

Joondalup

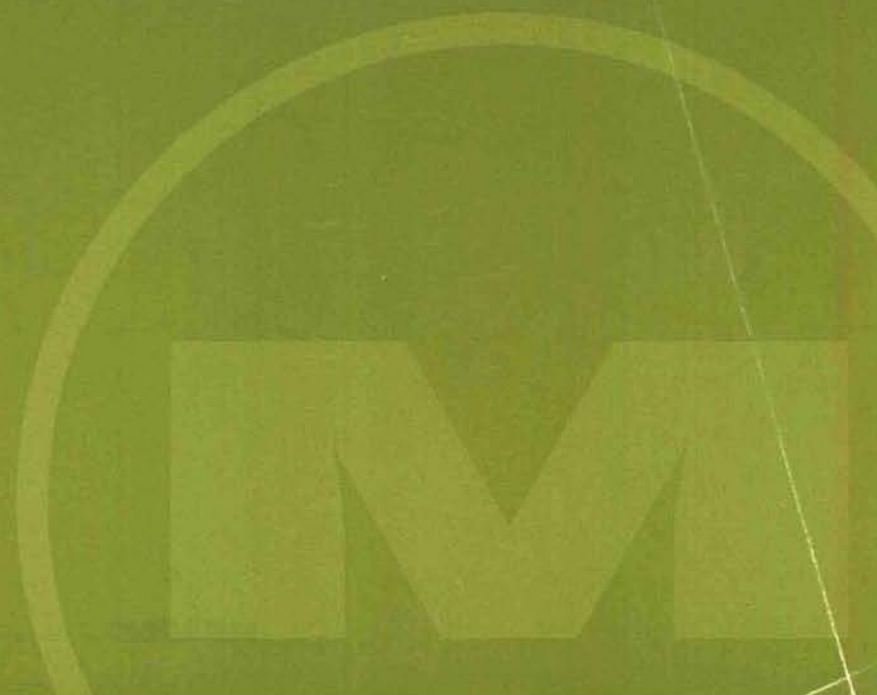
City Centre

Development

Plan and Manual



Western Business District





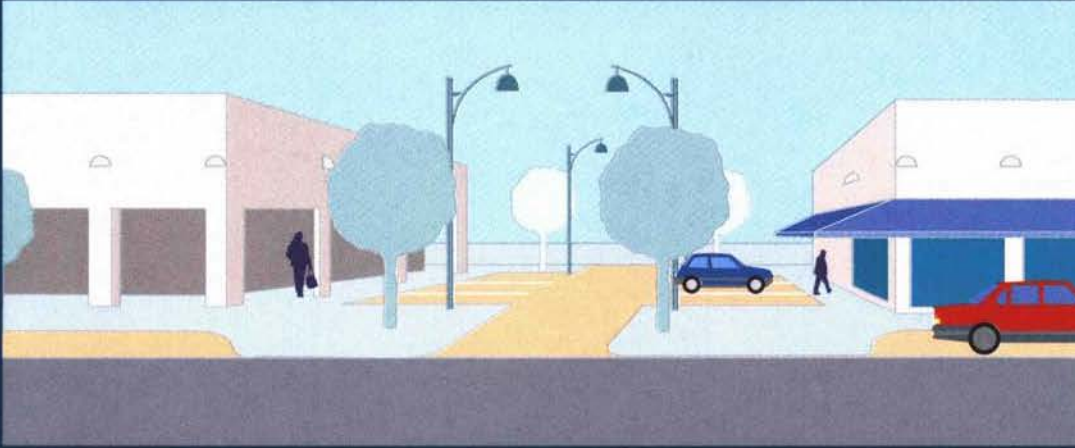
Western Business District

The retail component of the Western Business District will focus on “Comparison Shopping”.

The intention of this District is not to duplicate the proposed uses of the Central Business District and Business Park, but to sit compatibly between the two. This will be achieved by providing medium to large floor space buildings and utilising the location’s high exposure to Joondalup Drive, with the flexibility to provide sub-divided strata titled showrooms.

The District provides the convenience of integrated carparking without compromising the appearance of this western entrance to the City along Joondalup Drive.

Street infrastructure will be of a quality finish in keeping with the remainder of Joondalup City Centre.



■ View from Northern Suburbs Railway Line



■ View from Joondalup Drive



Western Business District

A



Western Business District Site Planning

Joondalup

City Centre

Development

Manual

C O N T E N T S

A1 Land Use

A2 Carparking

A3 Setbacks



A1 P O L I C I E S

- PI.1** Reinforce unique identity of each District.
- PS.4** Concentrate large floor space retailing on the western edge of the City.
- PS.5** Integrate Retail activity throughout the City.

Modifications adopted by
Joint Commissioners -
11 August 1998
(CJ69-08/98)

A1

Land Use

The following Land Uses are examples of the categories envisaged for the areas shown on the plan opposite:

A1.1 Comparison Shopping (Plot Ratio 0.5)

Preferred Uses

- * Showroom Retail
- * Residential (caretaker)

A1.2 Regional Shopping Centre

Preferred Uses

- * Large floor specialist Food Retail
- * Specialist Retail

A1.3 Highway/Drive-In

Preferred Uses

- * Fast Food outlets with drive-in facility
- * Service Station
- * Video hire
- * Take-away food without drive-in facility
- * Bottleshop with/without drive through

The following Land Uses are not considered appropriate for the Western Business District:

A1.4

- * Industrial

Educational Uses permitted and restrictions on CBD uses removed from the Western Business District

See supplementary information on next page

See supplementary information on next page

A1 LAND USE

A1.1 See original document

A1.2 See original document

A1.3 Replaced as follows:

A1.3 Highway/Drive-In

Preferred uses

- *Fast food outlets with drive-in facility*
- *Service Stations*
- *Video hire*
- *Take-away food without drive-in facility*
- *Bottleshop with/without drive through*

CJ69-08/98 (11/8/98)

A1.4 See original document








Educational and Restrictions on CBD Uses

CJ127-05/00 (23/5/00)

CJ184-07/02 (23/7/02)

A1 Land Use

Land Use Legend

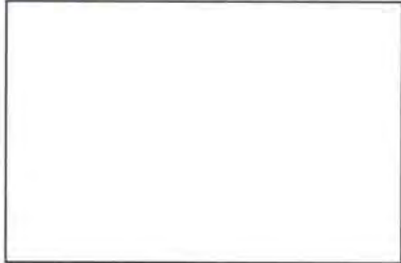
-  Comparison Shopping
-  Regional Shopping Centre
-  Highway/Drive-In
-  Public Parking
-  Roads
-  Main Arterial Roads
-  Northern Suburbs Railway Line



