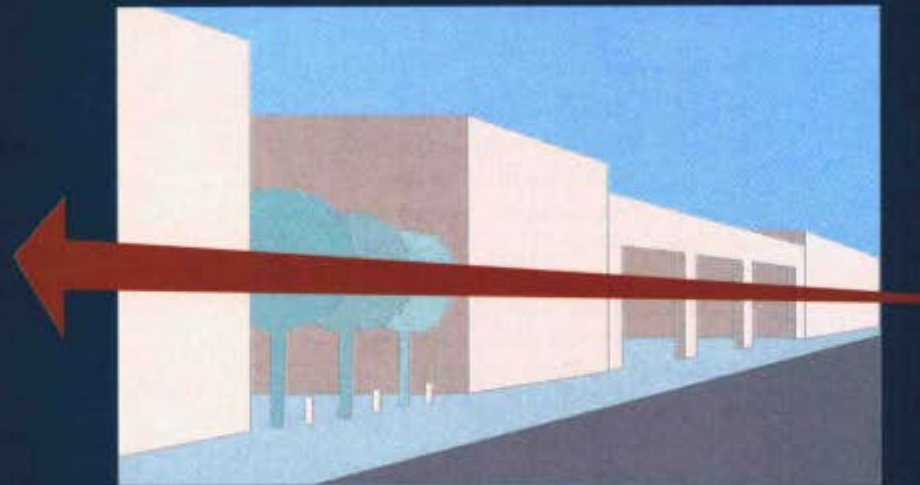
Where a continuous urban wall cannot be achieved, buildings should occupy the corner and address the most prominent frontage. Ancillary structures and landscaping should be used to continue the edge.



B1.3 Buildings should articulate corners



B1.6 Buildings should address the most prominent corner and street frontage



B1.6 Continuity of Urban Edge with ancillary structures or landscaping



Central
Business
District

B1 Design in Context

B2 P O L I C I E S

- P6.1** Ensure form of streets and other public space is conducive to social activity.
- P6.2** Optimise interaction between streetspaces and building interior.
- P7.5** Control parking access to minimise impact on streets.
- P7.8** Minimise impact of basement carparking on street.

B2**Active Frontages****B2.1 Ground Floor Facade**

Glazing at ground floor level should be maximised and set within a visually solid, framed facade. At least 50% of the area of the ground floor facade shall be glazed and the horizontal dimension of the glazing shall comprise at least 75% of the total building frontage.

Windowsill heights should be at or close to floor level.

Obscured or reflective glazing shall not generally be used at ground floor level.

B2.2 Animation

The animating of the street space adjacent to the ground floor is to be encouraged through ground floor activity such as retailing, cafes and restaurants.

The building form should itself be animated and extensive blank walls should be avoided.

B2.3 On-Grade Parking

Where a carparking area abuts a street frontage between buildings, there shall be a strong landscaped or built edge at the property line to reinforce the continuity of the built edge to the street in accordance with B1.6.

B2.4 Access

Automatic Teller Machines and displays should be installed to be suitable for disabled users.

B2.5 Alfresco Dining*Approval*

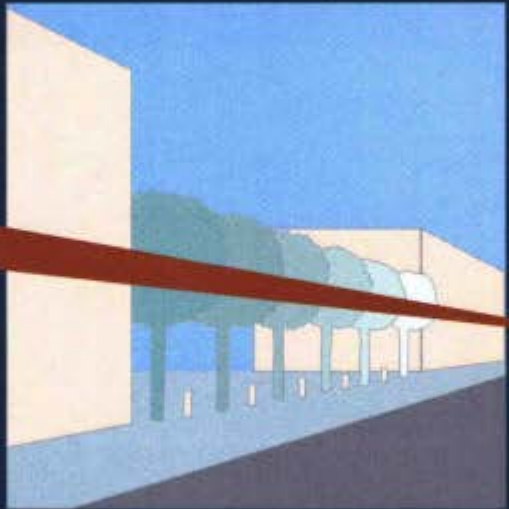
Separate Development Approval is required for any alfresco dining area.

Licence

Approval is subject to renewal on an annual basis. A renewal fee and an alfresco dining fee are payable to the City of Wanneroo.

Guidelines

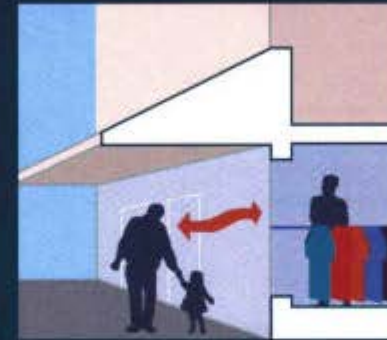
Guidelines pertaining to alfresco dining are available from the City of Wanneroo's Town Planning Department.



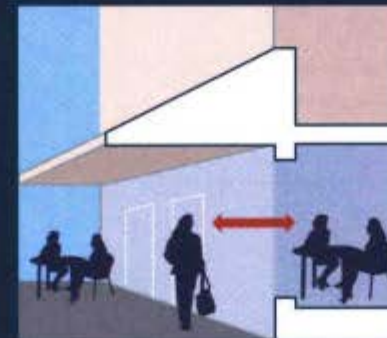
B2.3 Continuity of landscaped edge to carparking fronting the street



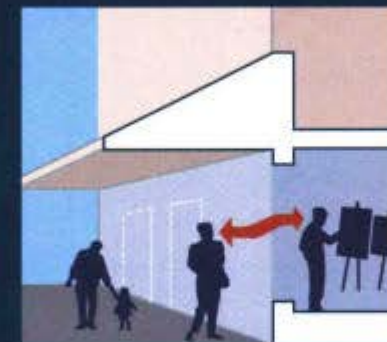
Kiosks, balconies



Window shopping



Alfresco dining, cafes, restaurants



Craftworkers, artists, displays

B2.3 Bringing the life of the interior to the streetscape



**Central
Business
District**

B2 Active Frontages

B3 P O L I C I E S

- P1.1** Reinforce unique identity of each District.
- P2.1** Form urban landmarks.
- P4.3** Optimise interaction between streetspaces and building interior and allow front door access for all users.
- P7.5** Control parking access to minimise impact on streets.

