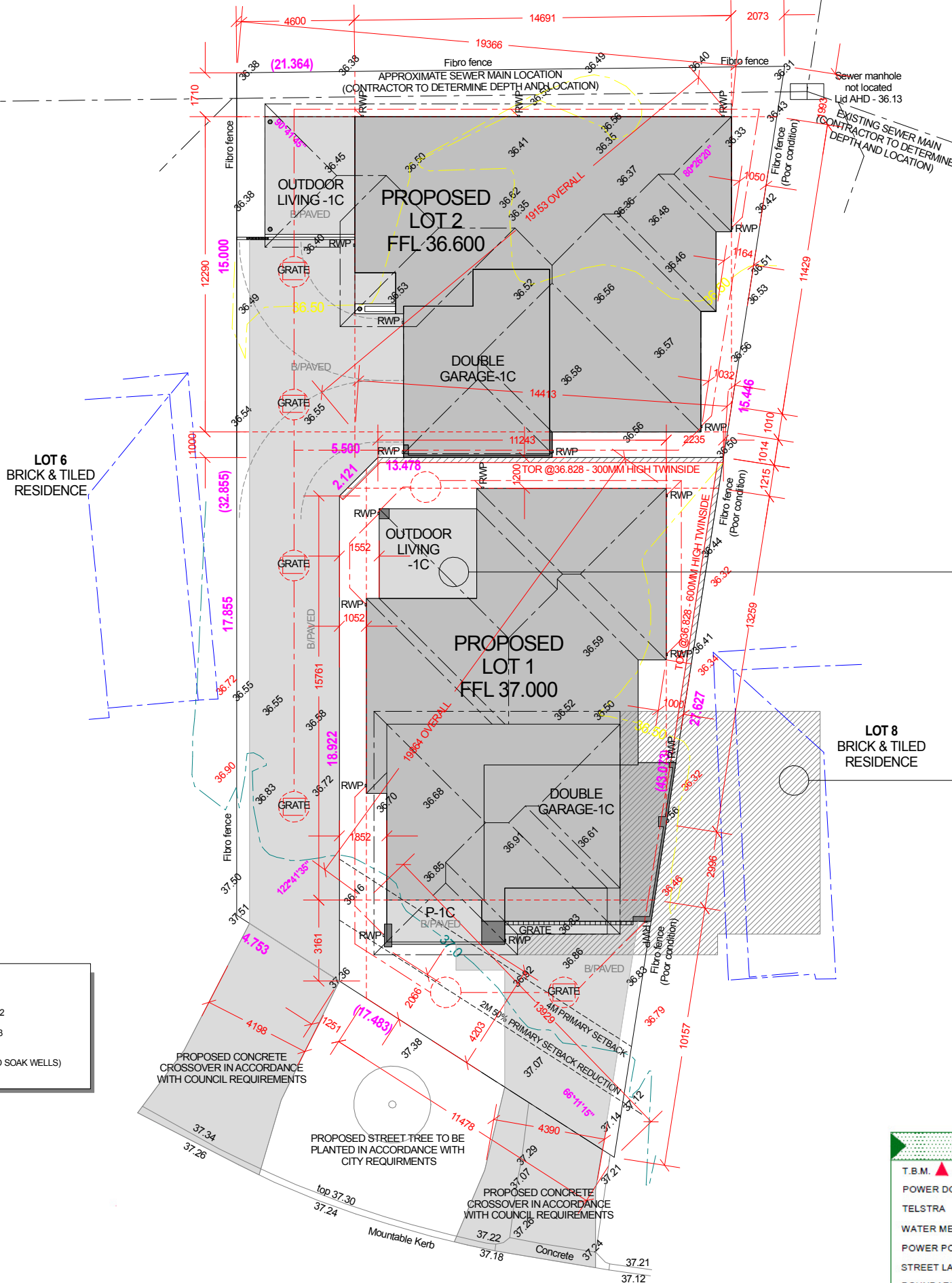


IMPORTANT NOTICE

Features are related to fence lines only. No connection made to boundaries.
REPEG RECOMMENDED

LOT 12
BRICK & TILED
RESIDENCE



LOT 2 OUTDOOR LIVING
REQUIRED OUTDOOR LIVING AREA - 20m²
PROPOSED OUTDOOR LIVING AREA - 29.61m²
PROPOSED UNCOVERED AREA - 13.04m²

LOT 2 AREA
382.75SQM
LOT 2 SAND PAD LEVELS
HOUSE SPL - 36.500
GARAGE SPL - 36.328
ALFRESCO SPL - 36.328

LOT 1 OUTDOOR LIVING
REQUIRED OUTDOOR LIVING AREA - 20m²
PROPOSED OUTDOOR LIVING AREA - 28.32m²
PROPOSED UNCOVERED AREA - 15.02m²

LOT 1 OVERSHADOWING
54.25m² OF OVERSHADOWING TO ADJOINING PROPERTY IN ACCORDANCE WITH STATE PLANNING POLICY 3.1

LOT 1 AREA
312.67SQM
LOT 1 SAND PAD LEVELS
HOUSE SPL - 36.900
GARAGE SPL - 36.828
OUTDOOR LIVING SPL - 36.828
PORTICO SPL - 36.828