A1 Land Use



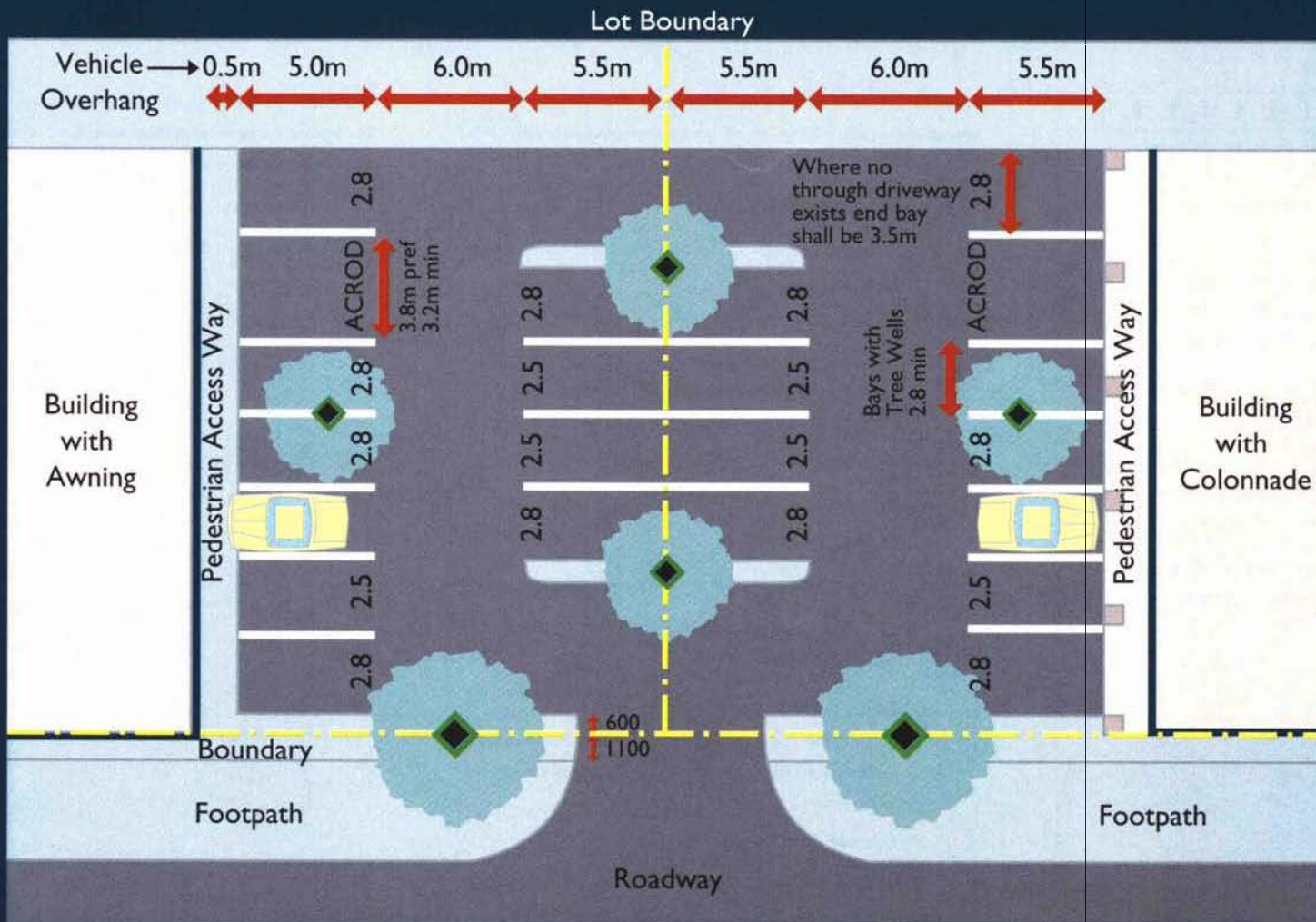
A2	P O L I C I E S
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A2

Carparking

The Carparking policy is currently under review



A2.6 Carparking Dimensions

A2 CarParking



A3 P O L I C I E S

- 7.1 Continuous urban wall enhancing gridded street pattern.
- 7.2 Form discrete contained street spaces and avoid visual domination of open space.
- 7.4 Control adverse environmental impact upon streets from buildings.
- 4.1 Building facade at street level conducive to social activity.
- 4.12 Control elements requiring special location or visual control.

A3

Setbacks

Special Setback conditions apply to the Comparison Shopping area. These shall be in accordance with the following:

A3.1 Primary-Frontage

Primary frontages to lots shall be as designated on the plan.

Multi-fronted lots

- *Where building lots (including lot amalgamations) facing Joondalup Drive are multi-fronted with Collier Pass and/or Clark Crescent, Joondalup Drive shall be the Primary Frontage.*

A3.2 Setbacks

Front Setbacks

- *2.4 m setback from cross easement on Joondalup Drive.*
- *0.0 m setback to the property line on designated Primary Frontages elsewhere.*
- *Pedestrian shelter is desirable to the Primary Frontage. Where Colonnades are provided these should be provided within the property and canopies provided over the public space; refer B5.*

Side and Rear Setbacks

In accordance with the Building Code of Australia.

Special Setback conditions may apply to the Regional Shopping Centre and Highway Use areas. These shall be generally in accordance with the following:

A3.3 Primary-Frontage

- *Joondalup Drive and Shenton Avenue will be the primary frontages.*

A3.4 Setbacks

- *Setbacks will be assessed on their merits.*

A3 Setbacks

- Setbacks Legend**
-  Primary frontage
 -  Regional Shopping Centre
 -  Highway Drive-In
 -  Public Parking
 -  Roads
 -  Main Arterial Roads
 -  Northern Suburbs Railway Line



A3.2 Joondalup Drive Front Setback

A3 Setbacks

B



Western Business District Building Envelope

Joondalup

City Centre

Development

Manual

C O N T E N T S

B1	Design in Context/Active Frontages
B2	Levels
B3	Roofscape
B4	Solar Access
B5	Pedestrian Shelter
B6	Signage and Advertising



B1 P O L I C I E S

- P1.8** Encourage richness of form.
- P2.2** Form distinct street character.
- P4.1** Ensure form of streets and other public space is conducive to social activity.
- P4.3** Optimise interaction between street spaces and building interior.
- P7.5** Control parking access to minimise impact on streets.

B1

Design In Context /Active Frontages

B1.1 Street Context

The richness and character of the street space should be achieved through the variety of the individual buildings.

The integrity of the streetscape requires some consistency in the form and rhythm of building frontages which contribute to a quality of public amenity within the street space.

Ancillary structures and Landscaping should be used to continue the Primary Frontage edge.

B1.2 Animation

Facades should present an animated frontage and address the primary street frontages, refer A3.1 and A3.3.

B1.3 Public Space Landscaping and Furniture

The design of the building facade should take into account the location and form of existing street planting and furniture to ensure a considered and integrated composition of streetscape and building.