B3**Entrances and Access****B3.1 Identity**

Entrances to buildings should have a clear identity and be accessible directly from the street.

Points of access from the street to carparking and pedestrian spines should be clearly defined.

B3.2 Foyers

Internal foyers should have a strong visual relationship with the street.

B3.3 Access

Where a level change from pavement to interior exists, provision must be made for ramped street front access within the property boundary for those with limited mobility.

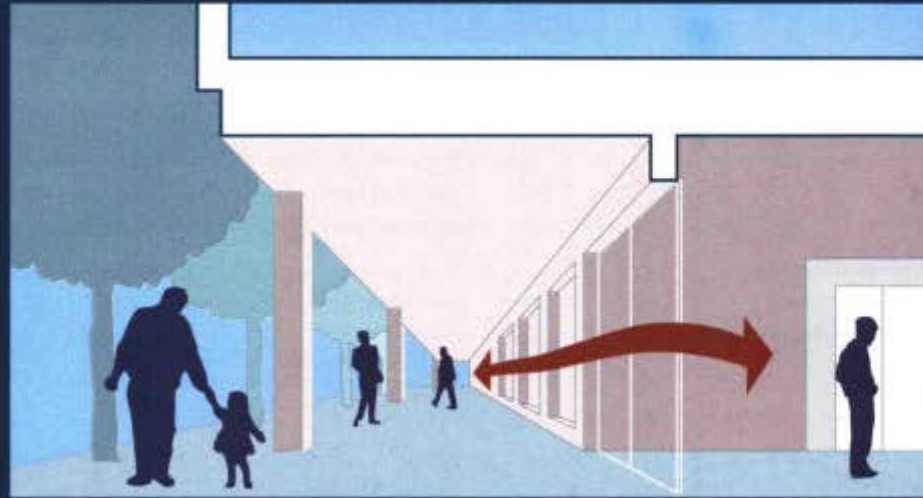
Changes in level should be delineated with changes in colour or paving pattern to alert those with impaired vision.

Where an abrupt level change occurs immediately in front of a common access point, bollards or a similar device should be used.

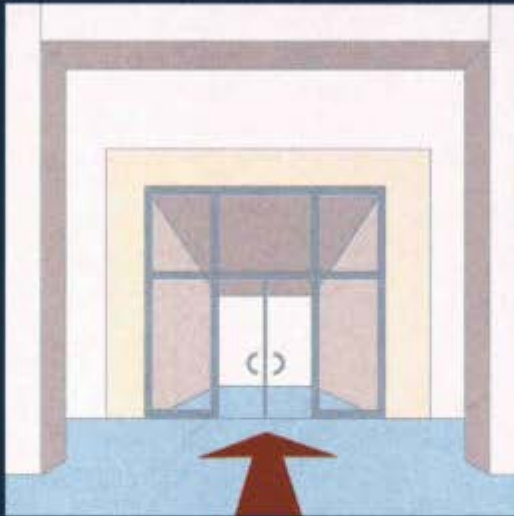
Where revolving doors or turnstiles are used, adjacent alternative access should be provided suitable for prams, wheelchairs and the elderly.



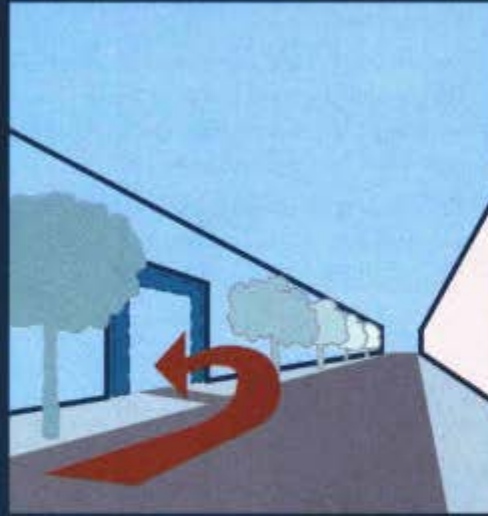
B3.1 Clear building entry



B3.2 Relation of entry foyers to the street space



B3.2 Visual entry of entry foyers



B3.1 Clear vehicle entry



B3.3 Mark abrupt changes in level



B4 P O L I C I E S

- M.1** Ensure form is conducive to social activity.
- M.2** Optimise interaction between streetspace and building interior and allow front door access for all users.
- M.3** Ensure design which inhibits anti-social behaviour at all hours.
- M.4** Minimise impact of basement carparking on street.

B4

Levels

B4.1 Ground Floor Level

The ground floor level of the building should be at finished pedestrian paving level to allow ease of access and contribute to the animation of the street.

Where paving is incomplete, floor levels should be set to meet a continuous grade from kerb to property boundary (usually 2%).

Additional grading, where necessary, must occur within the property.

Where, for reasons pertaining to the use of the ground floor or to basement conditions, the ground floor of the building is raised above the pavement level, the Finished Floor Level (FFL) shall be not more than 0.6m above the finished ground level at the property line.

B4.2 Sloping Sites

For sites with a sloping frontage, the average height of the FFL above the pavement level at the property line must not exceed 0.6m. No part of the internal FFL shall be more than 1.2m above pavement level.