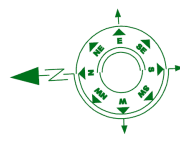
DRAINAGE CALCULATIONS
ROOF AREA - 399.510m²
IMPERMEABLE AREA (PAVED) - 156.940m²
STORAGE VOLUME REQUIRED - 7.400m³
ROOF VOLUME PROVIDED - 9.52m³
(7 X 1200 X 1200 DIA. INTERCONNECTED SOAK WELLS)

LEGEND

T.B.M. ▲	SEWER MANHOLE □	LARGE TREE
POWER DOME ●	SEWER INSPECT	SEWER CON.
TELSTRA TELSTRA	FLOOR LEVEL FL	SMALL TREE
WATER METER ●	DRAIN	TREE STUMP
POWER POLE ●	SOAKWELL	WATER LINE
STREET LAMP ●	HYDRANT	SEWER LINE
BOUNDARY	BUILDING	

SURVEYOR SITE REPORT

ELECTRICITY: ON	GAS: YES
PHONE: YES	WATER: YES
SEWERAGE: YES	2D Line work survey: YES
ROAD: BITUMEN	3D Line work survey: NOT REQUIRED
KERB: (Mountable)	
FOOTPATH: NO	
VEGETATION: ESTABLISHED GARDENS	
SOIL: SAND/GRASS	
VIEWS: ELEVATED	
REPEG: REQUIRED	
AREA: OLD SURVEY AREA	



CITY OF JOONDALUP

SITE PLAN SCALE 1:200 at A3
0 5 10 15 20

NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.

IMPORTANT NOTES:
CHECK CERTIFICATE OF TITLE FOR EASEMENTS, CAVEATS & COVENANTS PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE WORKS LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.

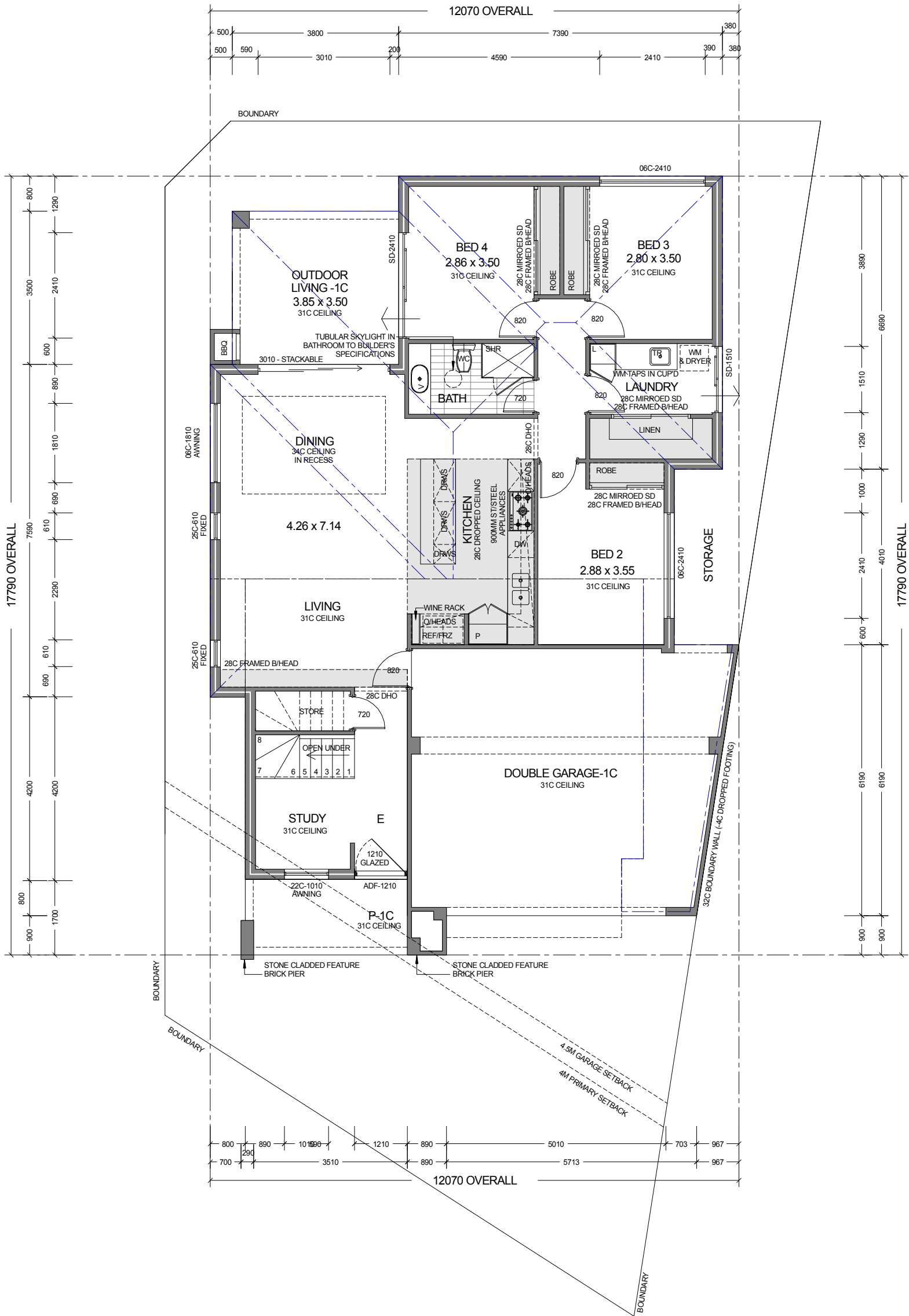
SURVEY ADDRESS :
LOT 7 (#6) Burdett Place, Padbury.

