

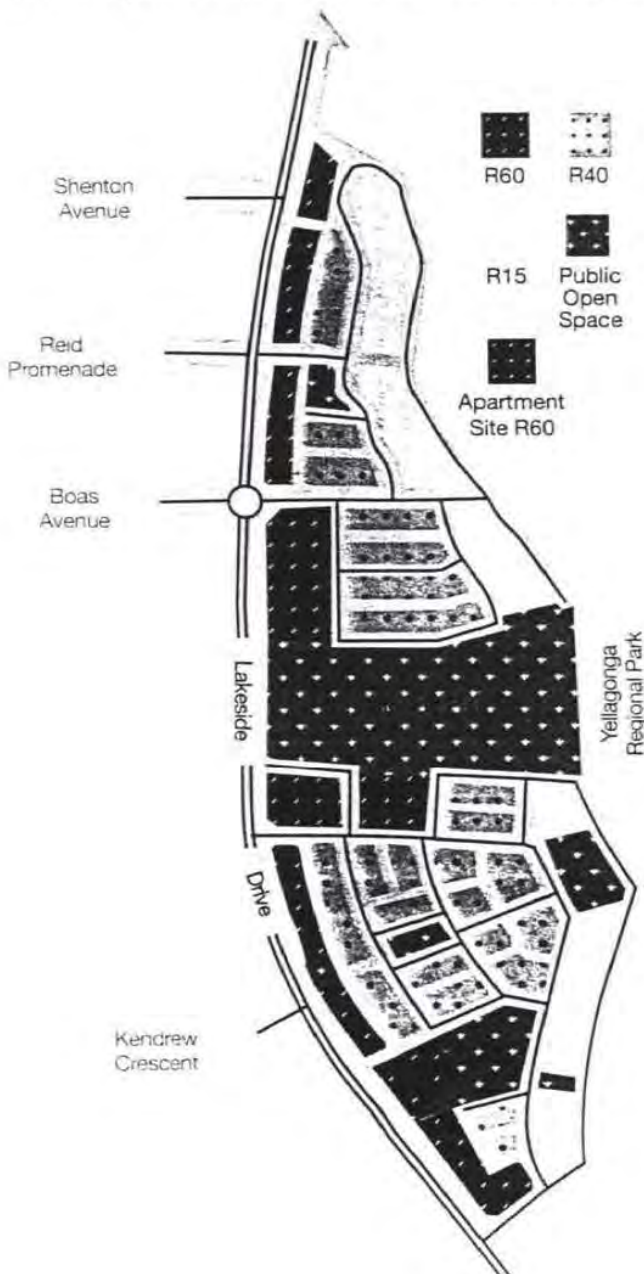


TOWN PLANNING REQUIREMENTS OVERVIEW LAKESIDE DISTRICT

The City of Joondalup has adopted development provisions for Lakeside District which form part of the Joondalup City Centre Development Plan and Manual.

The following extracts are taken from this document. Landowners and developers of landmark sites should refer to the City for

approval of their building plans or to discuss additional development requirements. Lakeside is envisaged to be a unique residential district that provides a transition between Yellagonga Regional Park to the east and Central Business District to the west. It offers a mixture of densities promoting a variety of residential opportunities.



A1.1 Lakeside Drive Frontage (R60 Terrace Lots)

The character of the lots fronting Lakeside Drive is intended to be urban and the requirements and opportunities provided are intended to extend the urban context of the City Centre into the District.

A1.2 Yellagonga Park Frontage (R15)

The majority of lots fronting Yellagonga Regional Park are single residential ranging in size from 600m² and 1400m²

A1.3 Landmark Apartment Developments

These identifiable apartment sites have the opportunity to be a significant landmark for the district and a point of orientation. The apartment sites designated on the plan as 'X' may be developed to include associated uses.

A1.4 Standard Residential (R40 Cottage Lots)

The remainder of the subdivision is residential, providing a transition between urban and park frontage lots.

Residential Density

Densities are to be in accordance with the following

A2.1 The plot ratio requirements set out in the R Codes shall not apply.

Carparking

A3.1 Carparking to be provided in accordance with the Residential Planning Code.

and a minimum of 0.0m² permitted subject to the provision of a courtyard with a minimum dimension of 4 metres.

Open Space The minimum amount of open space (as defined under the Residential Planning Codes) is 30%.

Roof Height A maximum height of 6m to the eaves line measured from the highest ground level at the boundary on the primary frontage is permitted. An additional mezzanine or attic space is permitted in the roofspace.

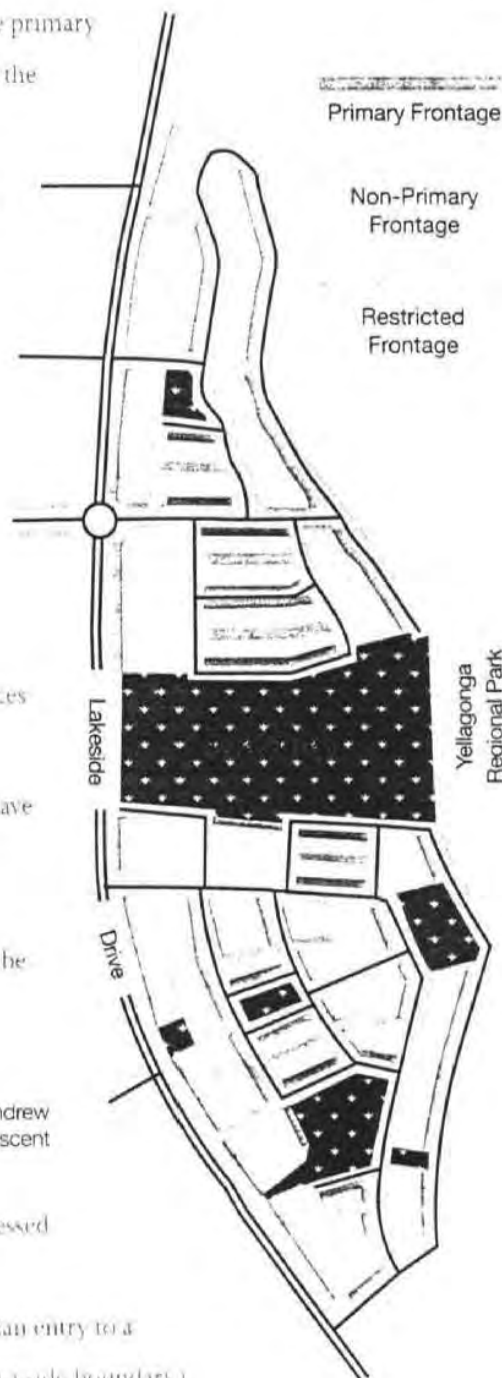
Street Frontage

B2.1 All dwellings must address the primary frontage of the lot as designated on the plan. All vehicular access to be from the non-primary frontage. Where vehicular access (not primary frontage) of a lot faces Public Open Space or the primary frontage of other lots, this outlook should be addressed through incorporation of windows, entrances and landscaping.

B2.2 Entrances to buildings shall have a clear identity and be accessible directly from a street or public accessway. Major openings should be located on the primary frontage.

B2.3 In multiple dwelling developments the boundaries to public open space and/or streets must be addressed by the dwelling frontages.

(This does not restrict the pedestrian entry to a dwelling being to the side or from a side boundary.)



Levels

(Landmark Apartments and Multiple Dwelling Sites)
Special requirements apply - refer full guideline document for detailed information.

Roofscapes

B4.2 Pitched Roofs

Where pitched, roof pitches shall be greater than 25.

B4.3 Flat Roofs

Provide parapets to the perimeter of flat roofs.

B4.4 Roof Terraces

Roof terraces are permitted; however they should avoid overlooking adjacent private space.

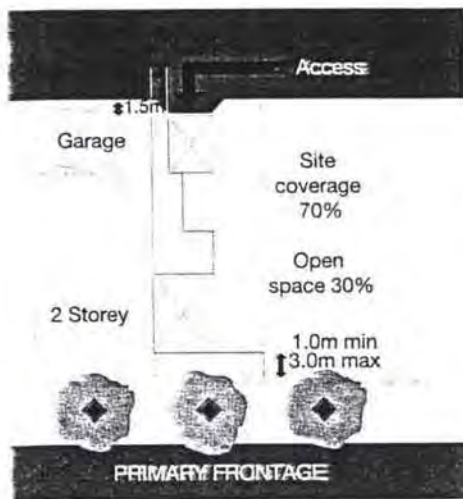
B4.5 Plant and Equipment

All mechanical plant and equipment such as solar hot water unit tanks, air conditioning condenser units, etc should be screened from the street by the roof form and as far as possible from surrounding upper floors.

Setbacks and Heights

A4.1 Lakeside Drive (R60 Terrace)

The following setbacks apply. The primary frontage address will be to Lakeside Drive as designated on the plan at B2.1. Vehicular access shall be provided off laneways (where they exist) or from rear roadways and address the requirements of B2.1.



FRONT SETBACK - PRIMARY FRONTAGE 1.0m min and 3.0m maximum.

REAR SETBACK - RESTRICTED FRONTAGE 0.0m permitted. Allowance must be made for a 1.5m sight truncation and setback at ground level to enable vehicular access to garages and carports.

SIDE SETBACK 0.0m permitted subject to the provision of a courtyard with a minimum dimension of 4 metres.