The average height above pavement level of the sills of glazed openings shall be at or close to floor level.

For corner sites, the average height difference will be calculated for the combined frontage to both streets.

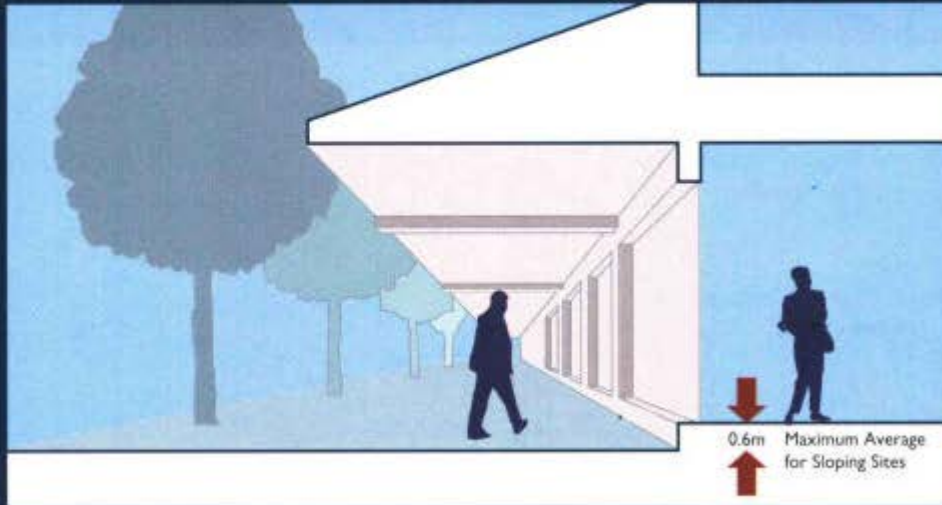
B4.3 Special Conditions

Special consideration may be given to increasing the average difference of the level between the pavement and internal FFL up to 0.9m if the ground floor activities significantly enhance the street activity. This may be permitted if the following criteria are met:

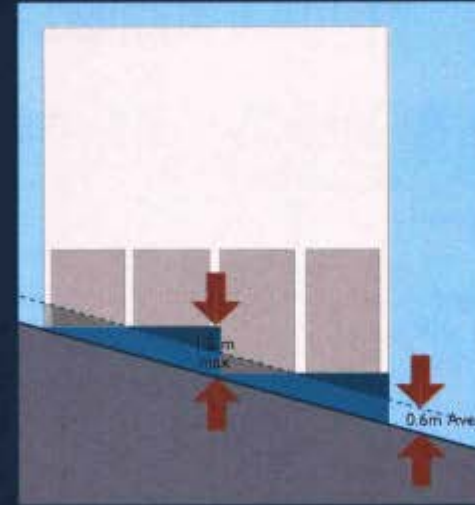
- *Windows and doors open onto the street.*
- *Interior activities provide animation to the street space. These would include restaurants and cafes or covered courtyard spaces which are themselves used for alfresco dining.*
- *No part of the interior FFL exceeds 1.2m above the pavement level.*

B4.4 Internal Floor Level Changes

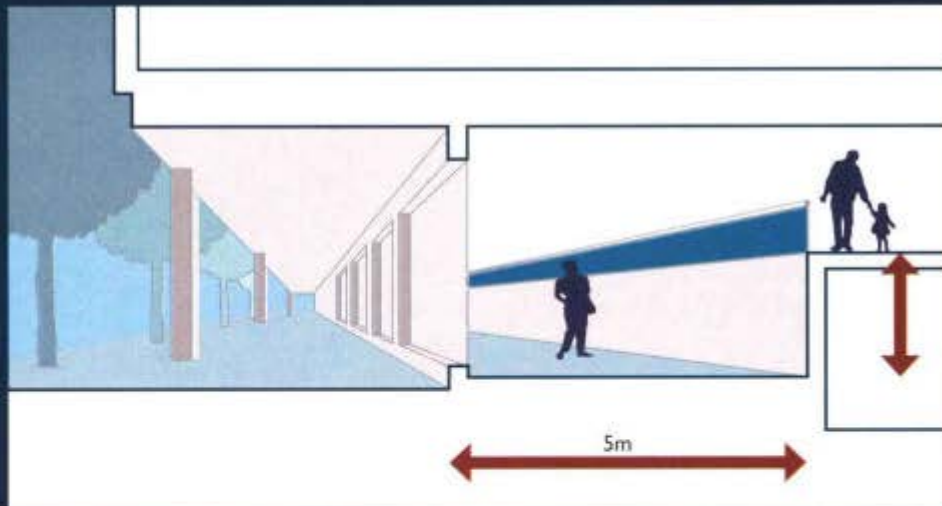
Where there is a need for the internal floor level to step up from the ground floor levels prescribed in B4.1-B4.3 above, this should not occur within a 5m horizontal distance from the property line unless small tenancies are incorporated which open directly onto the street.



B4.1 Maximum level change at ground level



B4.2 Sloping Sites maximum average level difference 0.6 m and maximum raised internal floor level of 1.2m



B4.4 Ground floor level changes should be at least 5m from external glazing



B5 P O L I C I E S

P2.4 Control adverse environmental impact upon streets from buildings.

P4.17 Control elements requiring special location or visual control.

B6 P O L I C I E S

P4.2 Glazing to appear set into solid composition.

P4.4 Control materials forming public space enclosure.

P4.5 Encourage passive energy design.

B5

Roofscape

B5.1 Integral Design

The roofscape must be treated as an integral part of the building design, completing the composition.

B5.2 Elevated Views

The view of the roof from above must be considered in addition to the view from below.

B5.3 Plant & Equipment

Mechanical plant and equipment should be screened from the street by the roof form and, as far as possible, from surrounding upper floors.