**AUSTRALIAN HEIGHT DATUM (AHD)
DERIVED FROM SEWER MANHOLE - L7327 R.L. - 36.13**

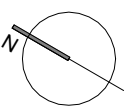
CLIENT / S: DANDA TBM HEIGHT AHD 37.13
PLAN / DIAGRAM No: P11814 Job No: ZS0861



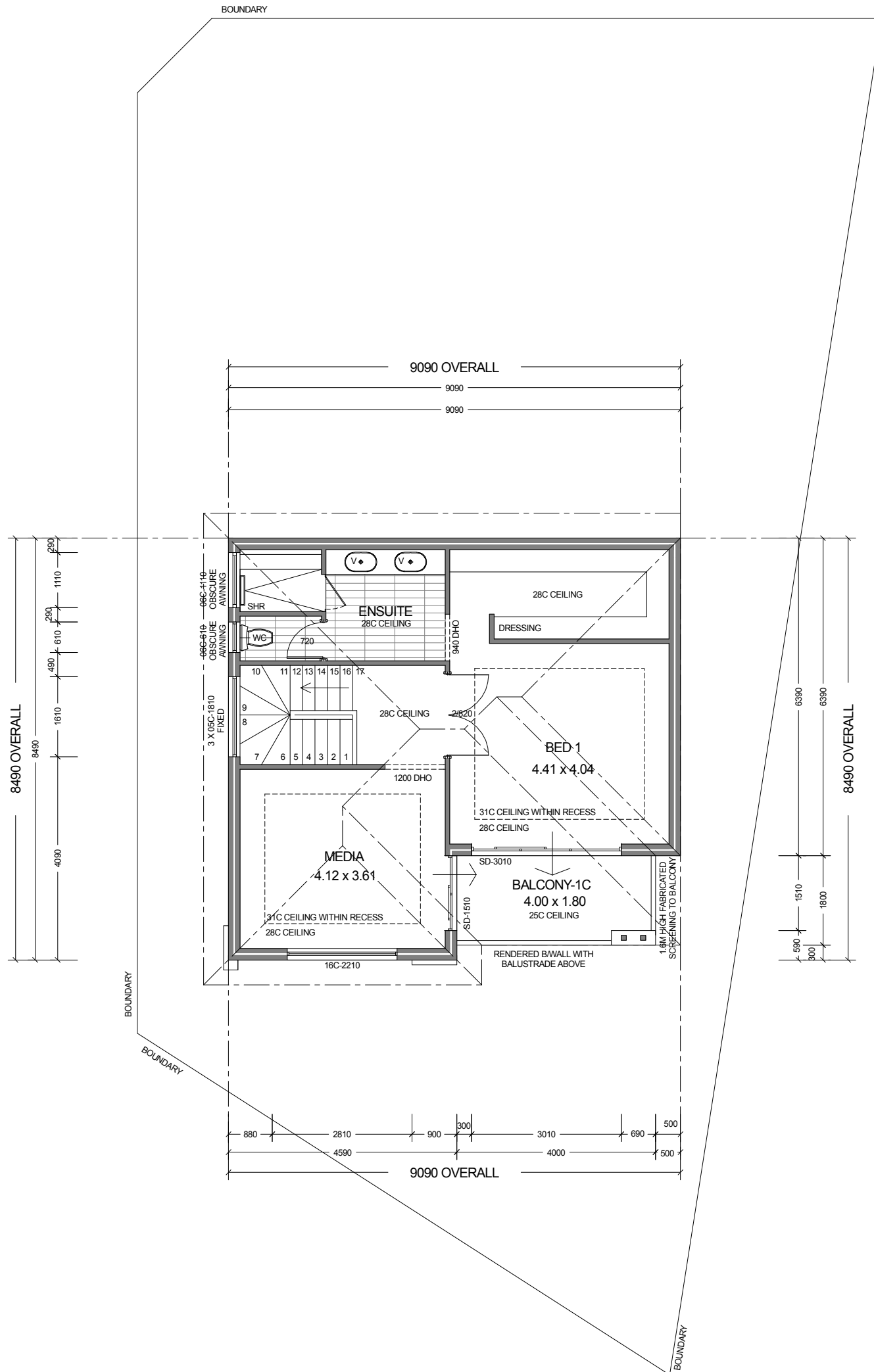
JOB NO. 1159	PROPOSED GROUPED DWELLING DEVELOPMENT	AT : #6 BURDETT PLACE, PADBURY	SCALE 1:200@A3
PROPOSED SITE PLAN DWG 1 OF 5	SITE COVERAGE NOTE: LOT AREA - 695.370m ² LOT COVERAGE - 335.170m ² OPEN SPACE REQUIRED - 45% OPEN SPACE PROVIDED - 51.80%	PLUMBER DRAINER NOTE: SOIL EXCAVATED NEAR SEWER LINES SHALL BE COMPACTED TO ORIGINAL LEVELS BACK INTO TRENCH	
A.M. 29-08-18 DESIGN CONCEPT			NORTH POINT
A.M. 26-09-18 DEVELOPMENT APPLICATION			
A.M. 09-01-19 AMENDED DA PLANS			