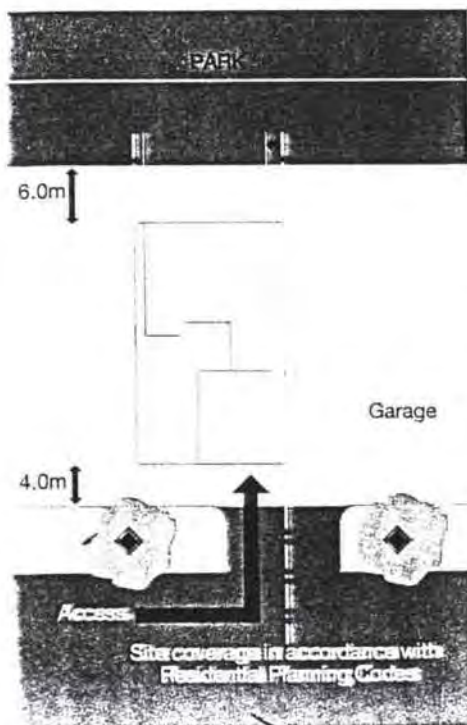
OPEN SPACE The minimum amount of open space (as defined under the Residential Planning Codes) is 30%.

BUILDING HEIGHT A maximum height of 6m to the eaves line measured from the highest ground level at the boundary on the

primary frontage is permitted. An additional mezzanine or attic space is permitted in the roofspace. At least part of the front elevation shall be two storey.

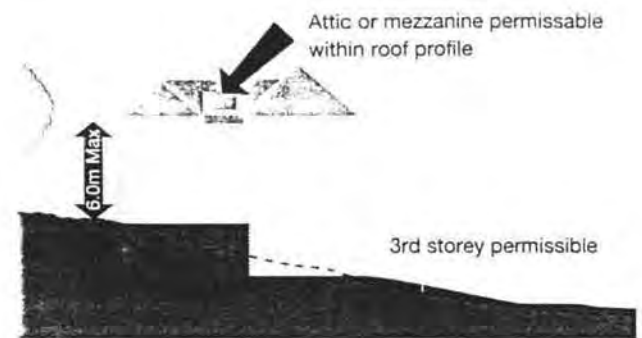
A4.2 Yellagonga Lots (R15)

The following setbacks apply. The primary frontage will be that facing Yellagonga Regional Park. The primary frontage address will be to Lakeside Drive as designated on the plan at B2.1. Vehicular access shall be provided off laneways (where they exist) or from rear roadways and address the requirements of B2.1.



if B2.1 will be addressed. Vehicular access to be provided off laneways (where they exist) or from rear roadways and address the requirements of B2.1.

FRONT SETBACK - PRIMARY FRONTAGE 6.0m minimum.



REAR SETBACK - RESTRICTED FRONTAGE 4.0m min from property line. Alternative setbacks for differing garage orientation will be considered by Council on an individual basis.

SIDE SETBACK In accordance with the Residential Planning Codes.

OPEN SPACE In accordance with the Residential Planning Codes.

BUILDING HEIGHT A maximum height of 6m to the eaves line measured from the highest point on the uphill boundary line is permitted. An additional third storey is permitted if below this height. An additional mezzanine or attic space is permitted in the roofspace.

A4.3 Landmark Apartments

Buildings should occupy the corner and address the most prominent frontage.

SETBACK Along Lakeside Drive, Boas Avenue and Lakeside Park frontages landmark apartments shall have a minimum zero setback and a maximum setback of 2m. On all other frontages these setbacks shall apply to two storey sections.

BUILDING HEIGHT Landmark apartments shall have a minimum of two storeys. However, as the sites have landmark status, it is expected that building heights will exceed this minimum.

A4.4 Standard Residential (Cottage Lots)

The following special setbacks apply. The primary street frontage address will be to streets as designated on the plan at B2.1. Vehicular access shall be provided off laneways where they exist and address the requirements of B2.1.

FRONT SETBACK - RESTRICTED FRONTAGE 4.0m min and 4.0 maximum.

REAR SETBACK - RESTRICTED FRONTAGE 0.0m permitted. Allowance must be made for a 1.5m sight truncation and setback at ground level to enable vehicular access to garages and carports.

Solar Access

B6.1 Solar Access

Site planning should allow opportunities for sunlight penetration and energy efficiency.

B6.2 Overshadowing

The design of buildings should minimise overshadowing.

Overlooking



Consideration should be given to prevent both overlooking and being overlooked in both indoor and outdoor residential space.

Services and Servicing

C3.1 Refuse Disposal

The storage of all refuse and recyclable materials shall be screened from the street. Rubbish collection shall be effected from the rear of the property.

Ancillary Structures

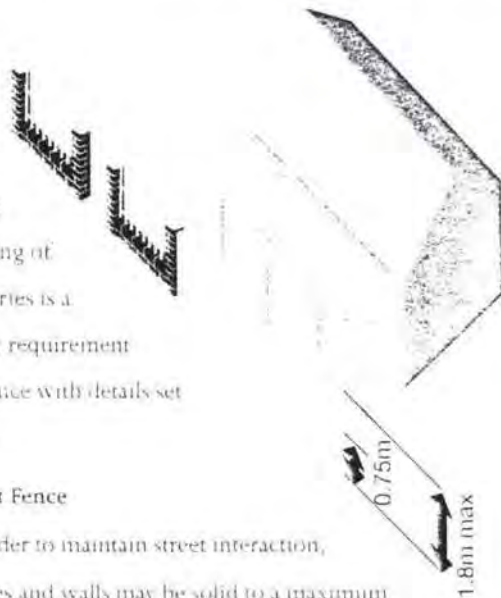
C6.2 Separate storage sheds and out-buildings are to be constructed of materials compatible with the main building.

Fencing

Fencing of all boundaries is a mandatory requirement in accordance with details set out below.

C9.1 Front Fence

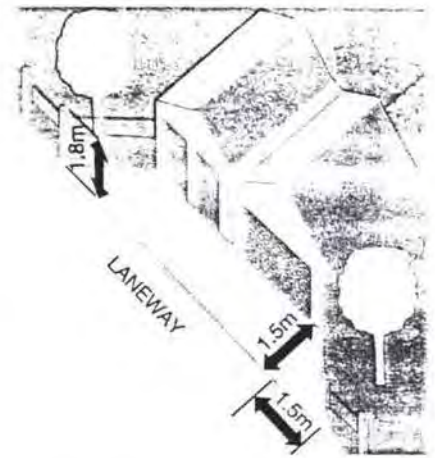
In order to maintain street interaction, front fences and walls may be solid to a maximum of 750mm above ground level. Above this, fences on primary frontages shall be at least 50% visually permeable up to a maximum height of 1800mm from pavement level.



from an egg-shaped column along the outer truncation and for approximately one third of any other boundary facing a street or laneway.

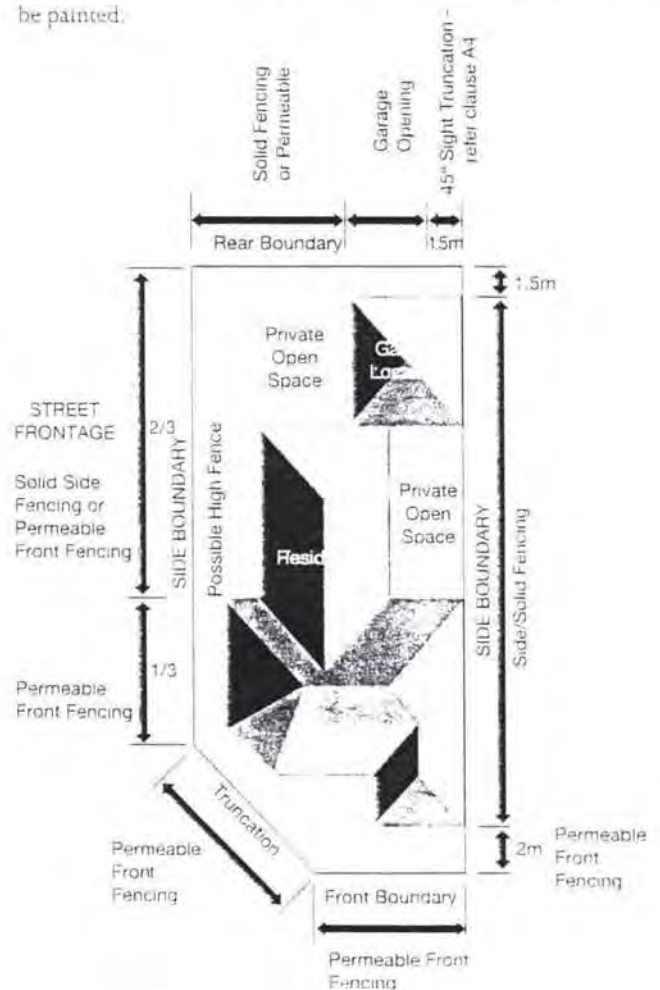
C9.2 Laneways and Side Fencing

Laneways and side fencing may be either solid or permeable to a maximum height of 1800mm. Materials and colours shall be compatible with the main building.



C9.3 Materials

Only masonry, timber or decorative metal fencing is permitted forward of the building line or facing laneways. Where fibre cement fencing is used between properties it must be painted.