B6

Facade : Solid-Void Ratio

B6.1 North and South Facades

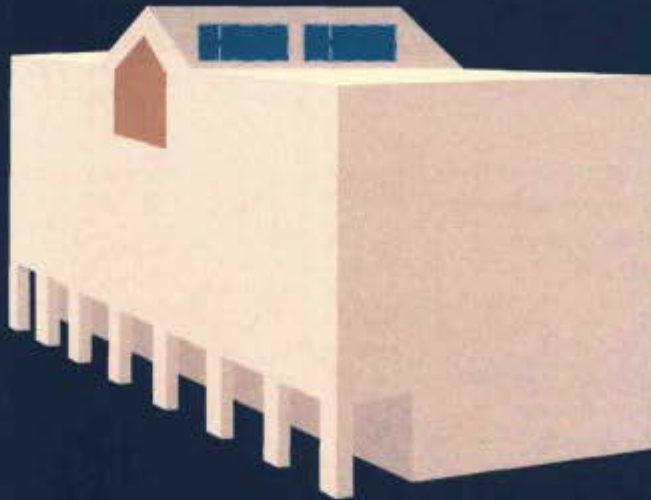
The design of glazing area of north-facing facades to optimise winter solar gain opportunities is encouraged.

The glazed area of the north and south faces of a building shall not exceed 75% of the total wall area, except at the ground floor level where the provisions of B2 shall apply.

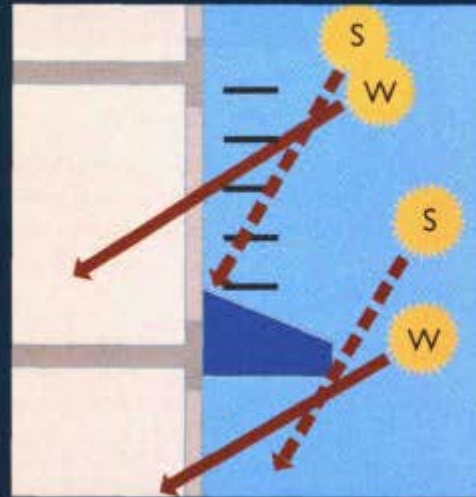
B6.2 East and West

The glazed area of building facades on the east and west faces shall not generally exceed 50% except on ground floors where B2 shall apply.

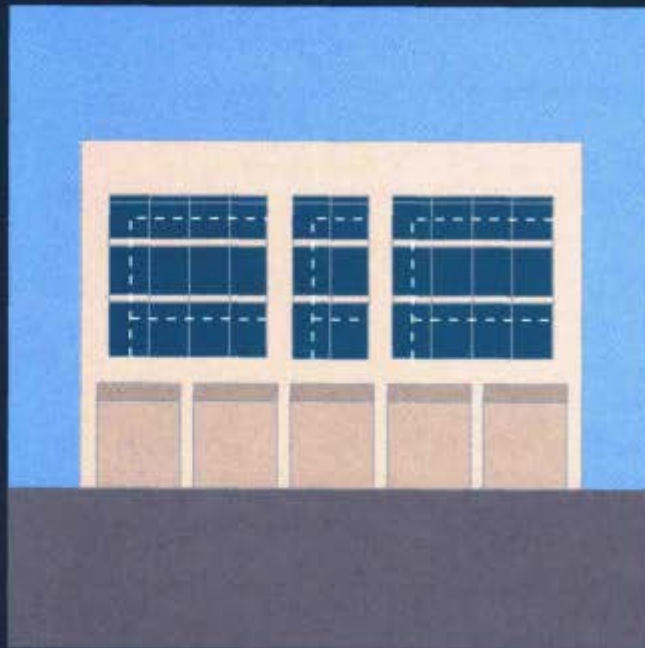
Glazed areas of east and west facades must be protected from direct summer solar gain.



B5.1 Screening of rooftop services designed as an integral part of the building



B6.1 Optimise summer shade and winter solar gain



B6.1 North - Maximise glazed area and winter solar gain



B6.2 East & West - 50% max glazed area of upper floors



Central
Business
District

B5 Roofscape
B6 Facade : Solid-Void Ratio



B7 P O L I C I E S

M.1 Form street spaces conducive to social activity.

M.11 Enhance the environment at ground level through provision of shelter.

B7

Pedestrian Shelter

B7.1 Shelter

Developments abutting streets and public thoroughfares should provide means of shelter for pedestrians in the form of either awnings or colonnades designed to maintain the continuous urban wall.

B7.2 Levels

Where a colonnade is provided within the property the floor level relationship between the pavement and the interior shall be in accordance with section B4.

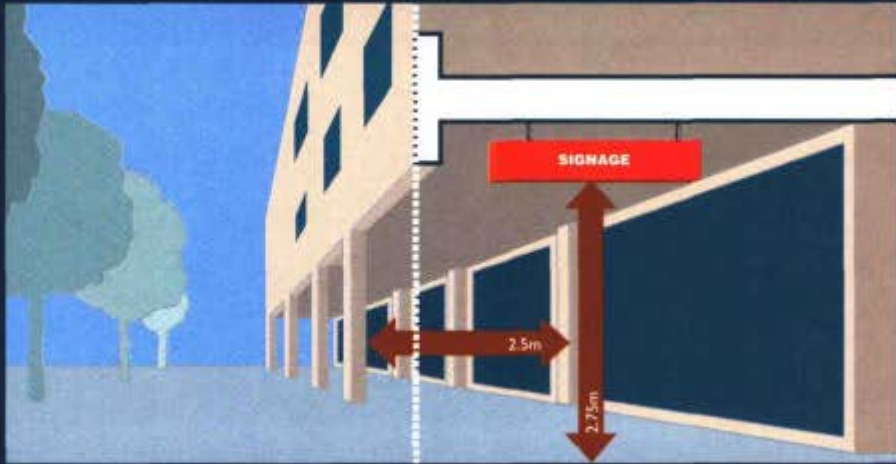
B7.3 Height

The ceiling clearance of structure and signage for colonnades and canopies shall be a minimum of 2.75m.