JOB NO. 1159		PROPOSED LOT 1 DOUBLE STOREY			AT : #6 BURDETT PLACE, PADBURY		SCALE 1:100 @A3
PROPOSED GROUND FLOOR PLAN		DWG 1 OF 5	LOCATION	AREA	PERIMETER	NOTES:	
A.M.	29-08-18	DESIGN CONCEPT	GROUND FLOOR	123.625m ²	55.481m	- DESIGN CONCEPT DRAWINGS FOR DEVELOPMENT APPLICATION PURPOSES ONLY	
A.M.	26-09-18	DEVELOPMENT APPLICATION	GARAGE/ STORE	42.841m ²		- DRAWING NOT TO BE USED FOR CONSTRUCTION	
			OUTDOOR LIVING	13.476m ²			
			PORCH	7.185m ²			
A.M.	09-01-19	AMENDED DA	FIRST FLOOR	67.643m ²	35.141m		
			BALCONY	7.200m ²			



NORTH POINT



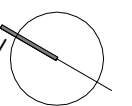
MOBILE: 0409 271 839
EMAIL: ASHLEIGH@GRNRESIDENTIAL.COM.AU

JOB NO. 1159 **PROPOSED LOT 1 DOUBLE STOREY** AT : #6 BURDETT PLACE, PADBURY

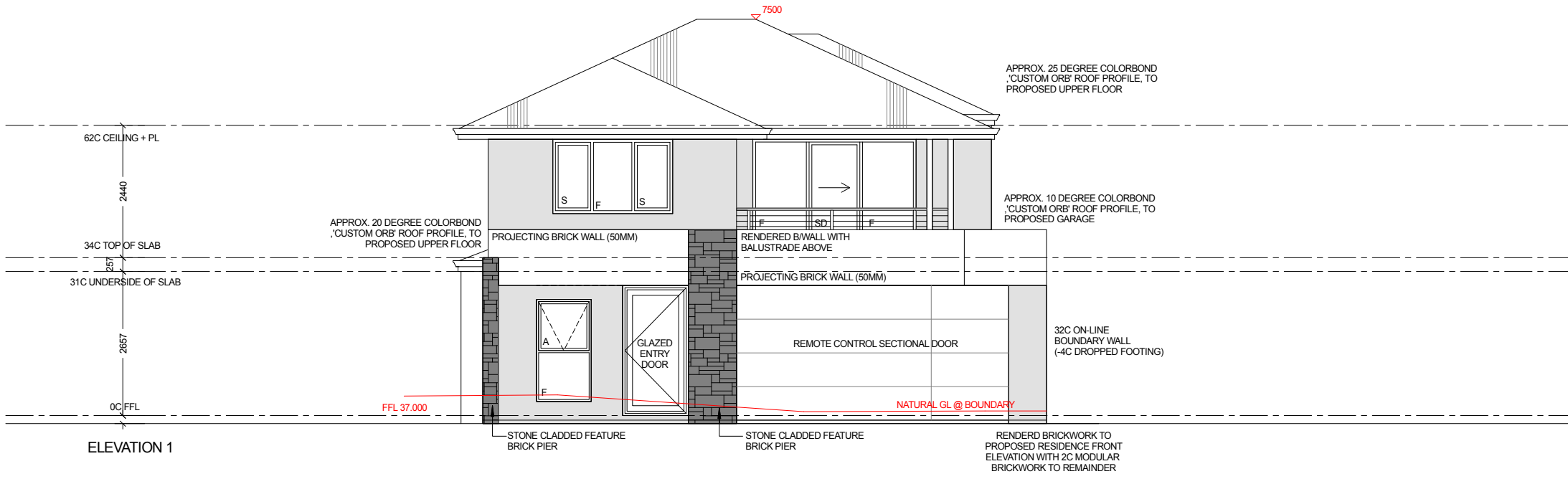
SCALE 1:100@A3

PROPOSED FIRST FLOOR PLAN		DWG 1 OF 5	LOCATION	AREA	PERIMETER
A.M.	29-08-18	DESIGN CONCEPT	GROUND FLOOR	123.625m ²	55.481m
A.M.	26-09-18	DEVELOPMENT APPLICATION	GARAGE/ STORE	42.841m ²	
A.M.	09-01-19	AMENDED DA	OUTDOOR LIVING	13.476m ²	
			PORCH	7.185m ²	
			FIRST FLOOR	67.643m ²	35.141m
			BALCONY	7.200m ²	