Joondalup City Centre Development Plan and Manual Lakeside District

CONTENTS

SITE PLANNING

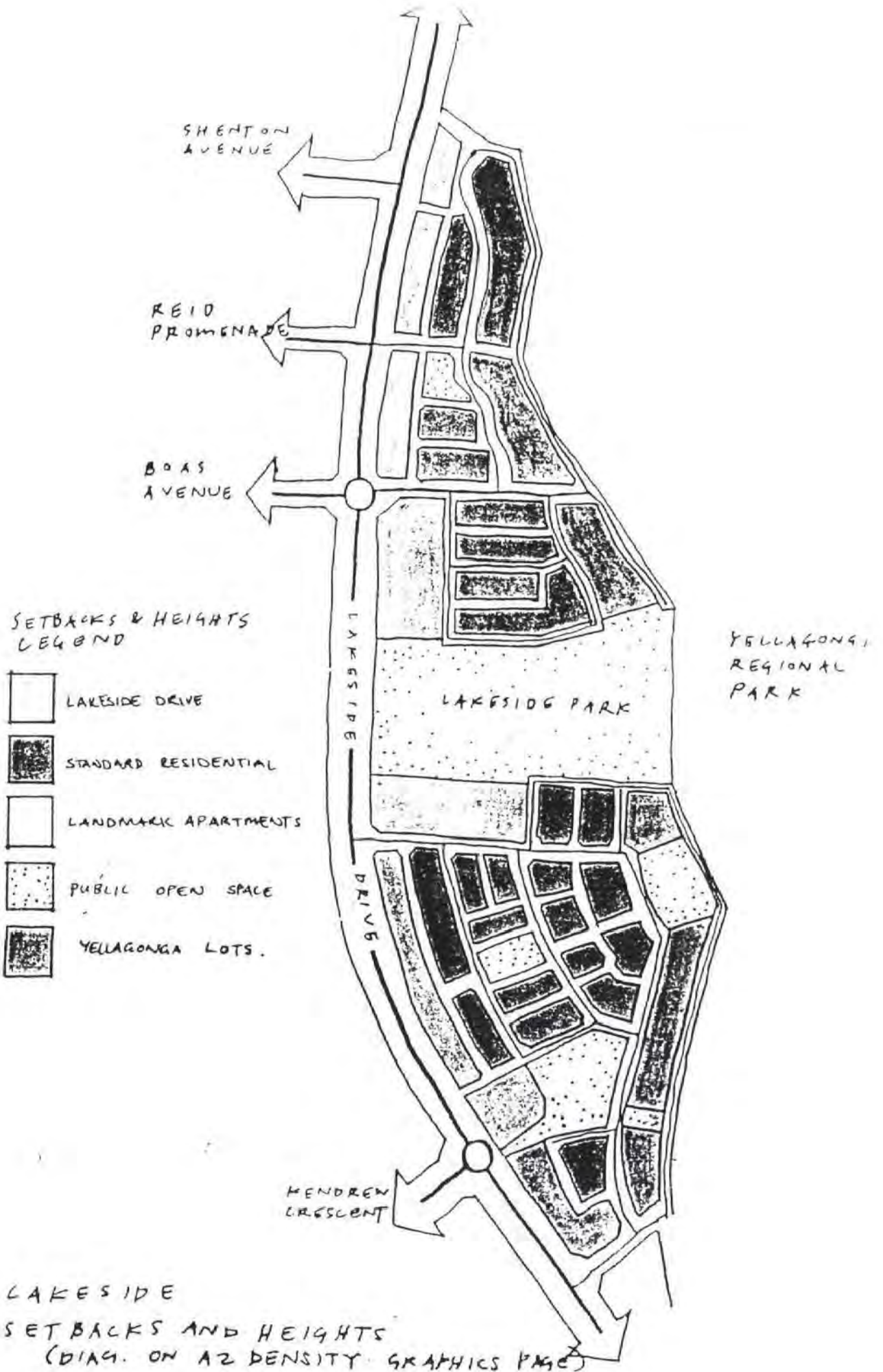
- A1 Land Use & Character
- A2 Residential Density
- A3 Carparking
- A4 Setbacks and Heights

BUILDING ENVELOPE

- B1 Design in Context
- B2 Street Frontage
- B3 Levels
- B4 Roofscapes
- B5 Pedestrian Shelter
- B6 Solar Access

DETAILS

- C1 Overlooking
- C2 Public Art
- C3 Services and Servicing
- C4 Lighting of Buildings and Open Space
- C5 Public Safety and Security
- C6 Ancillary Structures
- C7 Landscaping and Open Space
- C8 Materials
- C9 Fencing



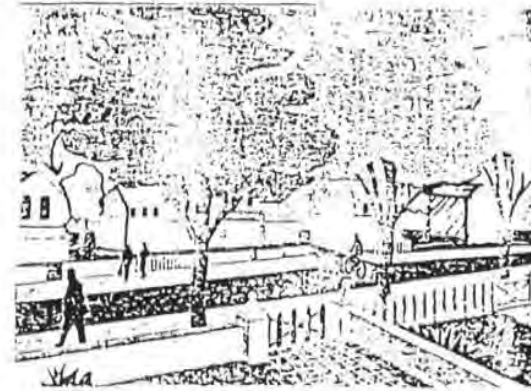
- SETBACKS & HEIGHTS
LEGEND
- LAKESIDE DRIVE
 - STANDARD RESIDENTIAL
 - LANDMARK APARTMENTS
 - PUBLIC OPEN SPACE
 - YELLAGONGA LOTS.

LAKESIDE
SETBACKS AND HEIGHTS
(DIAG. ON A2 DENSITY GRAPHICS PAGE)

Lakeside District

Lakeside is envisaged to be a unique residential district that provides a transition between Yellagonga Regional Park to the east and Central Business District to the west. It offers a mixture of densities promoting a variety of residential opportunities.

An important role of the Lakeside District is to provide an appropriate transition of scale, density and use from the Central Business District through to the Yellagonga Park and Lake Joondalup beyond.



(REFER CITY NORTH - MAY - "RESIDENTIAL VUE")

LAKESIDE

Lakeside District
A. SITE PLANNING

CONTENTS

- A1 Land Use & Character
- A2 Residential Density
- A3 Carparking
- A4 Setbacks and Heights

A1 POLICIES

- P1.1 Reinforce unique identity of each District
- P1.4 Encourage gateway buildings to contribute to the sense of a threshold definition
- P5.2 Create a significant residential population within the City
- P5.8 Encourage 24 hour use of the City

A1 LAND USE AND CHARACTER

A1.1 Lakeside Drive Frontage

The character of the lots fronting Lakeside Drive is intended to be urban and the requirements and opportunities provided are intended to extend the urban context of the City Centre into the District.

A1.2 Yellagonga Park Frontage

The majority of lot housing fronting Yellagonga Park is between 600m² and 1400m² and use is single residential.

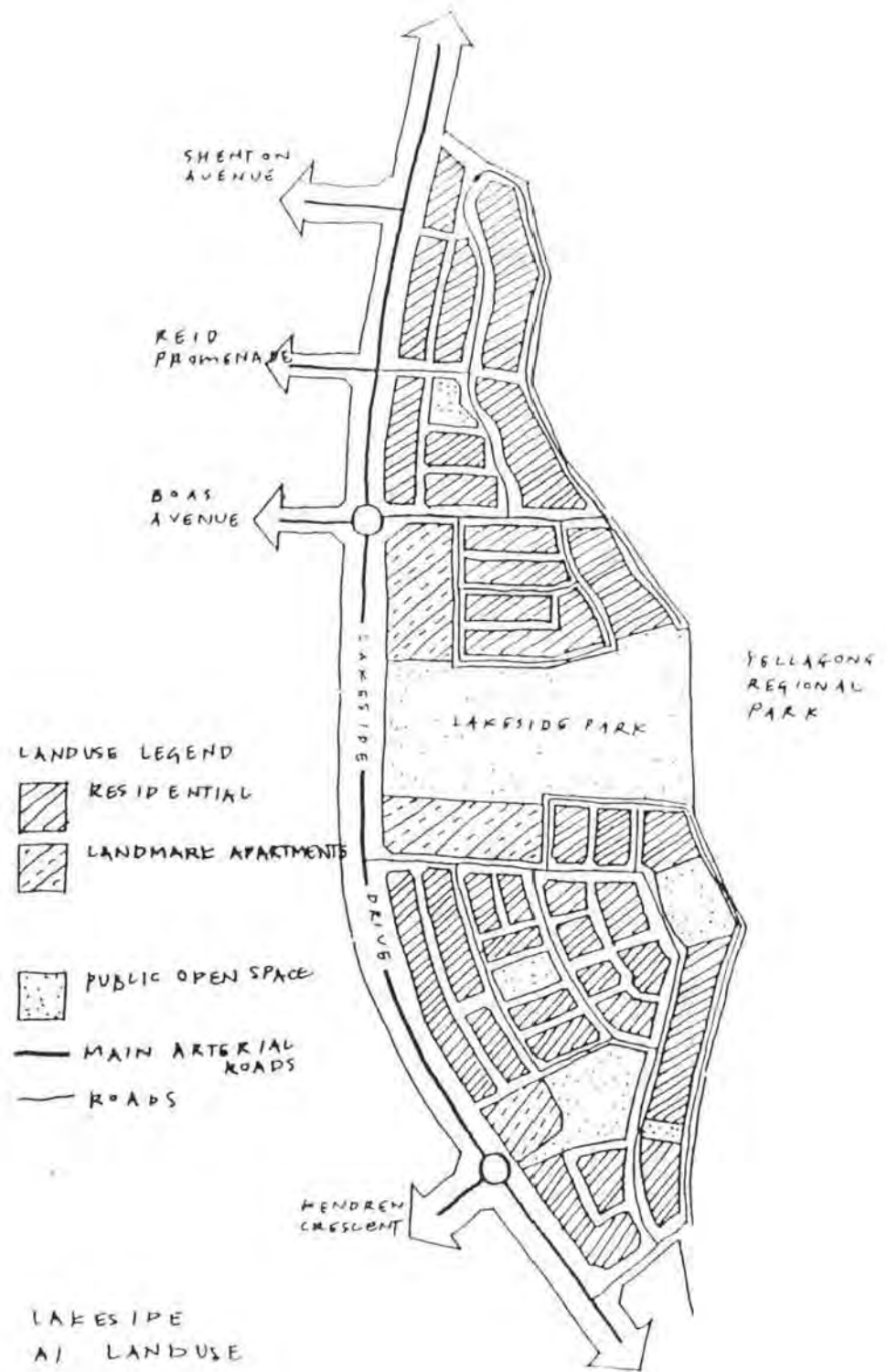
A1.3 Landmark Apartment Developments

The landmark apartment sites have the opportunity to utilise building height as a significant landmark for the district and point of orientation.