B7.4 Width

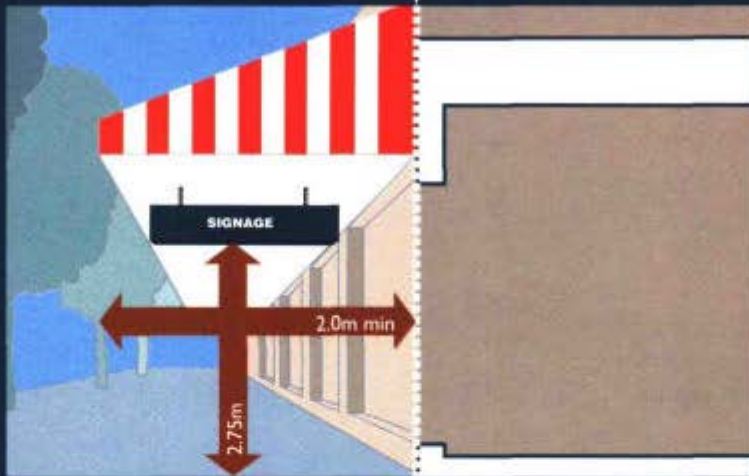
The horizontal structural clearance for colonnades shall be a minimum of 2.5m.

Awnings shall be a minimum of 2.0m wide.



B7.3 Clearances-colonnade

PROPERTY BOUNDARY



B7.3 & 7.4 Clearances-awnings



B7.1 Continuous Shelter



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B7 Pedestrian Shelter

B8 P O L I C I E S

- M.4** Control materials forming public space enclosure.
- M.5** Ensure materials are suited to a civic space.
- M.12** Control sundry items requiring special location or visual treatment.

B8 Signage and Advertising**B8.1** Design

Signage should be of high quality and appropriate for use in a City Centre.

Signage should be integrated with the building design in character and detail. See also C6 Ancillary Structures.

Signs should not obscure windows or architectural details.

Signs should not project above a building parapet or eaves line unless treated as an Ancillary Structure under C6.

Any support structure to a sign should not be visible unless treated as an integral part of the design.

Cabling to illuminated signs should not be visible.

Pylon signs are not permitted in the CBD.

B8.2 Clearance

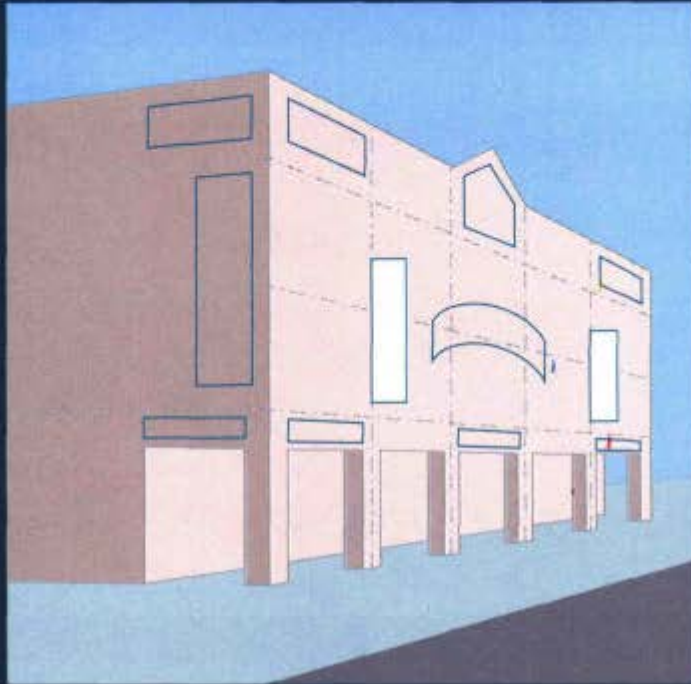
Signs above pedestrian areas shall have a clearance of 2.75m.

B8.3 Safety

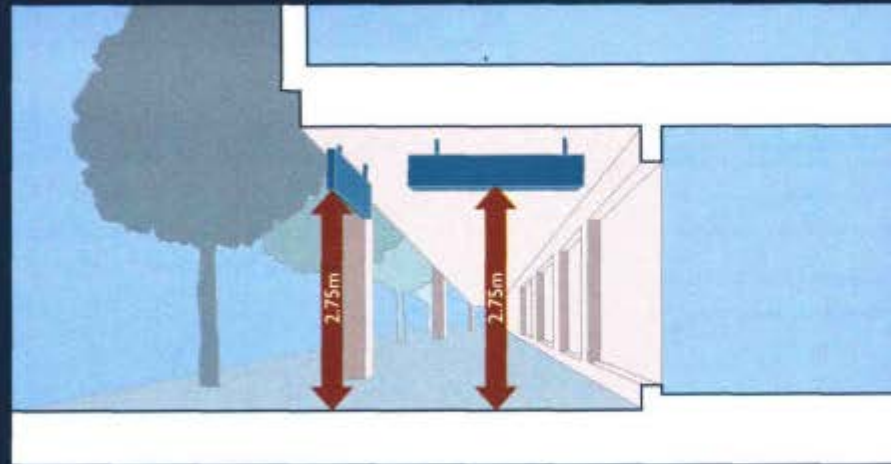
No sign shall be a nuisance to pedestrians or a hazard to traffic.