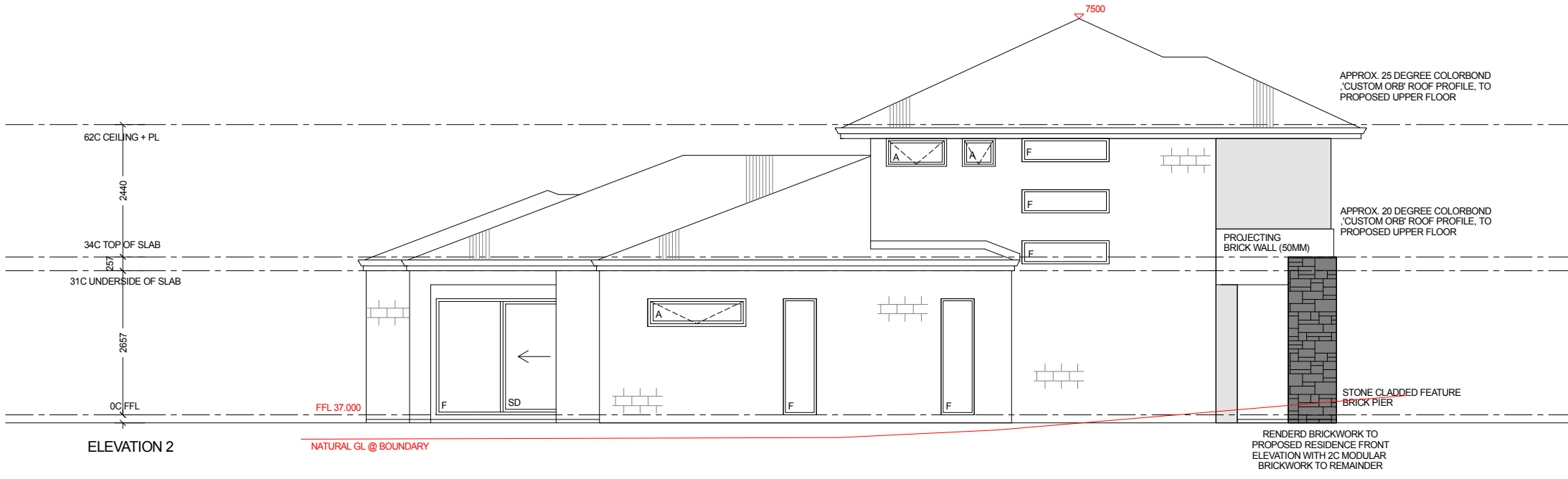
NOTES:
- DESIGN CONCEPT DRAWINGS FOR DEVELOPMENT APPLICATION PURPOSES ONLY
- DRAWING NOT TO BE USED FOR CONSTRUCTION