The landmark apartment sites designated on the plan may be developed to include associated uses.

A1.4 Standard Residential

The remainder of the subdivision is residential providing a transition between urban and park frontage lots.



A2 POLICIES

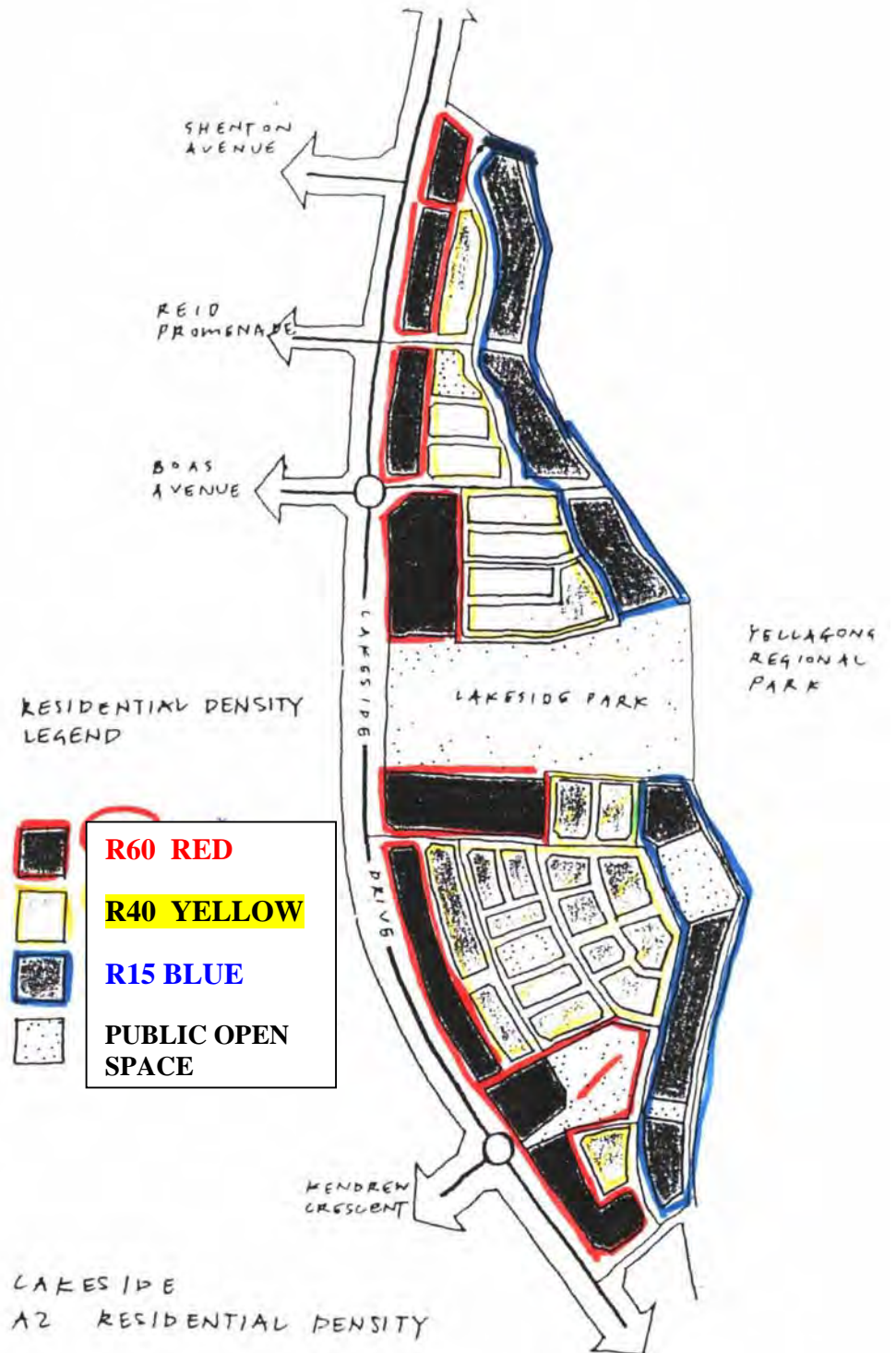
P6.3 Optimise use of residential land in the Lakeside district, whilst maintaining the special outlook from the location and minimising negative environmental impact

A2 RESIDENTIAL DENSITY

Densities are to be in accordance with the following and the plan opposite.

- A2.1 Generally the allowable density throughout the Lakeside District is R40 apart from the designated R15 and R60 sites.
- A2.2 Density shall be in accordance with the Residential Planning Codes except for designated landmark apartment development sites. The City may grant a density bonus to permit development up to R100B on the Landmark Apartment Development sites designated at A1 where the City considers the exercise of the bonus has been demonstrated to create an appropriate landmark which enhances the overall legibility and amenity of the Lakeside District and the City Centre.

The plot ratio requirements set out in the R Codes shall not apply.



A3 CAR PARKING

A3.1

Car Parking Requirements:

Residential Dwelling:	2 bays per dwelling
Single Bedroom Dwelling:	1 bay per dwelling
Aged/Dependent Persons' Dwellings:	1 bay per dwelling

A3.2 For landmark sites, carparking shall be provided out of sight of primary frontages.

A4 POLICIES

- P2.3 Form discrete contained street spaces and avoid visual domination of open space.
- P2.4 Control adverse environmental impact upon street spaces from building form.
- P4.1 Building facade at street level conducive to social activity.
- P4.10 Avoid overlooking indoor and outdoor space of residential development.
- P4.12 Control elements requiring special location or visual control.

A4 SETBACKS AND HEIGHTS

A4.1 Lakeside Drive

The following special Setbacks apply. The primary frontage address will be to Lakeside Drive as designated on the plan at B2.1. Vehicular access shall be provided off laneways (where they exist) or from rear roadways and address the requirements of B2.1.

Front Setback - Primary Frontage

- 1.0m min. and 3.0m max

Rear Setback

- 0.0m permitted. Allowance must be made for a 1.5m sight truncation and setback at ground floor level to enable vehicular access to garages and carports.

Side Setback

- 0.0m permitted

Site Coverage

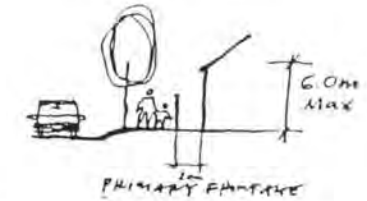
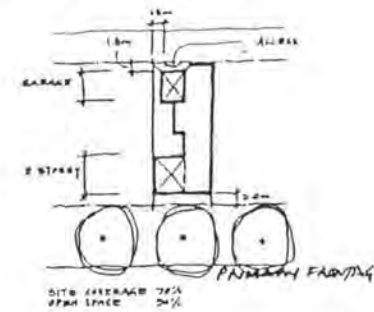
- Maximum 70% site coverage permitted.

Building Height

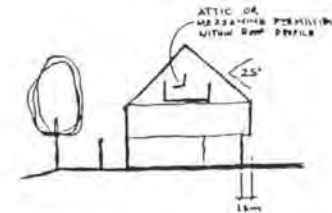
- A maximum height of 6m to the eaves line measured from the highest ground level on the primary frontage is permitted. An additional mezzanine or attic space is permitted in the roofspace.
- At least part of the front elevation shall be two storey.

See supplementary information at end of section A4

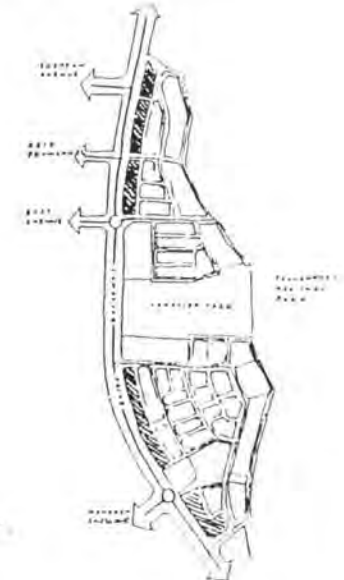
A4.1 LAKESIDE DRIVE



A4.1 SETBACKS AND HEIGHTS



A4.1 MEZZANINE OR ATTIC SPACE IS PERMISSIBLE IN THE ROOFSPACE



LAKESIDE A4 SETBACKS AND HEIGHTS

A4 SETBACKS AND HEIGHTS

A4.2 Yellagonga Lots

The following special Setbacks apply. Generally, the primary frontage will be from the downhill side of the lot, facing Yellagonga Regional Park. The primary frontage, as designated on the plan at B2.1, will be addressed. Vehicular access to be provided from the non-primary frontage, and address the requirements of B2.1.