B8.4 Approval

Development Approval is required for any signage. City Centre signage will generally be considered on its merits.



B8.1 Signage: Potential zones should be in keeping with the scale and proportion of the building



B8.2 Height clearance - Signage



B8 Signage and Advertising

B9 P O L I C I E S

- F7.5** Control parking access to minimise impact on streets.
- F7.8** Ensure public safety where vehicles and pedestrians meet.

B10 P O L I C I E S

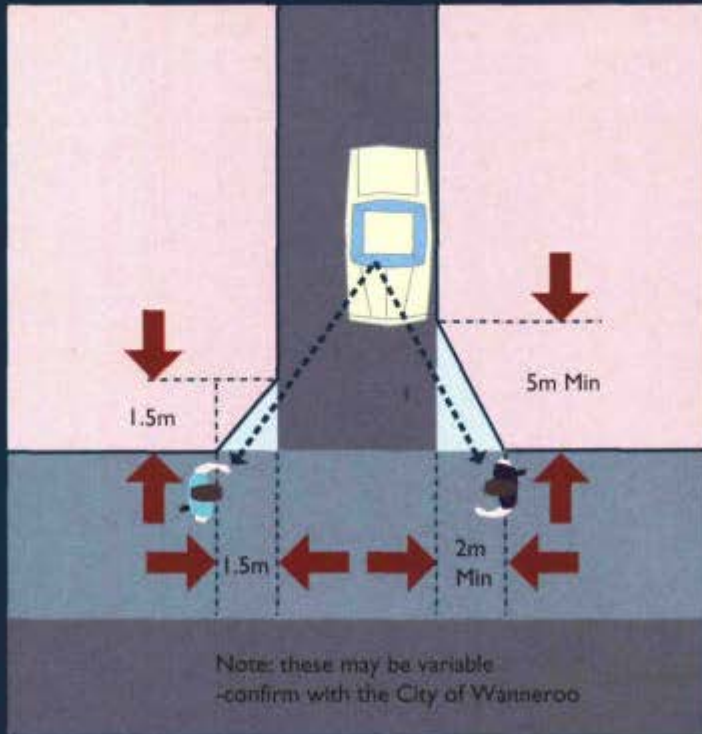
- F8.3** Avoid visual domination of open space.
- F8.4** Control adverse environmental impact upon streets from buildings.
- F8.5** Encourage passive energy design.

B9**Sightline Easements**

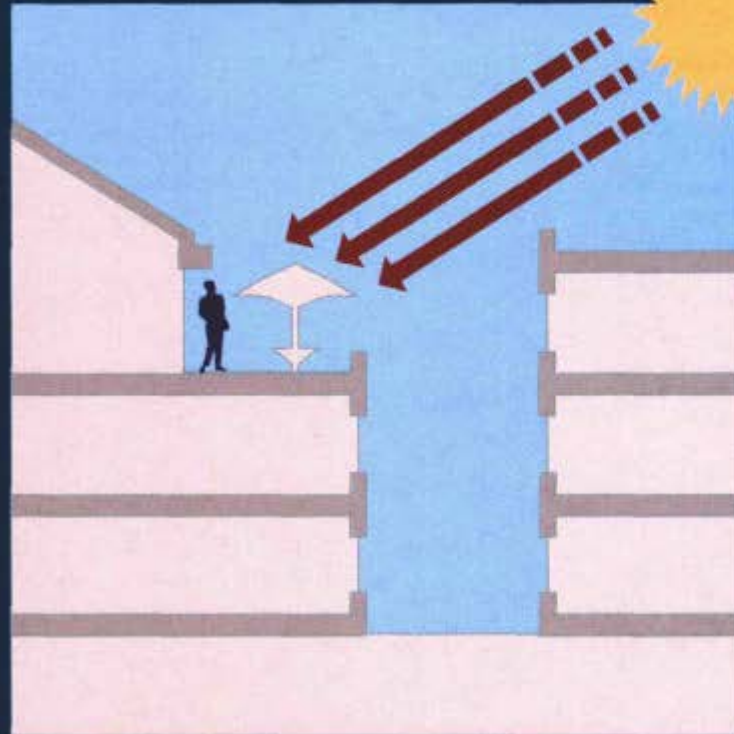
- B9.1** In addition to corner truncations indicated on property titles, sightline truncations shall apply to vehicular accessways in accordance with the diagram.
- These may be variable and should be confirmed with the Engineering Department at the City of Wanneroo.

B10**Overshadowing**

- B10.1** The design of buildings should minimise the effect of overshadowing on the following:
- *Adjacent residential dwellings
ie. denying solar access to glazing or collector panels.*
 - *Any residential private open space.*
 - *Public squares and parks.*



B9.1 Sightline Easements



B10.1 Avoid overshadowing



B9 Sightline Easements
B10 Overshadowing

C



CBD • Details

Joondalup

City Centre

Development

Manual

C O N T E N T S

C1	Overlooking
C2	Public Art
C3	Services and Servicing
C4	Lighting of Buildings and Open Space
C5	Public Safety and Security
C6	Ancillary Structures
C7	Landscaping and Open Space
C8	Materials



C1 P O L I C I E S

P1.8 Avoid overlooking indoor and outdoor space of residential developments.

C2 P O L I C I E S

- P1.7** Encourage public art to contribute to District identity.
- P2.3** Encourage cultural expression in streets and open space.
- P2.10** Encourage public art at nodal points.
- P2.7** Encourage public art in creating landmarks.
- P4.3** Integrate public art with fabric and administration of public space.

C1

Overlooking

C1.1 Overlooking

Windows and balconies which directly overlook neighbouring private open space and windows of residential properties should be avoided.