B1.4 Staged Development

Planning of a staged development of a site should ensure that each stage is designed as a complete architectural composition and that site planning for the complete development should reflect the requirements of these guidelines.

B1.5 Ground Floor Facade

Window display glazing at ground floor level should be maximised and set within a visually solid, framed facade. The horizontal dimension of the glazing shall comprise at least 75% of the total building frontage. Window sill heights should be at or close to the street or carpark level. Obscured or reflective glazing shall not generally be used at ground floor level.

B1.6 On-Grade Parking

Where a Carparking area abuts a street frontage between buildings, the area shall be landscaped or paved in accordance with Diagram A2.6 and clause C6.7.



Western
Business
District

B1 Design in Context/ Active Frontages



B1.1 Continuity of urban edge with ancillary structures or landscaping



B1.5 Relation of entry to the street space



B2 POLICIES

- P43** Optimise interaction between streetscapes and building interior and allow front door access for all users.
- P75** Control parking access to minimise impact on streets.

B2

Levels

The following Levels guidelines apply to street frontage as well as internal pedestrian ways:

B2.1 Ground Floor Level

The ground floor level of the building should be at finished pedestrian paving level to allow ease of access and contribute to the animation of the street.

Where paving is incomplete, floor levels should be set to meet a continuous 2% grade from kerb to property boundary.

Additional grading, where necessary, must occur within the property.

Where, for reasons pertaining to the use of the ground floor or to basement conditions, the ground floor of the building is raised above the pavement level, the Finished Floor Level (FFL) shall be not more than 0.6m above the finished ground level.

B2.2 Sloping Sites

For sites with a sloping frontage, the average height of the FFL above the pavement level at the property line must not exceed 0.6m. No part of the internal FFL shall be more than 1.2m above pavement level.

The height above pavement level of the sills of glazed openings shall be at or close to floor level.

For corner sites, the average height difference will be calculated for the combined frontage to both streets.

B2.3 Access

Where a level change from pavement to interior exists, provision must be made within the property, for ramped street front access for those with limited mobility.

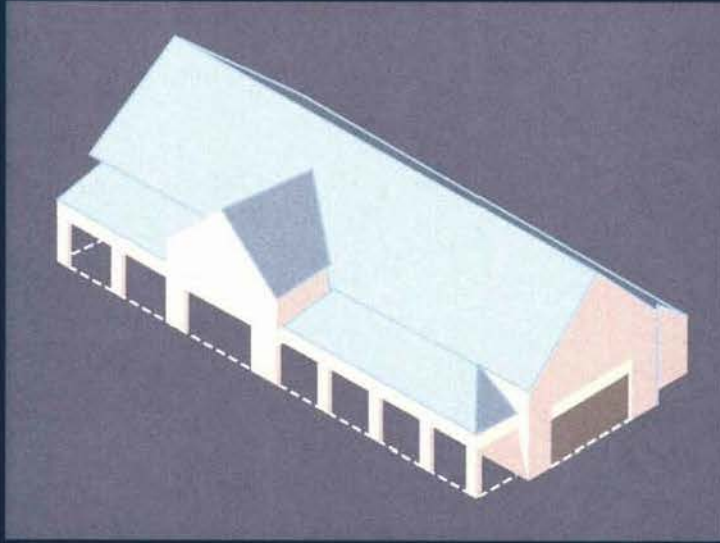
Changes in level should be delineated with changes in colour or paving pattern to alert those with impaired vision.

Where an abrupt level change occurs immediately in front of a common access point, bollards or a similar device should be used.

Where revolving doors or turnstiles are used, adjacent alternative access should be provided suitable for prams, wheelchairs and the elderly.

B2.4 Shared Access Parking

Where shared access parking exists between two properties, levels are to be coordinated to satisfy conditions prescribed in B2.1-B2.3.



■ B3.3 Roof pitches should be greater than 25° when visible



■ B3.4 Screening of rooftop services designed as an integral part of the building



B4 P O L I C I E S

- P2.4** Control adverse environmental impact upon streets from buildings.
- P4.2** Glazing to appear set into solid composition.
- P8.5** Encourage passive energy design.

B4

Solar Access

B4.1 **Orientation**

Where possible, open space should be located to collect the maximum sunlight allowing for year round use.

Buildings with Primary Frontage on Joondalup Drive will have west facing elevation requiring consideration of solar gain during summer months.

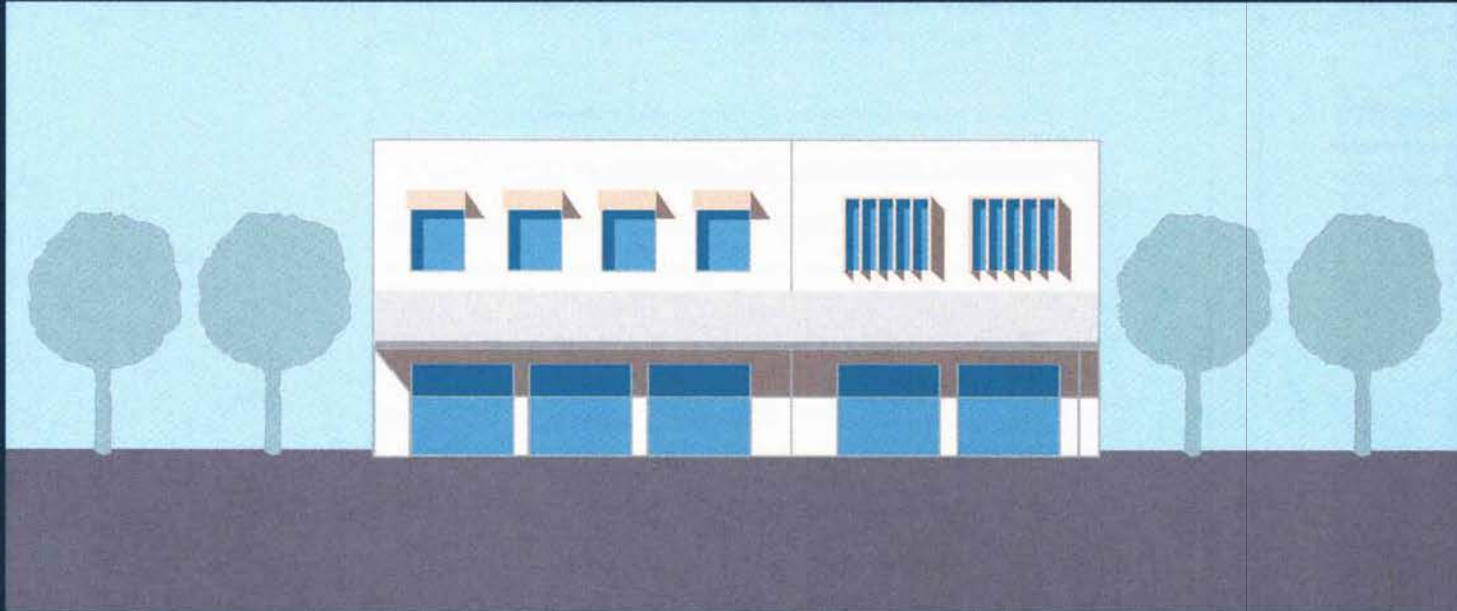
B4.2 **Facades**

The glazed areas of the upper floor of buildings shall not exceed 50% of the upper floor facade area.