Front Setback - Primary Frontage

6.0m min

Rear Setback - Secondary Frontage

4.0m min. from property line.

Alternative setbacks for differing garage orientation will be considered by Council on an individual basis.

Side Setback

In accordance with the Residential Planning Codes.

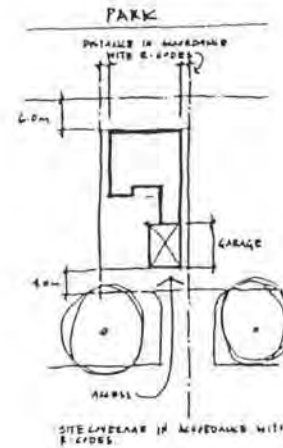
Site Coverage

In accordance with the Residential Planning Codes.

Building Height

A maximum height of 6m to the eaves line measured from the highest point on the uphill boundary line is permitted. An additional third storey is permitted if accommodated below this height. An additional mezzanine or attic space is permitted in the roofspace.

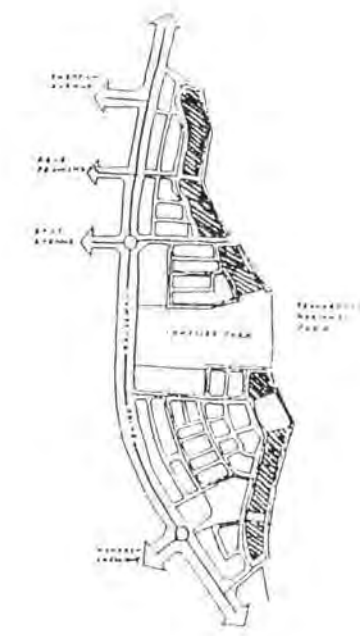
A4.2 YELLAGONGA LOTS



A4.2 SETBACKS VEHICULAR ACCESS IMPROV



A4.2 BUILDING HEIGHTS



A4 SETBACKS AND HEIGHTS

A4.3 Landmark apartments

Primary frontages are designated on the plan at B2.1. All primary frontages will be addressed by the landmark apartments.

Where a continuous urban wall cannot be achieved, buildings should occupy the corner and address the most prominent frontage. Ancillary structures and landscaping should be used to continue the edge.

Buildings should be designed to articulate the corner.

The apartment building should seek to avoid any adverse overshadowing effects in accordance with B6.2.

Setbacks

- Along Lakeside Drive, Boas Avenue and Lakeside Park frontages landmark apartments shall have a minimum zero setback and a maximum setback of 2m. On all other frontages a minimum setback of 0.0m and a maximum setback of 2m shall apply to two storey sections.

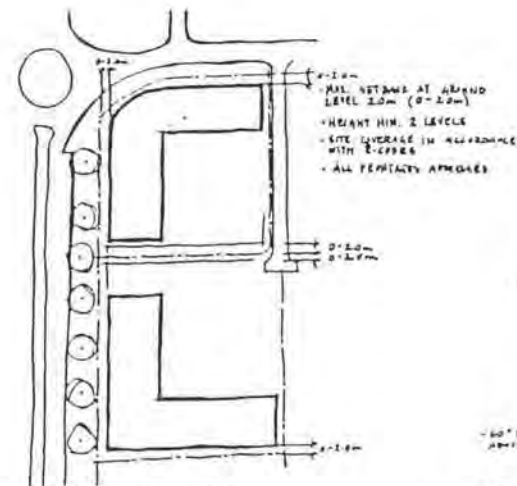
Site Coverage

- Site coverage will be in accordance with the Residential Planning Codes.

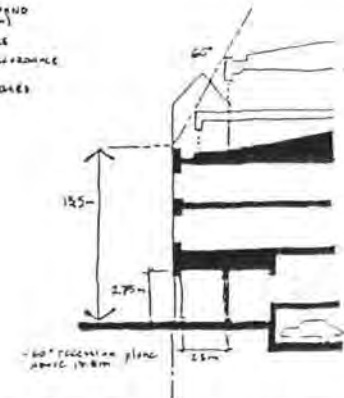
Building Height

- Landmark apartments shall have a minimum of two storeys. However, as the sites have landmark status, it is expected that building heights will exceed this minimum.
- Buildings (other than those along the Lakeside Park frontage) shall not penetrate a 60 degree recession plane inclined towards the site from a point 13.5m above the mid-point of the street boundary at natural ground level, as illustrated.

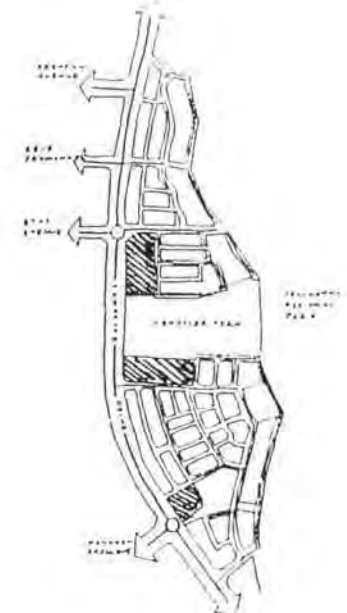
A4.3 LANDMARK APARTMENTS



A4.3 SETBACKS



A4.3 BUILDING HEIGHT



A4 SETBACKS AND HEIGHTS

A4.4 Standard Residential

The following special setbacks apply. The primary street frontage address will be to streets as designed on the plan at B2.1. Vehicular access shall be provided off laneways where they exist and address the requirements of B2.1. Access from primary frontage will only be permitted where no other access is possible.

Front setback - Primary Frontage

- 1.0m min and 3.0m max.
- Where front boundaries occur on the south side of the street up to 50% of the building frontage may be setback beyond the setback zone to allow for north facing private space.

Rear Setback

- 0.0m permitted. Allowance must be made for a 1.5m sight truncation and setback at ground floor level to enable vehicular access to garages and carports.

Side Setback

- 0.0m permitted.

Site Coverage

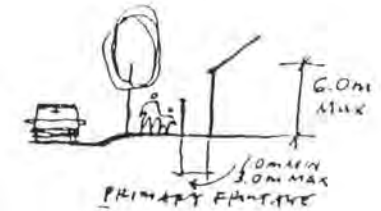
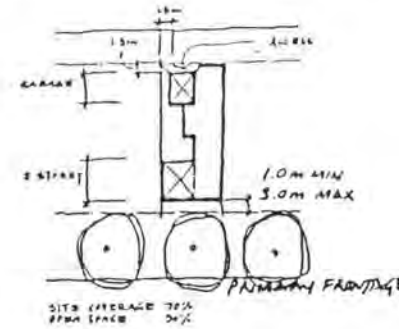
- Maximum 70% site coverage permitted.

Building Height

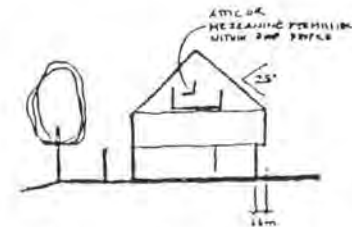
- A maximum height of 6m to the eaves line measured from the highest ground level on the primary frontage is permitted. An additional mezzanine or attic space is permitted in the roofspace.

See supplementary information on next page

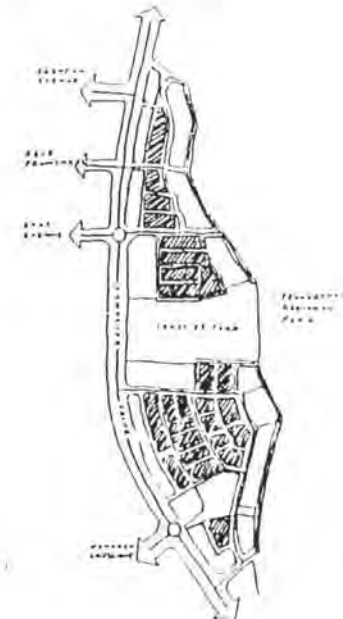
A4.4 STANDARD RESIDENTIAL



A4.4 SETBACKS AND HEIGHTS



A4.4 MEZZANINE OR ATTIC SPACE IS PERMISSIBLE IN THE ROOFSPACE



LAKESIDE A4 SETBACKS AND HEIGHTS

A4 SETBACKS AND HEIGHTS

A4.1 See original document

A4.1 Site coverage replaced as follows:

A4.1 Open Space

The minimum amount of open space (as defined under the Residential Planning Codes) is 30% subject to the provision of a courtyard with a minimum dimension of 4 metres.

CJ262-11/98 (24/11/98)

A4.2 See original document

A4.3 See original document

A4.4 Site coverage replaced as follows:

A4.4 Open Space

The minimum amount of open space (as defined under the Residential Planning Codes) is 30% subject to the provision of a courtyard with a minimum dimension of 4 metres.

CJ262-11/98 (24/11/98)

Lakeside District
B BUILDING ENVELOPE

CONTENTS

- B1 Design in Context
- B2 Street Frontage
- B3 Levels
- B4 Roofscapes
- B5 Pedestrian Shelter
- B6 Solar Access

B1 POLICIES

P1.2 Integrate separate Districts at edges

P1.3 Form urban vistas.