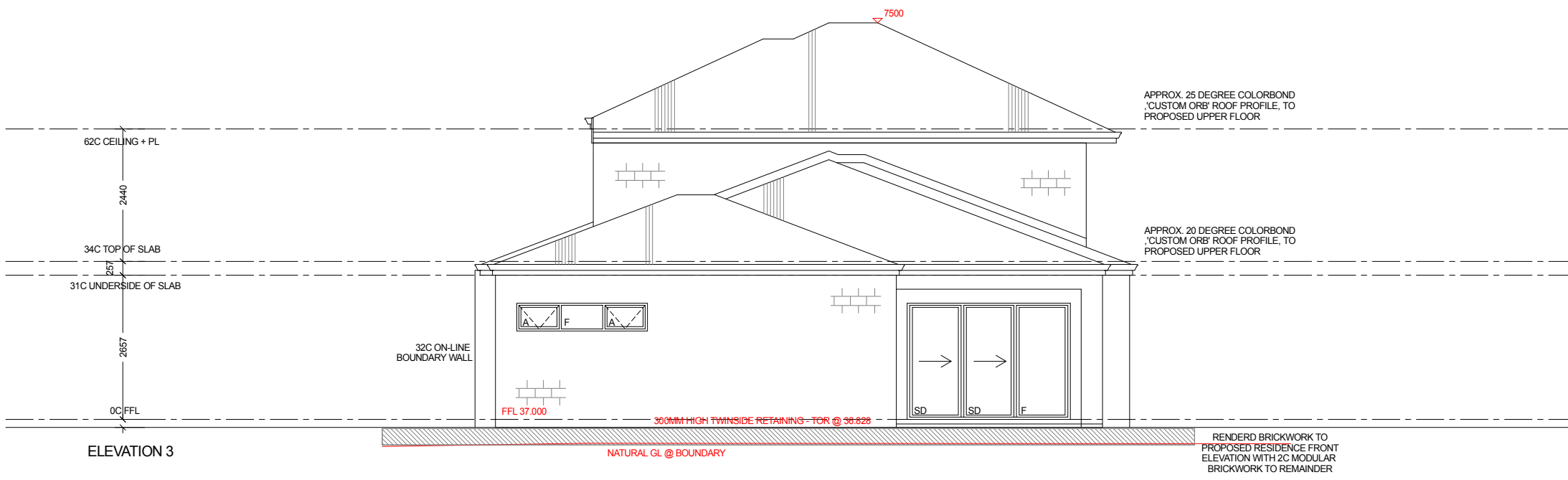
NORTH POINT



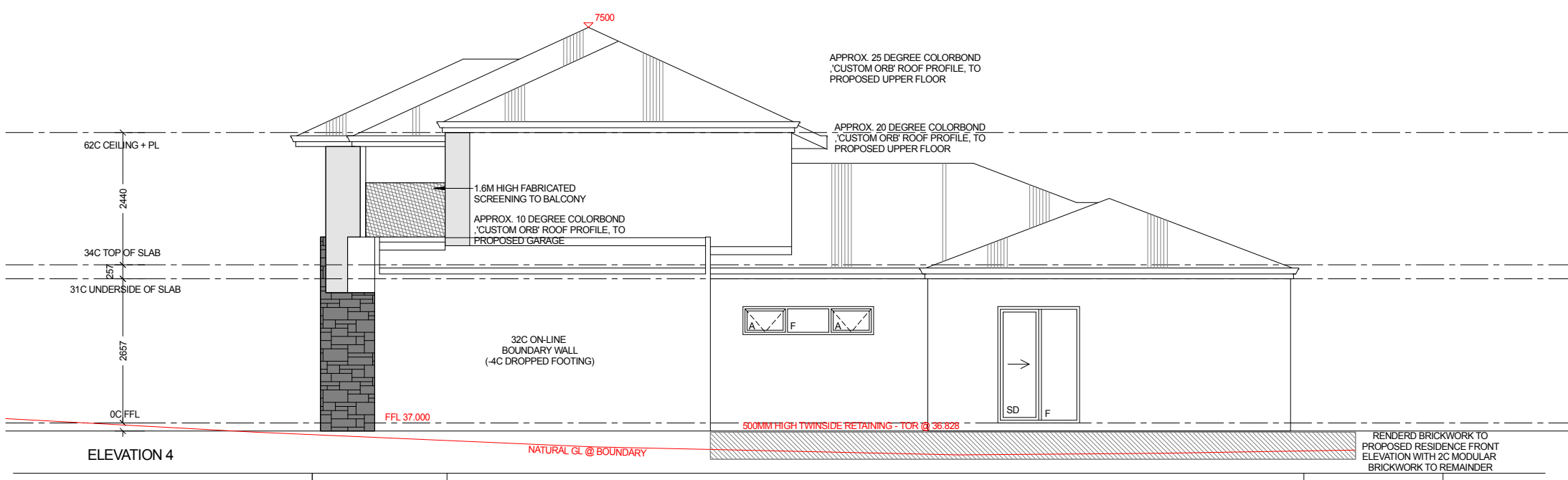
ELEVATION 1



ELEVATION 2



ELEVATION 3



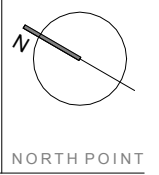
ELEVATION 4

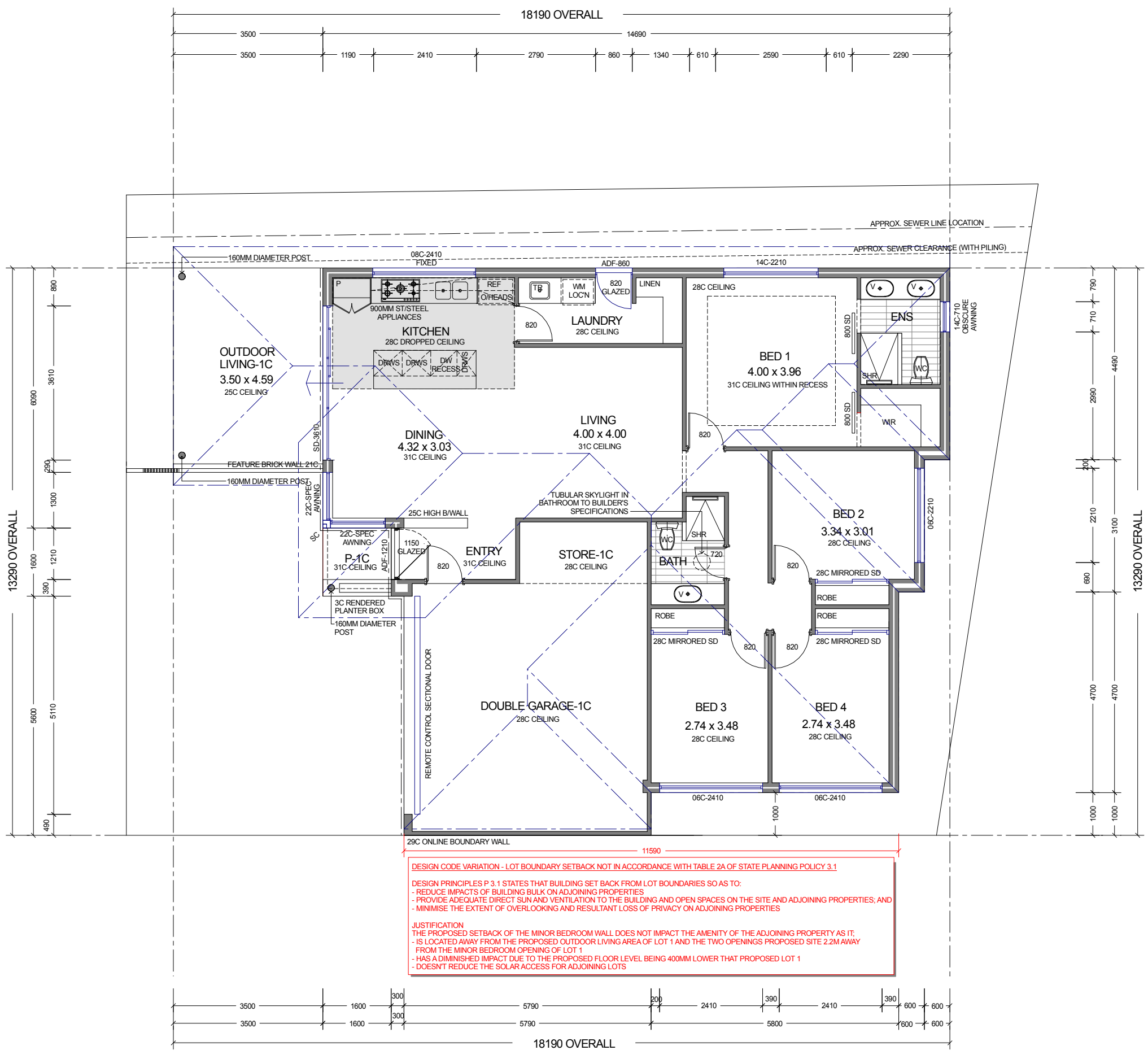


JOB NO. 1159 **PROPOSED LOT 1 DOUBLE STOREY** AT : #6 BURDETT PLACE, PADBURY SCALE 1:100 @A3

PROPOSED ELEVATIONS	DWG 1 OF 5	LOCATION	AREA	PERIMETER
A.M. 29-08-18	DESIGN CONCEPT	GROUND FLOOR	123.625m ²	55.481m
A.M. 26-09-18	DEVELOPMENT APPLICATION	GARAGE/ STORE	42.841m ²	
		OUTDOOR LIVING	13.476m ²	
		PORCH	7.185m ²	