For ground floor level facades, B1.5 will apply.

The design of glazing area of north facing facades to optimise winter solar gain opportunities is encouraged.

Glazed areas of facades must be protected from direct summer solar gain.



■ **B4.2 Maximum glazed area for upper floors shall not exceed 50%.
Protect glazed areas from direct summer solar gain.**



B5 P O L I C I E S

P4.1 Form street spaces conducive to social activity.

P4.11 Enhance the quality of the street environment through provision of shelter.

B5

Pedestrian Shelter

B5.1 Shelter

Developments should provide pedestrian shelter to street and carpark frontages in the form of awnings or colonnades.

Where means of shelter are provided as colonnades within the site, the colonnade area will not be included as GLA.

B5.2 Height

The ceiling clearance of structure and signage for colonnades and awnings shall be 2.75m.

B5.3 Width

Joondalup Drive

Colonnades with Joondalup Drive frontage shall have a minimum internal clearance width of 2.4m.

Awnings with Joondalup Drive frontage shall have a minimum width of 2.4m.

Awnings

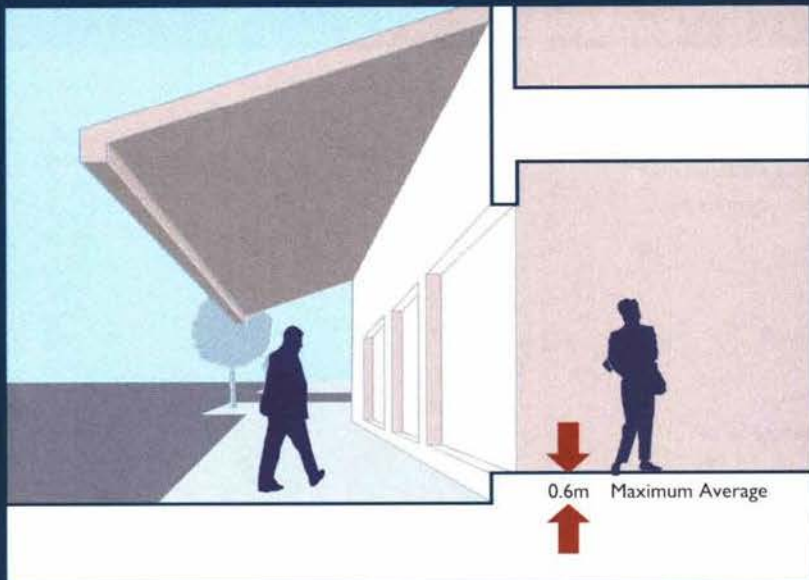
Awnings with street frontage shall have a minimum width of 2.0m.

Awnings to internal pedestrian access ways fronting carpark areas shall have a minimum width of 1.2m.

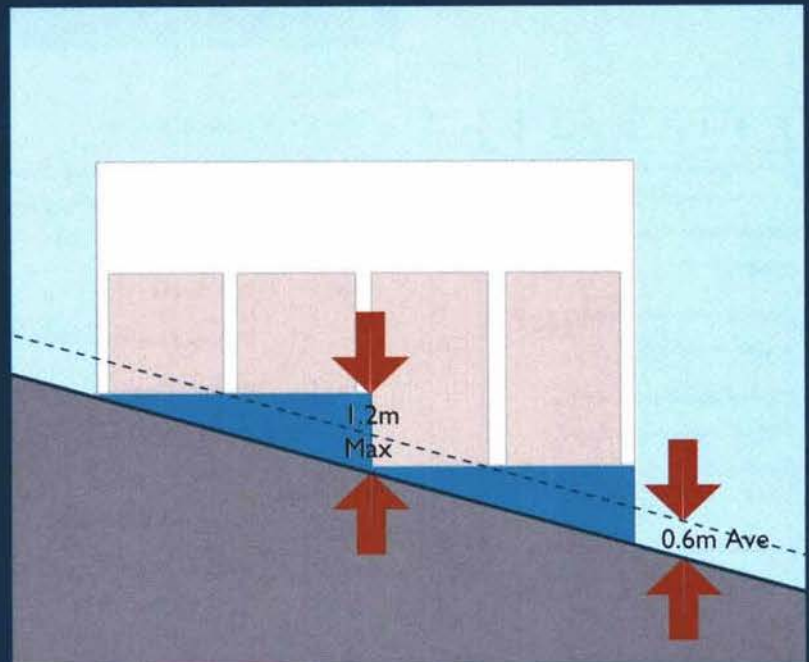
Colonnades

Colonnades with street frontage shall have a minimum internal clearance width of 2.0m.

Colonnades to internal pedestrian access ways fronting carpark areas shall have a minimum internal clearance width of 1.5m.



B2.1 Maximum level change at ground level



B2.2 Sloping sites



B3 P O L I C I E S

- #2.4 Control adverse environmental impact upon streets from buildings.
- #3.4 Control materials forming public space enclosure.
- #4.12 Control elements requiring special location or visual control.

B3

Roofscape

B3.1 **Integral Design**

Buildings, particularly those with large floor areas, should be articulated with roof form or parapets to complement the overall composition.

B3.2 **Flat Roofs**

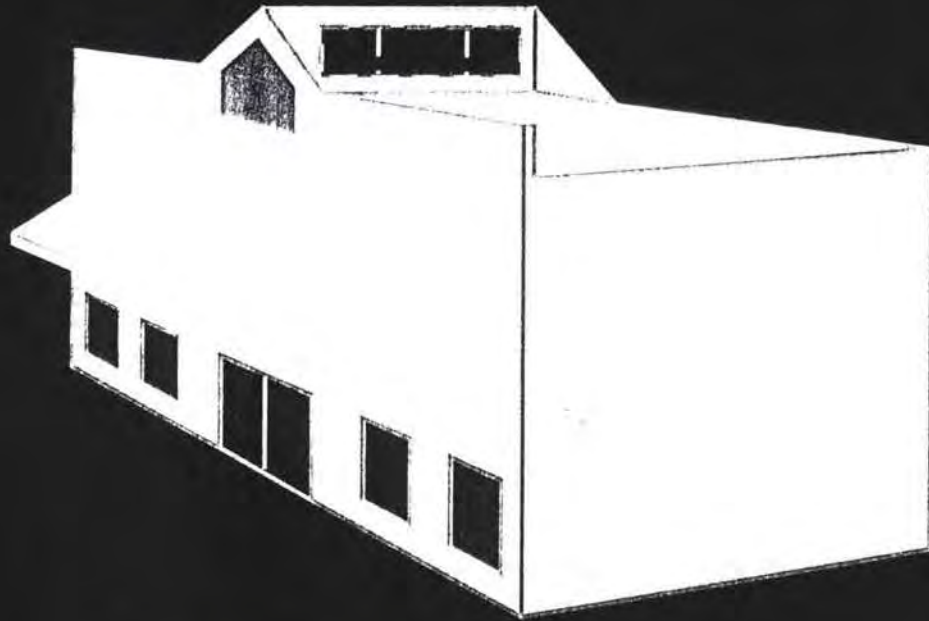
Provide parapets to the perimeter of flat roofs