P1.4 Form urban gateways.

P1.6 Encourage richness of form.

P2.2 Form distinct street character.

P2.8 Encourage visual connection with Lake Joondalup.

P3.1 Form urban landmarks.

P4.1 Ensure form of street and other public space is conducive to social activity.

P7.5 Control parking access to minimise impact on streets.

B1 DESIGN IN CONTEXT

The richness and character of the street space should be achieved through the variety of the individual buildings. The integrity of the streetscape requires some consistency in the form and rhythm of building frontages.

III.1 Corners

The corners of buildings should be designed to articulate the corner, especially for landmark locations as designated in AI.

III.2 Public Space Landscape & Street Furniture (Landmark sites only)

The design of the building facade should take into account the location and form of existing street planting and street furniture to ensure a considered and integrated composition of streetspace and building.

The retention of natural vegetation is encouraged.

III.3 Staged Development

Planning of a staged development of a site should ensure that each stage is designed as a complete architectural composition and that site planning for the complete development should reflect the requirements of these guidelines.

On undeveloped sections of the site, either natural vegetation should be retained or landscaping to the approval of the City shall be provided.

B2 POLICIES

- P1.1 Reinforce unique identity of each District.
- P4.1 Form street spaces conducive to social activity.
- P7.5 Control parking access to minimise impact on streets
- P7.8 Minimise impact of basement parking on streets

B2 STREET FRONTAGE

The streets of Lakeside are envisaged to be places conducive to social interaction. The incorporation of rear Right of Way for vehicle access and the limited front setbacks, encourages active participation in the life and character of the street.

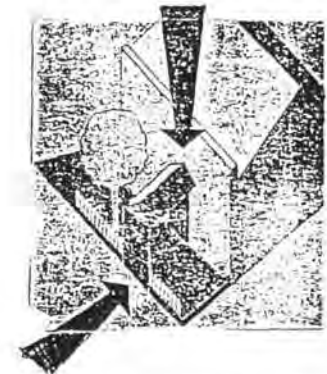
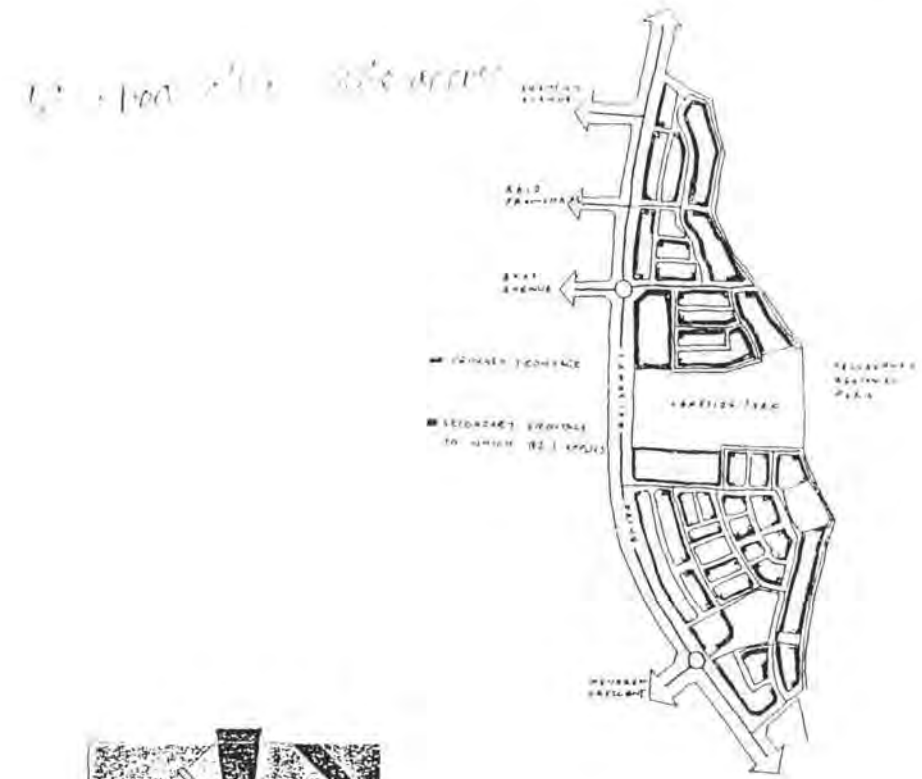
B2.1 All dwellings must address the "primary frontage" of the lot as designated on the plan.

All vehicular access to be from the non-primary frontage

Where vehicular access (not primary frontage) of a lot faces Public Open Space or the primary frontage of other lots, this outlook should be addressed through incorporation of windows, entrances and landscaping

B2.2 Entrances to buildings shall have a clear identity and be accessible directly from a street or public accessway. Major openings should be located on the primary frontage.

B2.3 In multiple dwelling developments the boundaries which address public open space and/or streets must be addressed by the dwellings' frontages. (This does not restrict the pedestrian entry to a dwelling being to the side or from a side boundary.)



B 2.1 PRIMARY FRONTAGE

B 2.2 CLEAR BUILDING ENTRY
(REFER CITY NORTH DIAG. B 2-1)

LAKESIDE
B 2 STREET FRONTAGE

B3 POLICIES

- P4 1 Ensure form is conducive to social activity.
- P4 3 Optimise interaction between street space and building interior and allow front door access for all users.
- P4 6 Ensure design which inhibits anti-social behaviour at all hours.
- P7 5 Control parking access to minimise impact on streets.
- P7 9 Minimise impact of basement carparking on street.

**B3 LEVELS
(LANDMARK APARTMENTS AND MULTIPLE DWELLING SITES)**

B3.1 Ground Floor Level

The habitable ground floor level of the building should be at or near finished pedestrian paving level to allow ease of access and contribute to the animation of the street.

Where paving is incomplete, floor levels should be set to meet a continuous grade from kerb to property boundary (usually 2%).

Additional grading, where necessary, must occur within the property.

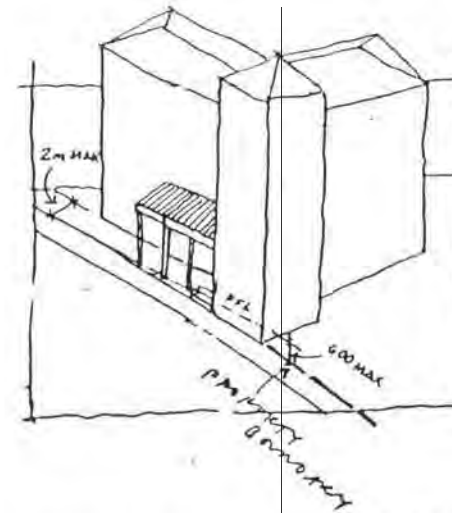
Where the ground floor of the building is raised above the pavement level, the Finished Floor Level (FFL) shall be not more than 0.6m above the finished ground level of the property. Front door access for visitors and residents with disabilities should be considered.

B3.2 Sloping Sites

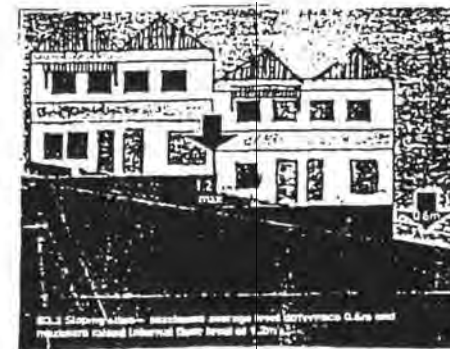
For sites with a sloping frontage, the average height of the FFL above the entry level pavement at the property line must not exceed 0.6m. No part of the internal FFL shall be more than 1.2m above pavement level.

For corner sites, the average height difference will be calculated for the combined frontage to both streets.

Steeply sloping lots should be terraced.



B3.1 THE FINISHED FLOOR LEVEL SHALL NOT BE MORE THAN 0.6m ABOVE THE FINISHED GROUND LEVEL AT THE PROPERTY LINE



(REFER CITY NORTH PLAN B3-2)

*LAKETIDE
B3 LEVELS*

B4 POLICIES

P2 4 Control adverse environmental impact on streets from buildings

P4 4 Control materials forming public space enclosure.

P4 12 Control elements requiring special location or visual control

B4 ROOFSCAPES

B4.1 Integral Design

The roofscape must be treated as an integral part of the building design completing the composition

B4.2 Pitched Roofs

Where pitched, roof pitches shall be greater than 25°

B4.3 Flat Roofs

Provide parapets to the perimeter of flat roofs

B4.4 Roof Terraces

Roof terraces are permitted, however they should avoid overlooking adjacent private space in accordance with C1

B4.5 Plant and Equipment

Mechanical plant and equipment should be screened from the street by the roof form and as far as possible from surrounding upper floors

All services such as solar hot water unit tanks, air conditioning condenser units, etc. are not permitted to be mounted on roofs where they are visible from the street. Solar collectors must be flush with the roof pitch and coloured to match

Any ventilation devices should match the colour of the roof

Satellite dishes and television antennas shall not be visible from the primary frontage

B5 POLICIES

- P4.1 Form street spaces conducive to social activity
- P4.11 Enhance the environment at ground level through provision of shelter

B5 PEDESTRIAN SHELTER

(LANDMARK APARTMENTS AND MULTIPLE DWELLING SITES)

Landmark and Multiple Dwelling developments should provide pedestrian shelter at entrances. Continuous pedestrian shelter is encouraged where a zero setback occurs.