C2

Public Art

C2.1 Form

Public art may be of a permanent or temporary nature and may take the form of:

- *Freestanding (or freeflowing) objects located on the ground, on a support structure, on a wall or suspended in the air.*
- *Elements integrated into the surfaces of a building facade and internal or external paving.*

C2.2 Context

Public artworks should be site-specific, relating thematically to the use and identity of the building or public open space within the broader context of the city of Joondalup.

C2.3 Materials

Where the artwork is intended to be permanent, the materials used should be durable and appropriate for use in an urban public space.

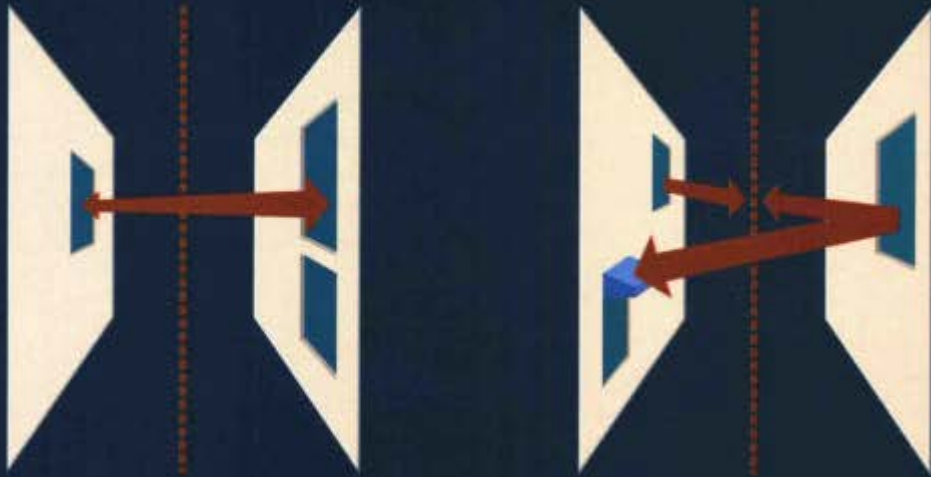
Where the artwork is intended to be of a temporary nature, the materials should be appropriate for the anticipated life of the artwork in an urban public space.

C2.4 Public Safety

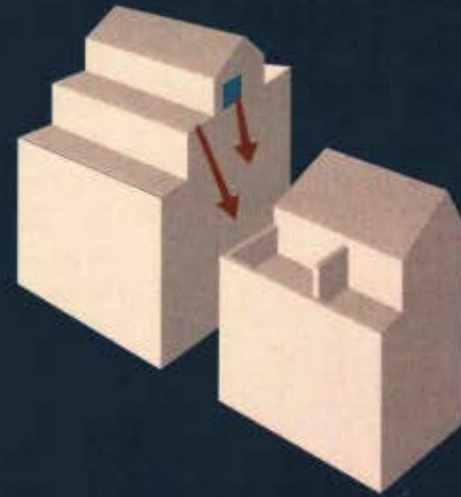
The design and construction of the artwork, permanent and temporary, should be appropriate to the need for public safety.

C2.5 Maintenance

Maintenance responsibility for the artwork should be established at the time of commissioning. A conservation and maintenance repair report should be completed by the artist following the completion of the artwork and lodged with the responsible party.



C1.1 Screen or offset windows in or adjacent to residential developments



C1.1 Avoid overlooking of private space in residential developments



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C1 Overlooking
C2 Public Art



C3 P O L I C I E S

N.12 Control elements requiring special location or visual control.

F.7.4 Accommodate loading bays on-site.

C3 Services and Servicing

C3.1 Refuse Disposal

The storage of all refuse and recyclable materials should be provided off the street.

For proposed food premises, the City Health Surveyor should be consulted to determine the preferred method of storage and disposal of refuse.

Where the redevelopment of an existing property is proposed, the City Engineer should be consulted to determine the need for waste handling systems such as static compaction and recycling facilities.

C3.2 Loading Zones

All Loading Zone parking shall be accommodated on-site and be accessed from rear or side laneways.

C3.3 Emergency Vehicles

All vehicular accessways shall provide a minimum 3.5m clear carriageway width for emergency vehicles.

C3.4 Services

Power, water, sewerage, stormwater and communication services are provided within or immediately adjacent to each lot.

It is the developer's responsibility to ensure that all connection points are incorporated within the building or or its associated hard and soft landscaping.

Services connections shall not protrude from paving or driveways or cause any hazard for pedestrians or vehicles.

Where ground level service covers are in place or required in the public footpath adjacent to the site, or in public open space on private land, special City Centre service covers may be provided by LandCorp for installation by the developer.





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C3 Services and Servicing



C4 P O L I C I E S

P2.5 Ensure open space on private land forms a coherent part of the City Open Space Network 24-hours a day.

P4.8 Ensure design inhibits anti-social behaviour at all hours.

P4.7 Require adequate illumination of open areas for public safety.

P6.3 Promote services design with high level of operational efficiency in energy consumption.

P6.5 Encourage passive energy design.