B3.3 **Pitched Roofs**

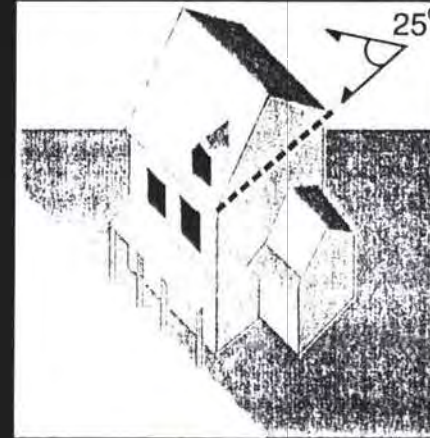
Where pitched and visible, roof pitches should be 25° or greater.

B3.4 **Plant and Equipment**

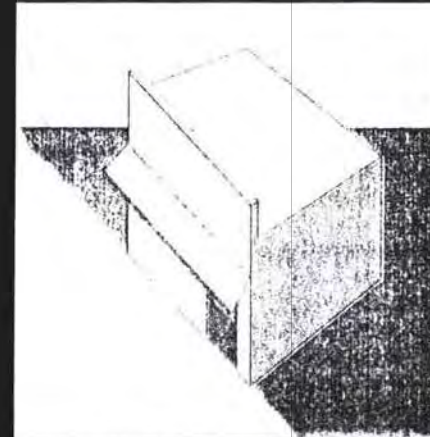
Mechanical plant and equipment should be screened from the street by the roof form.



B4.1 Screening of rooftop services designed as an integral part of the building



B4.2 Pitched roofs greater than 25° should incorporate gables into the roofscape



B4.3 Provide parapets in front of flat roofs



City
North
District

B4 Roofscape



B5 P O L I C I E S

- | | |
|------|---|
| F7.1 | Control adverse environmental impact upon streets from buildings. |
| F12 | Glazing to appear set into solid composition. |
| F8.5 | Encourage passive energy design. |

B5

Solar Access

Site Planning should allow opportunities for sunlight penetration and energy efficiency.

B5.1 Solar Access

Where possible the building should have a northerly aspect, free of obstructions which would block winter sun.

Wherever possible the largest windows should be located on the northern side of buildings incorporating shade protection against summer sun.

Designs with living and working areas orientated to the north will be encouraged.

B5.2 Overshadowing

The design of buildings should minimise the effect of overshadowing on the following:

- *Adjacent residential dwellings ie denying solar access to glazing and collector panels.*
- *Any residential private open space.*
- *Public squares and parks.*

B5.3 Orientation

Where possible public open space should be located to collect the maximum sunlight allowing for year round use.

For General City Use developments the following guidelines shall apply:

B5.4 North and South Facades

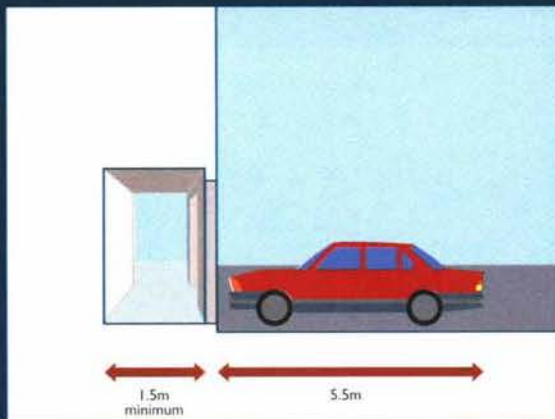
The design of glazing area of north-facing facades to optimise winter solar gain opportunities is encouraged.

The glazed area of the north and south faces of a building shall not exceed 75% of the total wall area, except at the ground floor level where the provisions of B2 shall apply.

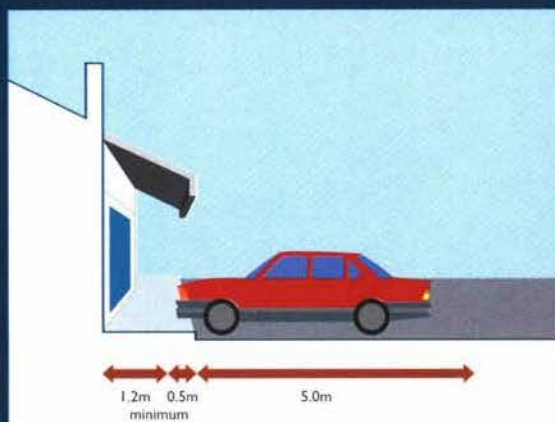
B5.5 East and West Facades

The glazed area of building facades on the east and west facades should not generally exceed 50% except on ground floors where B2 will apply.

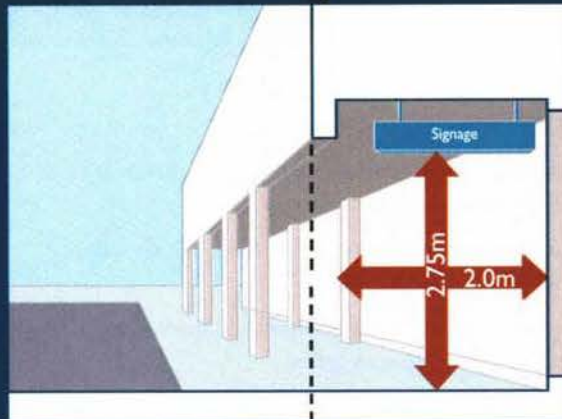
Glazed areas of east and west facades must be protected from direct summer solar gain.