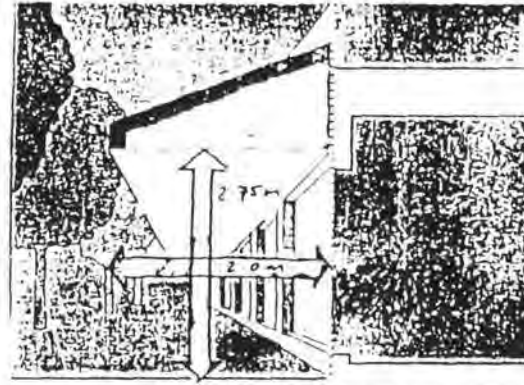
B5.1 Height

The ceiling clearance of structure for colonnades and canopies shall be a minimum of 2.75m.

B5.2 Width

The horizontal structural clearance for colonnades shall be a minimum of 2.5m.

Awnings shall be a minimum width of 2.0m.



B5.1 & B5.2 AWNINGS CLEARANCE - PEDESTRIAN SHELTER

LAKESIDE

B6 PEDESTRIAN SHELTER

B6 POLICIES

- P2.4 Control adverse environmental impact upon streets from buildings.
- P4.2 Glazing to appear set into solid composition.
- P8.5 Encourage passive energy design.

B6 SOLAR ACCESS

Site Planning should allow opportunities for sunlight penetration and energy efficiency.

B6.1 Solar Access

Where possible the building should have a northerly aspect, and should incorporate glazing to optimise winter solar gain.

Glazed areas on east and west facing facades should be protected from direct summer solar gain.

B6.2 Overshadowing

The design of buildings should minimise the effect of overshadowing on the following:

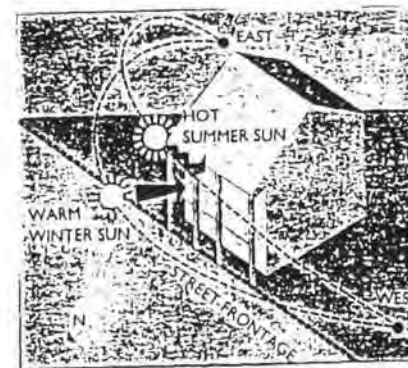
- *Adjacent residential dwellings ie denying solar access to glazing and collector panels.*
- *Any residential private open space.*
- *Public squares and parks*
- *It is incumbent on the developer to take account of overshadowing issues for his own property and adjacent properties*

B6.3 Orientation

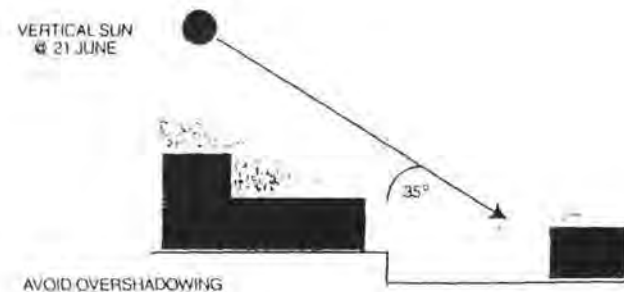
Where possible open space, particularly in group development, should be located to collect the maximum sunlight allowing for year round use.

B6.4 Energy Efficient Housing Design

Housing designs incorporating the principles of energy efficient design are encouraged including insulation, air seals, heat source location, building mass and passive solar gain. Consideration should be given to the policies in section P8



B6.1 CAREFUL SITE PLANNING TO OPTIMISE SUMMER SHADE AND WINTER SOLAR GAIN.



LAKESIDE
B6 SOLAR ACCESS

Lakeside District

C DETAILS

CONTENTS

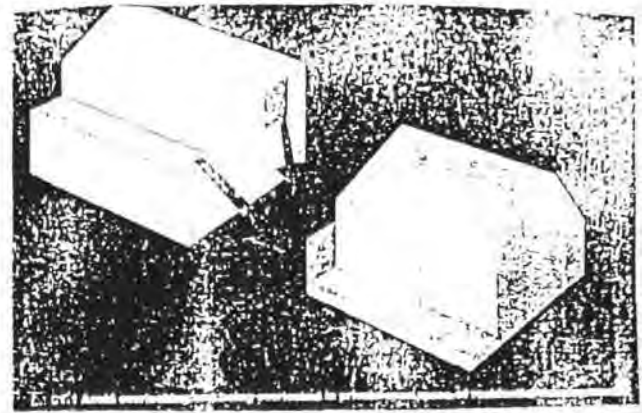
- C1 Overlooking
- C2 Public Art
- C3 Services and Servicing
- C4 Lighting of Buildings and Open Space
- C5 Public Safety and Security
- C6 Ancillary Structures
- C7 Landscaping and Open Space
- C8 Materials
- C9 Fencing

- G1 POLICIES
- P4.10 Avoid overlooking indoor and outdoor space of residential developments.

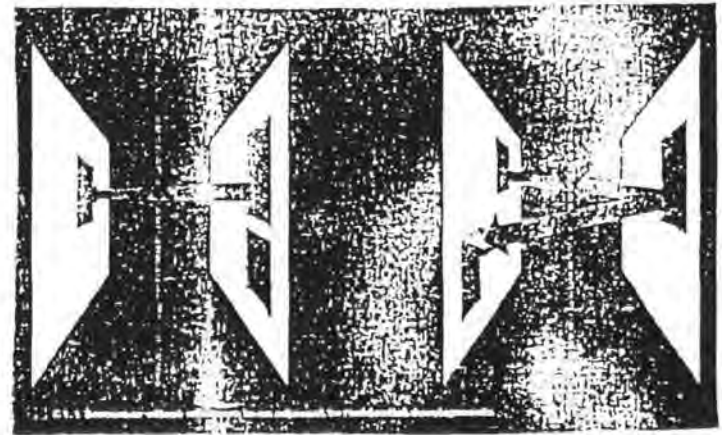
C1 OVERLOOKING

Consideration should be given to prevent both overlooking and being overlooked in both indoor and outdoor residential space.

- C1.1 Screening measures should be considered in the form of fixtures (lattice, pergolas, shadecloth) and planting (dense evergreen trees) adjacent to boundaries where required
- C1.2 Windows and balconies shall face the front or rear of the lot unless it can be demonstrated that overlooking neighbouring private external and internal residential space will not occur



(REFER CITY NORTH 2146 C1.1)



(REFER CITY NORTH 2146 C1.1)

LAKESIDE
C1 OVERLOOKING

C2 POLICIES

- P1 7 Encourage public art to contribute to District identity.
- P2 9 Encourage cultural expression in streets and open space.
- P2 10 Encourage public art at nodal points.
- P3 7 Encourage public art in creating landmarks.
- P4 8 Integrate public art with fabric and administration of public space.

C2 PUBLIC ART (MULTIPLE DWELLINGS AND LANDMARK APARTMENTS)

C2.1 Form

Public art may be of a permanent or temporary nature and may take the form of:

- *Freestanding (or freeflowing) objects located on the ground, on a support structure, on a wall or suspended in the air.*
- *Elements integrated into the surface of a building facade and internal or external paving.*

C2.2 Context

Public artworks should be site-specific, relating thematically to the use and identity of the building or public open space within the broader context of the City of Joondalup.

C2.3 Materials

Where the artwork is intended to be permanent, the materials used should be durable and appropriate for use in an urban public space.

Where the artwork is intended to be of a temporary nature, the materials should be appropriate for the anticipated life of the artwork in an urban public space.

C2.4 Public Safety

The design and construction of the artwork, permanent and temporary, should be appropriate to the need for public safety.

C2.5 Maintenance

Maintenance responsibility for the artwork should be established at the time of commissioning. A conservation and maintenance repair report should be completed by the artist following the completion of the artwork and lodged with the responsible authority.

C3 POLICIES

P4 12 Control elements requiring special locations or visual control

P7 4 Accommodate loading bays on-site accessed from laneways

P7 5 Control access to service areas to minimise disruption to street front activity

C3 SERVICES AND SERVICING

C3.1 Refuse Disposal

The storage of all refuse and recyclable materials shall be provided off the street

Rubbish collection shall be effected from the rear of the property. Bin standing areas shall be located off the laneways.

Where the redevelopment of an existing property is proposed, the City Engineer should be consulted to determine the need for waste handling systems such as static compaction and recycling facilities

C3.2 Loading Zones (Landmark and Multiple Dwelling Sites)

All Loading Zone parking shall be accommodated on-site and be accessed from rear or side laneways.

C3.3 Emergency Vehicles (Landmark and Multiple Dwelling Sites)

All vehicle accessways shall provide a minimum of 3.5m clear carriageway width for emergency vehicles

C3.4 Services

Power, water, sewerage, stormwater and communication services are provided within or immediately adjacent to each lot

Services connections should not protrude from paving or driveways or cause any hazard to pedestrians or vehicles.