C4 Lighting of Buildings and Open Space

- C4.1 All lighting must be appropriate for, and contribute to, the general character and amenity of the area.
- C4.2 Ambient feature lighting at ground level should be designed to complement existing street lighting.
- C4.3 Where architectural floodlighting of a building or space is to be provided, this should be achieved through the integration of the luminaires into the fabric of the building.
- C4.4 Lighting systems must be designed to prevent direct and/or reflected glare to surrounding areas. This applies particularly to disability and discomfort glare to pedestrian and vehicular movement or at entrances, steps, stairs and pedestrian paths.
- C4.5 Spilt light to surrounding properties, roadways, railways, pedestrian paths etc. should be minimised.
- C4.6 All parking areas and open space on private property which may be subject to night-time use should be artificially illuminated. The minimum is 3 lux and maximum is 40 lux. Greater illumination may be required for focal points or hazards such as steps.
- C4.7 Luminaires classified Type 1 under AS 1158.1 (i.e. those which have a clear or translucent enclosure which does not disperse the outline or diminish the brightness of the lamp), should not be used in carparks or areas immediately adjacent to a roadway and or pedestrian path.
- C4.8 The efficiency of energy consumption should be taken into account in the design of lighting systems.
- C4.9 Colour temperature design for public space lighting should be in the white range (mercury vapour, metal halide) in keeping with existing public lighting.



C4.6 Provide illumination particularly at hazards such as steps



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C4 Lighting of Buildings and Open Space



C5 P O L I C I E S

M.8 Ensure design inhibits anti-social behaviour at all hours.

C6 P O L I C I E S

M.12 Control elements requiring special location and visual control.

C5 Public Safety and Security

In order to encourage activity throughout the public space network of the City, the maintenance of public safety through the following design considerations is a high priority.

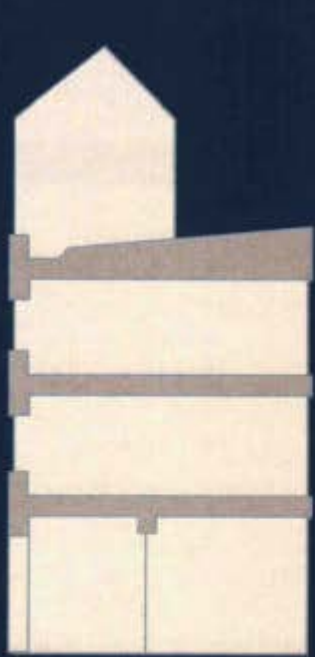
- C5.1 Avoid obscured corners and dead-end alleys.
- C5.2 Public spaces must create a network with a high level of visual exposure.
- C5.3 Do not create spaces with blank walls which are not overlooked from occupied space.
- C5.4 Security and safety lighting must be provided throughout.
- C5.5 Security grilles and grates shall be designed as an integral part of the architecture.

C6 Ancillary Structures

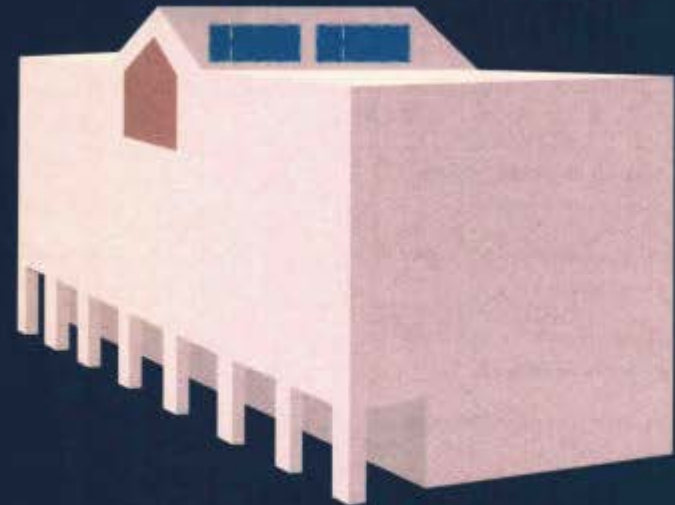
- C6.1 All ancillary structures will be either concealed from view at ground level or designed as an integral part of the building.



C5 Avoid blank walls, dead-ends and obscured corners. Provide lighting and create opportunities for casual surveillance



C6 Ancillary Structures designed as an integral part of the building



C6.1 Screening of rooftop services designed as an integral part of the building

C5 Public Safety and Security
C6 Ancillary Structures

C7 P O L I C I E S

- P1.5** Ensure landscaping and street furniture contributes to District identity.
- P2.5** Private space as part of public open space network to be consistent with design of the network space.
- P2.8** Furniture and paving on private land forming a part of open space network to be consistent with public space.
- P2.7** Promote vistas to points of orientation.
- P2.11** Maximise accessibility on both public and private land.

C8 P O L I C I E S

- M.4** Control materials forming public space enclosure.
- M.5** Ensure materials are suited to civic space.
- M.8** Integrate colours and materials from the landscape.
- PE.1** Encourage use of low energy materials.
- PE.4** Promote use of locally-produced materials.

C7**Landscaping and Open Space**

- C7.1** Where natural vegetation remains on a site, clearing should not occur until immediately prior to development.
- C7.2** Existing vegetation and local species should be integrated with the development as far as possible.
- C7.3** In staged developments any undeveloped areas of a site should be landscaped to the satisfaction of the Authorities.
- C7.4** Where landscaped public plazas or courts are provided these should be accessible from public thoroughfares.
- C7.5** Access provision for those with disabilities and limited mobility shall be provided in accordance with the relevant Australian Standards (AS1428.1).
- C7.6** Where Public Accessways, Plazas and courts are provided

within the site, they will not be measured as part of GLA. The design of the public space should meet the following criteria:

- *Public accessibility will be maintained at all hours.*
- *The design of the public accessways on private property, which link with the City pedestrian network, should be in keeping with the landscape detail of the public space.*
- *The space will be illuminated after hours to a level adequate for visibility and public safety.*

C8**Materials**

- C8.1** Materials used on the exterior of the building and in the public realm shall be of a robust nature; durable and resistant to vandalism.
- C8.2** Materials shall be appropriate for use in a city centre.
- C8.3** Materials and colours are encouraged to recognise those of the local environment.
- C8.4** Material selection should be made with consideration to the policies in section P8.