B5.3 Internal pedestrian accessways fronting carparking areas - Colonnades

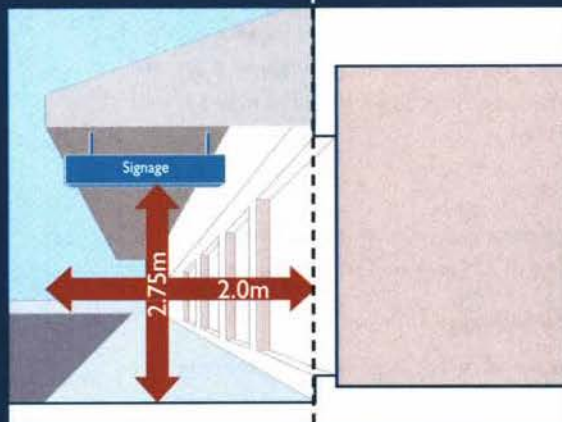


B5.3 Internal pedestrian accessways fronting carparking areas - Awnings

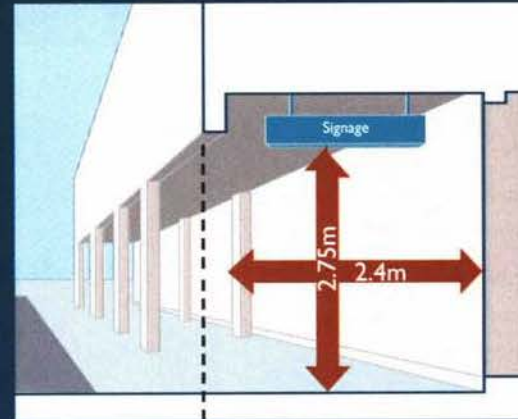


B5.2 & B5.3 Street frontage - Colonnades

Property Boundary

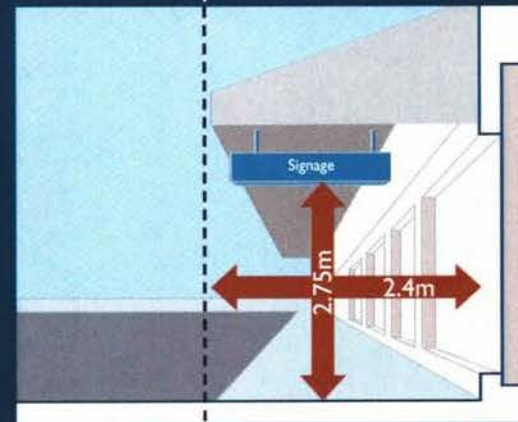


B5.2 & B5.3 Street frontage - Awnings



B5.2 & B5.3 Joondalup Drive frontage - Colonnades

Edge of Easement



B5.2 & B5.3 Joondalup Drive frontage - Awnings



B6 P O L I C I E S

P4.4	Control materials forming public space enclosure.
P4.12	Control sundry items requiring special location or visual treatment.

B6 Signage and Advertising

- B6.1 Design**

Signage should be of high quality and should be integrated with the building design in character and detail.

Potential signage zones should be in keeping with the scale and proportion of the buildings.

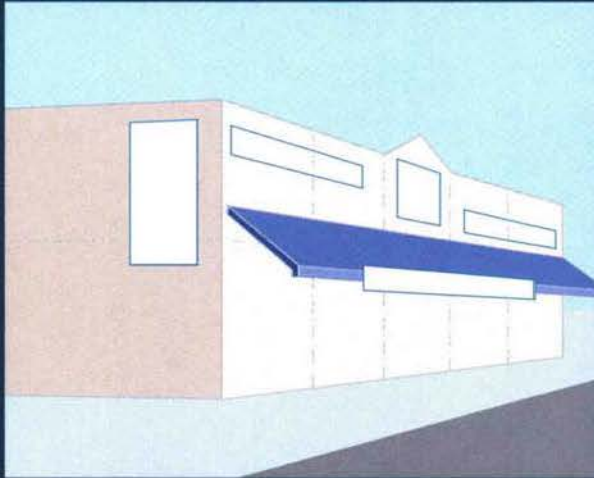
Parapet signage should be incorporated into building form and should assist in articulating form.

Signage above eaves line of canopy shall be designed into canopy form.
- B6.2 Pylon Signs**

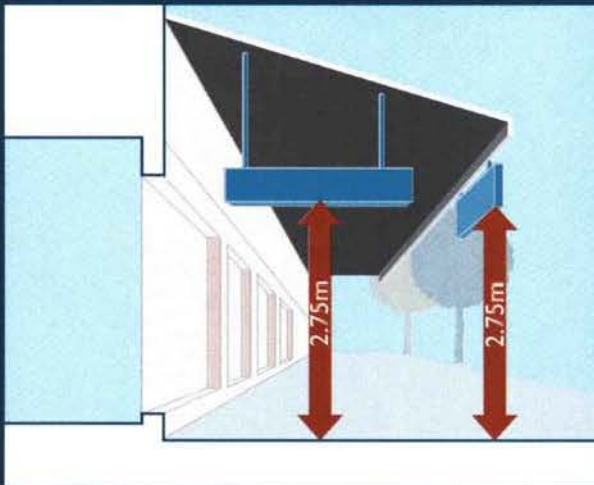
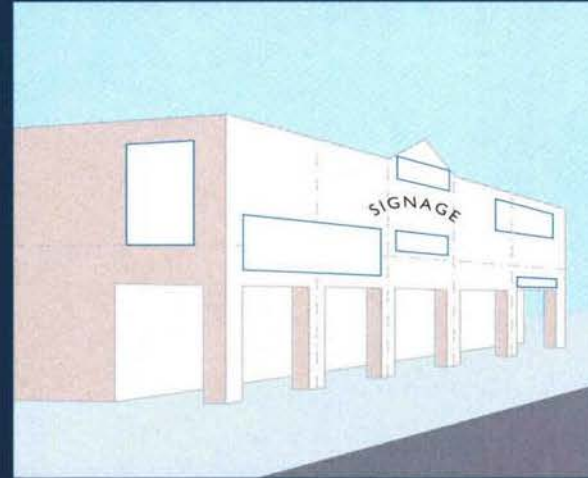
Pylon signs are not permitted within Western Business District with the exception of Highway / Drive-In zone (refer A1.3), where 1 pylon sign per development site is allowable with a total maximum height of 6.0m. No single face of a Pylon Sign shall exceed 4.0m² in total area.
- B6.3 Clearance**

Signage above pedestrian areas shall have a minimum clearance of 2.75m clear of finished ground level.
- B6.4 Special Signage**

Unique signage which may enliven and entertain in keeping with the scale and character of the District will be considered on merit.