A.M. 09-01-19	AMENDED DA	FIRST FLOOR	67.643m ²	35.141m
		BALCONY	7.200m ²	

NOTES:
 - DESIGN CONCEPT DRAWINGS FOR DEVELOPMENT APPLICATION PURPOSES ONLY
 - DRAWING NOT TO BE USED FOR CONSTRUCTION



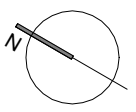


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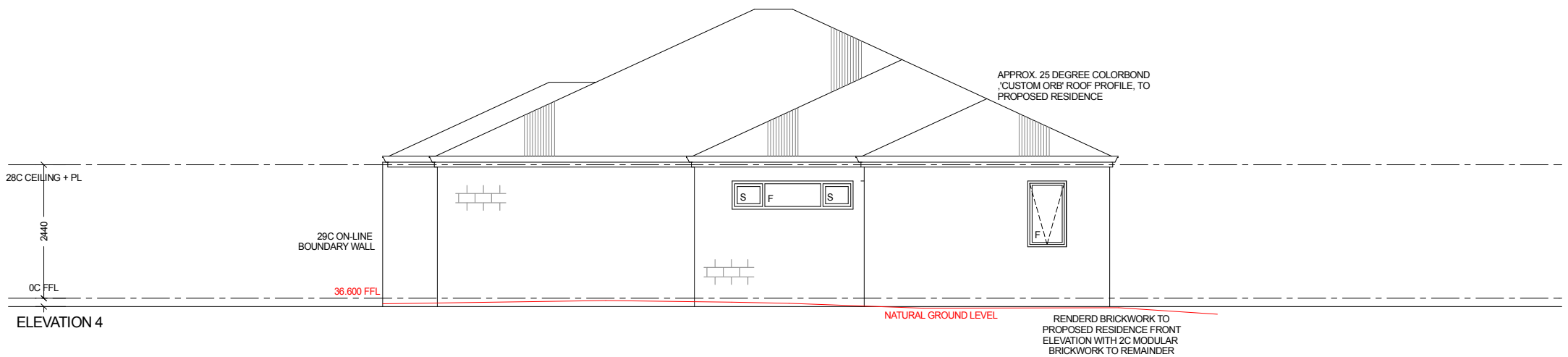
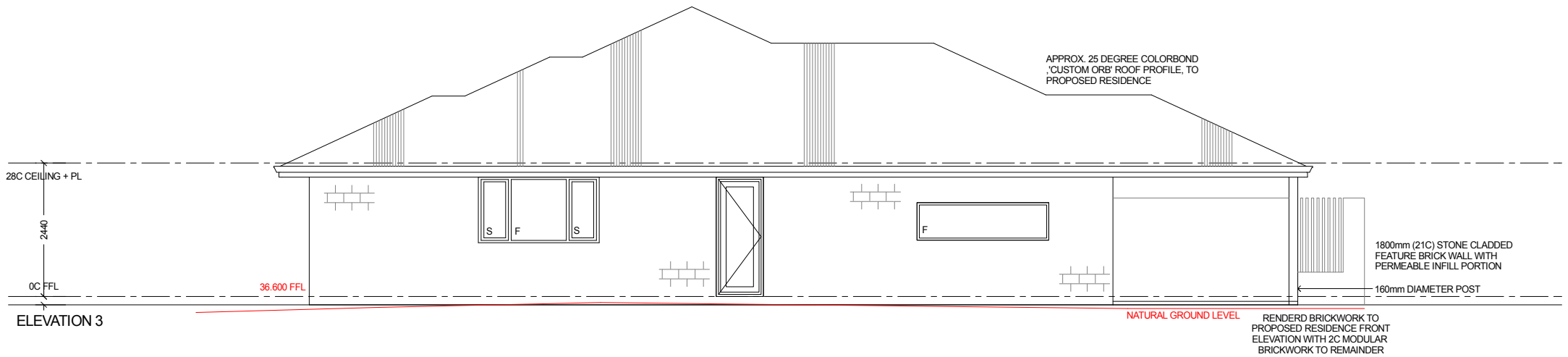
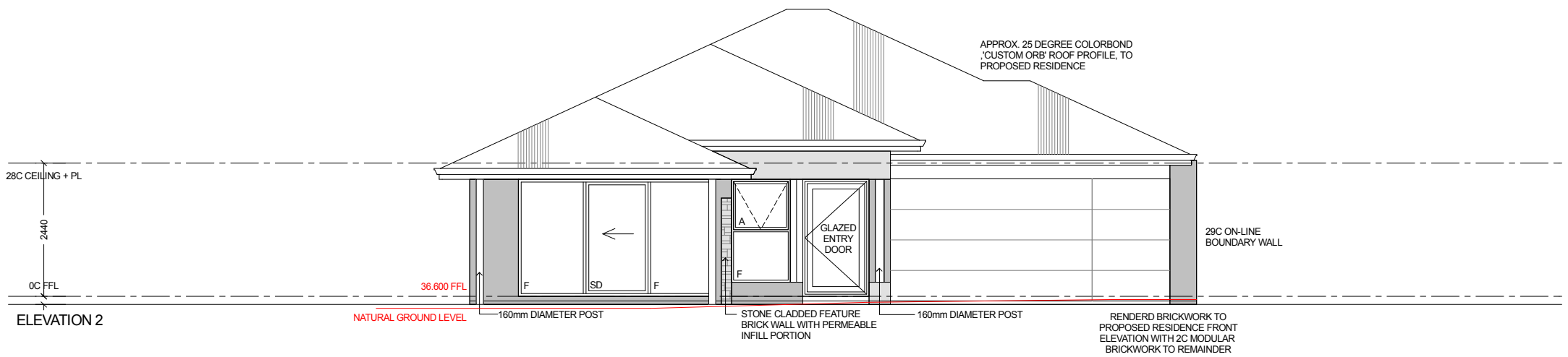
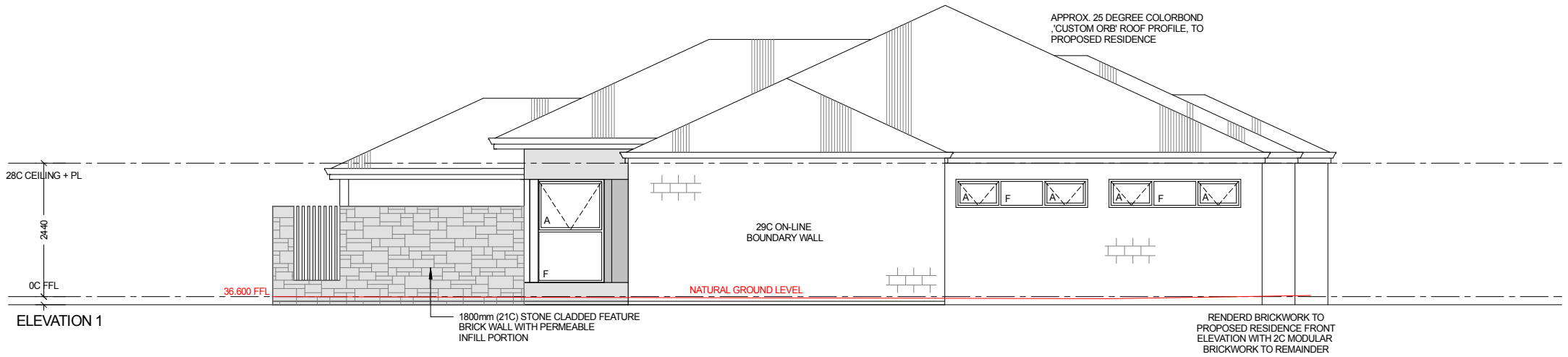
JOB NO. 1159 **PROPOSED LOT 2 SINGLE STOREY** AT : #6 BURDETT PLACE, PADBURY SCALE 1:100@A3