C3.5 Screen Fencing

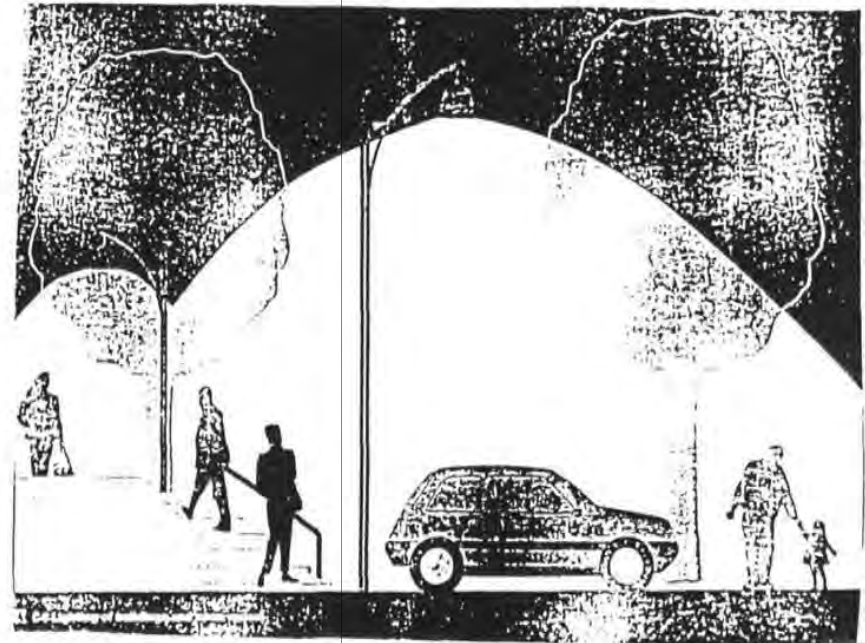
Provide screen fencing to service yards compatible with the main building

C4 POLICIES

- P2 5 Ensure open space on private land forms a coherent part of the City Open Space Network 24-hours a day.
- P4 6 Ensure design inhibits anti-social behaviour at all hours.
- P4 7 Require adequate illumination of open areas for public safety.
- P8 3 Promote services design with high level of operational efficiency in energy consumption.
- P8 5 Encourage passive energy design.

C4 LIGHTING OF BUILDINGS AND OPEN SPACE

- C4.1 All lighting must blend with the general amenity of the area.
- C4.2 Ambient feature lighting at ground level should be designed to complement existing street lighting.
- C4.3 Where architectural floodlighting of a building or space is to be provided, this should be achieved through the integration of the luminaires into the fabric of the building.
- C4.4 Lighting systems should, as far as possible, be designed so as to prevent direct and/or reflected glare to surrounding areas. This applies particularly to pedestrian and vehicular movement, or at entrances, steps, stairs and pedestrian paths, or residential development.
- C4.5 Spilt light to surrounding properties, roadways, railways, pedestrian paths etc. should be minimised.
- C4.6 All parking areas and open space on private property which may be subject to night-time use should be artificially illuminated. The minimum is three lux and maximum is 40 lux. Greater illumination may be required for focal points or hazards such as steps.
- C4.7 Luminaires classified Type 1 under AS 1158.1 (ie. those which have a clear translucent enclosure which does not disperse the outline or diminish the brightness of the lamp) should not be used in carparks or areas immediately adjacent to a roadway and/or pedestrian path.
- C4.8 The efficiency of energy consumption should be taken into account in the design of lighting systems.
- C4.9 Colour temperature design for public space lighting should be in the white range (mercury vapour, metal halide) in keeping with existing public lighting.



(REFER CITY NORTH DIAG. C4)

LAKESIDE

C4 LIGHTING OF BUILDINGS AND
OPEN SPACE.

C5 POLICIES

- P4.6 Ensure design inhibits anti-social behaviour at all hours
- P4.6 Provide a safe public space for social activity.

C5 PUBLIC SAFETY AND SECURITY

In order to encourage activity throughout the public space network of the city, the maintenance of public safety through the following design consideration is a high priority.

- C5.1 Avoid obscured corners and dead-end alleys
- C5.2 Ensure all public areas are overlooked from internal and circulation areas
- C5.3 Design buildings to overlook public spaces wherever possible
- C5.4 Avoid landscaping and planting which obscures public areas from general view
- C5.5 Security and safety lighting must be provided throughout
- C5.6 Security grills and grates shall be designed as an integral part of the architecture
- C5.7 Consideration should be given to appropriate lighting of carparking areas at night for public safety. Refer C4.6



(REFER CITY NORTH DIAG. C5)

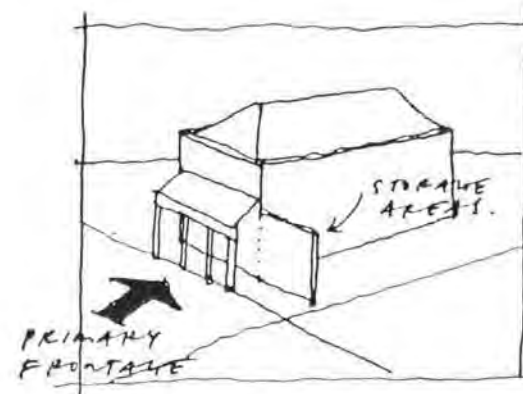
1. RECEIRE
C5 PUBLIC SAFETY AND SECURITY

C6 POLICIES

- P4 12 Control elements requiring special location and visual control
- P7 4 Accommodate loading bays on site accessed from laneways

C6 ANCILLARY STRUCTURES

- C6.1 All ancillary structures will be either concealed from view at ground level or designed as an integral part of the building
- C6.2 Separate storage sheds and out-buildings are to be constructed of materials compatible with the main building as recommended in section C8



C6.1 ALL ANCILLARY STRUCTURES WILL BE CONCEALED FROM VIEW AT GROUND LEVEL OR DESIGNED AS AN INTEGRAL PART OF THE BUILDING.

LAKESIDE
C6 ANCILLARY STRUCTURES.

C7 POLICIES

- P1 5 Ensure landscaping and street furniture contribute to District identity
- P2 5 Private space as part of public open space network to be consistent with design of the network space.
- P2 6 Furniture and paving on private land forming a part of open space network to be consistent with public space.
- P2 7 Promote vistas to points of orientation.
- P2 11 Maximise accessibility on both public and private land.

C7 LANDSCAPING AND OPEN SPACE

The landscape, the street and the property are fundamental to the quality of the street and the efficient use of the lot. Buildings, landscape, structures and planting need to be carefully integrated. The retention of natural vegetation is encouraged.

- C7.1 Where natural vegetation remains on site, clearing should not occur until immediately prior to development. Special requirements will apply to particular lots through conditions of sale
- C7.2 Existing vegetation and local species should be integrated with the development as far as possible
- C7.3 In staged developments any undeveloped areas of a site should be landscaped to the satisfaction of the City or left as natural vegetation
- C7.4 Where landscaped public plazas or courts are provided these should be accessible from public thoroughfares
- C7.5 Access provisions for those with disabilities and limited mobility shall be in accordance with the relevant Australian Standards (AS1428.1)
- C7.6 Where Public Accessways, Plazas and courts are provided within the site and link with the city pedestrian networks, the design should meet the following criteria (Particularly relevant to larger multiple dwelling and Landmark Apartment developments).
- *The design of the public accessways on private property should be in keeping with the landscape detail of the public space*
 - *The space will be illuminated after dark to a level adequate for visibility and public safety*
- C7.7 Where ever possible connectivity between parkland and the pedestrian network should be encouraged from larger multi-dwelling developments

C8 POLICIES

- P4 4** Control materials forming public space enclosure.
- P4 9** *Integrate colours and materials from the landscape*
- P8 1** Encourage use of low energy materials.
- P8 4** Promote the use of locally-produced materials.

C8 MATERIALS

- C8.1** Materials used on the exterior of the building and in the public realm shall be of a robust nature, durable and resistant to vandalism.
- C8.2** Materials shall be appropriate for use in an urban city centre
- C8.3** Materials and colours are encouraged to recognise those of the local environment
- C8.4** Material selection should be made with consideration to the policies in section P8.

C9 POLICIES

- P4.5 Ensure materials are suited to civic space
- P4.6 Ensure design inhibits anti-social behaviour

C9 FENCING

Fencing of all boundaries is a mandatory requirement in accordance with details set out below.

C9.1 Front Fence

In order to maintain street interaction, front fences and walls may be solid to a maximum of 750mm above ground level. Above this, fences to primary frontages shall be at least 50% visually permeable up to a maximum height of 1800mm.

C9.2 Laneways and Side Fencing

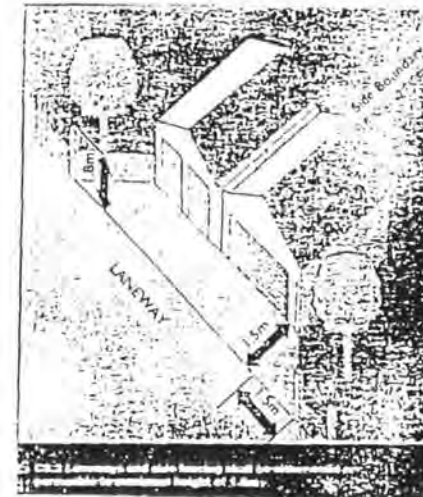
Laneways and side fencing may be either solid or permeable to a maximum height of 1800mm. Materials and colours shall be compatible with the main building.

C9.3 Materials

Only masonry, timber or decorative metal fencing is permitted forward of the building line or facing laneways. Where fibre cement fencing is used between properties it must be painted.



(REFER CITY NORTH DIAG. C9.1)



(REFER CITY NORTH DIAG. C9.2)

LAKELIDE
C9 FENCING