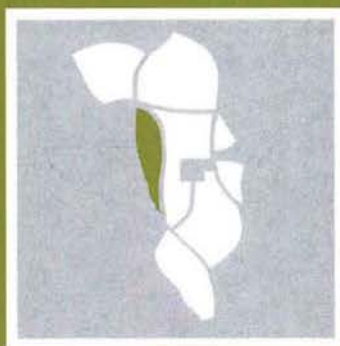


B6.1 Signage : potential zones should be in keeping with the scale and proportion of the building



B6.3 Signage : height clearance

C



Western Business District Details

Joondalup

City Centre

Development

Manual

C O N T E N T S

C1	Public Art
C2	Services and Servicing
C3	Lighting of Buildings and Open Space
C4	Public Safety and Security
C5	Ancillary Structures
C6	Landscaping and Open Space
C7	Materials



C1 P O L I C I E S

- P1.7 Encourage public art to contribute to District identity.
- P2.9 Encourage cultural expression in streets and open space.
- P2.10 Encourage public art at nodal points.
- P3.7 Encourage public art in creating landmarks.
- P4.8 Integrate public art with fabric and administration of public space.

C1

Public Art

C1.1 Form

Public art may be of a permanent or temporary nature and may take the form of:

- *Freestanding (or freeflowing) objects located on the ground, on a support structure, on a wall or suspended in the air.*
- *Elements integrated into the surfaces of a building facade and internal or external paving.*

Within the Western Business District public art will be encouraged on exposed parapet walls.

C1.2 Context

Public artworks should be site-specific, relating thematically to the use and identity of the building or public open space within the broader context of the City of Joondalup.

C1.3 Materials

Where the artwork is intended to be permanent, the materials used should be durable and appropriate for use in an urban public space.

Where the artwork is intended to be of a temporary nature, the materials should be appropriate for the anticipated life of the artwork in an urban public space.

C1.4 Public Safety

The design and construction of the artwork, permanent and temporary, should be appropriate to the need for public safety.

C1.5 Maintenance

Maintenance responsibility for the artwork should be established at the time of commissioning. A conservation and maintenance repair report should be completed by the artist following the completion of the artwork and lodged with the responsible party.



C-1 Public Art



C2 P O L I C I E S

- P4.12 Control elements requiring special location or visual control.
- P7.4 Accommodate loading bays on-site.
- P7.5 Control access to service areas to minimise disruption to street front activity.

C2

Services and Servicing

C2.1 Refuse Disposal

The storage of all refuse and recyclable materials should be provided out of sight.

For proposed food premises, the City Environmental Health Department should be consulted to determine the preferred method of storage and disposal of refuse.

Where the redevelopment of an existing property is proposed, the City Engineering Department should be consulted to determine the need for waste handling systems such as static compaction and recycling facilities.

C2.2 Loading Zones

All Loading Zone parking shall be accommodated on-site.

C2.3 Services

Power, water, sewerage, stormwater and communication services are provided within or immediately adjacent to each lot.

It is the developer's responsibility to ensure that all connection points are incorporated within the building or its associated hard and soft landscaping.

Service connections shall not protrude from paving or driveways or cause any hazard for pedestrians or vehicles.

If service valves occur in areas to be paved, LandCorp should be contacted as special service covers may be made available.



Western
Business
District

C2 Services and Servicing



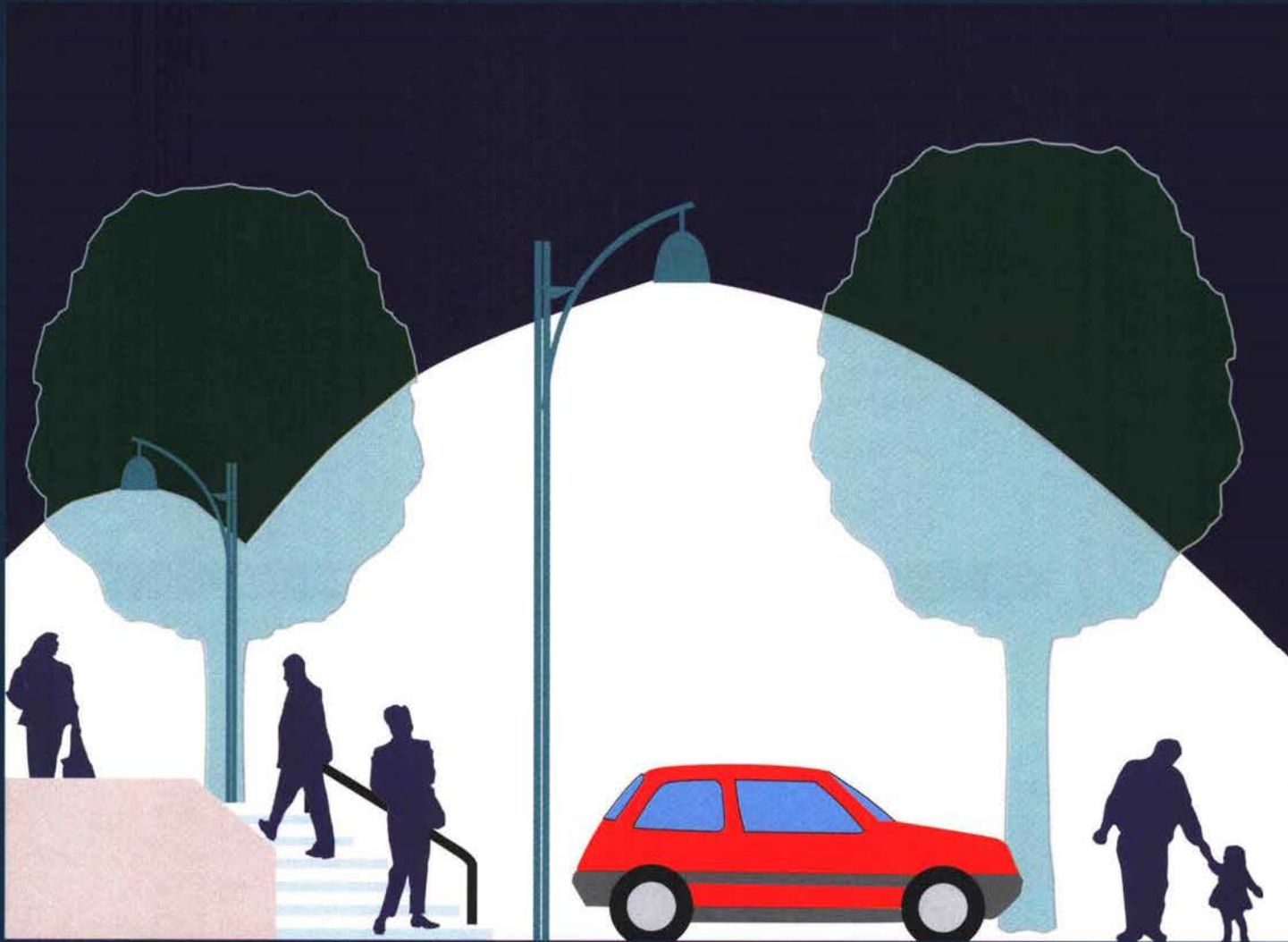
C3 P O L I C I E S

- P3.6 Promote a coherent design of street furniture and paving.
- P4.6 Ensure design inhibits anti-social behaviour at all hours.
- P4.7 Require adequate illumination of open areas for public safety.
- P8.3 Promote services design with high level of operational efficiency in energy consumption.
- P8.5 Encourage passive energy design.