PROPOSED FLOOR PLAN			LOCATION	AREA	PERIMETER
A.M.	22-08-18	DESIGN CONCEPT	GROUND FLOOR	129.505m ²	57.920m
A.M.	26-09-18	DEVELOPMENT APPLICATION	DOUBLE GARAGE	38.026m ²	
			OUTDOOR LIVING	16.065m ²	
			PORTICO	2.560m ²	
			GROUND ROOF	198.849m ²	63.660m

NOTES:
 - DESIGN CONCEPT DRAWINGS FOR DEVELOPMENT APPLICATION PURPOSES ONLY
 - DRAWING NOT TO BE USED FOR CONSTRUCTION

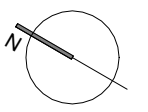


NORTH POINT



MOBILE: 0409 271 839
EMAIL: ASHLEIGH@GRNRESIDENTIAL.COM.AU

JOB NO. 1159		PROPOSED LOT 2 SINGLE STOREY			AT : #6 BURDETT PLACE, PADBURY		SCALE 1:100@A3
PROPOSED ELEVATIONS			DWG 2 OF 3	LOCATION	AREA	PERIMETER	NOTES: - DESIGN CONCEPT DRAWINGS FOR DEVELOPMENT APPLICATION PURPOSES ONLY - DRAWING NOT TO BE USED FOR CONSTRUCTION
A.M.	22-08-18	DESIGN CONCEPT	GROUND FLOOR	129.505m ²	57.920m		
A.M.	26-09-18	DEVELOPMENT APPLICATION	DOUBLE GARAGE	38.026m ²			
			OUTDOOR LIVING	16.065m ²			
			PORTICO	2.560m ²			
			GROUND ROOF	198.849m ²	63.660m		



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