C3 Lighting of Buildings and Open Space

- C3.1 All lighting must be appropriate for, and contribute to, the general character and amenity of the area.
- C3.2 Ambient feature lighting at ground level should be designed to complement existing street lighting.
- C3.3 Where architectural floodlighting of a building or space is to be provided, this should be achieved through the integration of the luminaires into the fabric of the building.

Architectural floodlighting to existing buildings will be subject to a separate Development Application.
- C3.4 Lighting systems must be designed to prevent direct and/or reflected glare to surrounding areas. This applies particularly to disability and discomfort glare to pedestrian and vehicular movement or at entrances, steps, stairs and pedestrian paths.
- C3.5 Spilt light to surrounding properties and roadways, in particular Joondalup Drive, should be minimised and controlled.
- C3.6 All Carparking areas on private property and open space which may be subject to night time use should be artificially illuminated for public safety. The minimum is 3 lux and maximum is 40 lux. Greater illumination may be required for focal points or hazards such as steps.
- C3.7 Luminaries classified Type 1 under AS 1158.1 (ie those which have a clear or translucent enclosure which does not disperse the outline or diminish the brightness of the lamp), should not be used in carparks or areas immediately adjacent to a roadway and or pedestrian path.
- C3.8 The efficiency of energy consumption should be taken into account in the design of lighting systems.
- C3.9 Colour temperature design for the lighting of public space, other than feature floodlighting, shall be in the white range (mercury vapour, metal halide) in keeping with existing public lighting.



C3 Lighting of buildings and open space

C3 Lighting of Buildings and Open Space



C4 P O L I C I E S

- P4.8 Ensure design inhibits anti-social behaviour at all times.
- P4.8 Provide a safe public space for social activity.

C5 P O L I C I E S

- P4.12 Control elements requiring special location and visual control.

C4

Public Safety and Security

In order to encourage activity throughout the public space of the Western Business District, the maintenance of public safety through the following design considerations is a high priority:

- C4.1 Avoid obscured corners and dead-end alleys.
- C4.2 Do not create space with blank walls which are not overlooked from occupied space.
- C4.3 Avoid landscaping and planting which obscure public areas from general view.
- C4.4 Security and safety lighting must be provided throughout.

- C4.5 Security grilles and grates shall be designed as an integral part of the architecture.
- C4.6 Consideration should be given to appropriate lighting of Carparking areas at night for public safety. Refer C3.6.

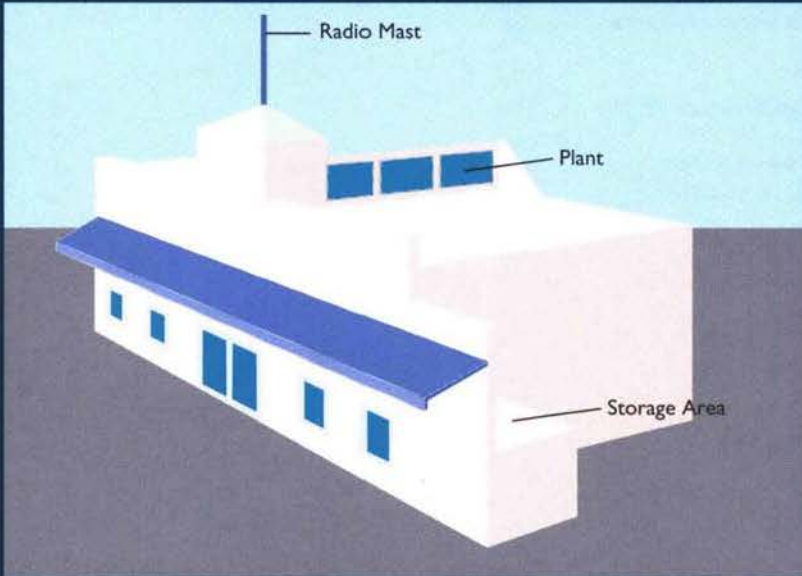
C5

Ancillary Structures

- C5.1 All ancillary structures such as signage, plant rooms, services areas, collection areas, and open storage areas shall be designed as an integral part of the building. Where this is not possible they shall be either concealed or screened from view of the street, and neighbouring properties in a manner to complement the building.



C4 Avoid blank walls, dead-ends and obscured corners. Provide security and safety lighting throughout.



C5.1 All Ancillary Structures shall be designed as an integral part of the building



C6 POLICIES

- P1.5** Ensure landscaping and street furniture contribute to District identity.
- P2.5** Furniture and paving on private land forming a part of open space network to be consistent with public space.
- P1.8** Ensure design inhibits anti-social activity at all hours.

C6

Landscaping and Open Space

- C6.1 In staged development any undeveloped areas of a site should be landscaped to the satisfaction of the Authorities.
- C6.2 Where public footpath is incomplete, paving should be finished to match existing detail and gradient(2%). Refer Levels B2.
- C6.3 Where landscaped public plazas and or courts are provided these should be accessible from public thoroughfares.
- C6.4 Access provision for those with disability and limited mobility shall be provided in accordance with the relevant Australian Standards (AS1428.1)
- C6.5 Where public accessways, plazas and courts are provided within the site, they will not be measured as part of GLA. The design of the public space should meet the following criteria:
 - *Public accessibility will be maintained at all hours.*
 - *The design of the public accessways on private property, which link with the city pedestrian network, should be in keeping with the landscape detail of the public space.*
 - *The space will be illuminated after hours to a level adequate for visibility and public safety.*
- C6.6 Levels should be coordinated where two carpark areas on adjacent properties abut. Refer shared access parking B2.4.
- C6.7 For areas other than those with ground level paving, landscape vegetation is to be provided and shall be 1.0 m minimum in width.

For landscaped areas less than 1.0m in width and adjacent to public footpath, these areas shall be paved out to match existing.

Refer appendices for paving specification.



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C6 Landscaping and Open Space



C7 P O L I C I E S

- PI.3** Control materials forming public space enclosure.
- PI.2** Ensure materials are suited to civic space.
- PI.3** Integrate colours and materials from the landscape.
- PI.1** Encourage use of low energy materials.
- PI.4** Promote use of locally produced materials.

C7

Materials

- C7.1 Materials used on the exterior of the building and in the public realm shall be of a robust nature; durable and resistant to vandalism.
- C7.2 All exposed surfaces to be of appropriately finished materials.
- C7.3 Materials and colour are encouraged to recognise those of the local environment.
- C7.4 Material selection should be made with consideration to the policies in section P8.



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C7 Materials