

Front and secondary street fences

What is a front fence?

A front fence is a wall, screen or barrier that abuts a street boundary or is located in the front setback area of a residential property.

What are the requirements?

The maximum height of a solid front fence is 1.2 metres as measured from the midpoint of the verge. Structural pillars are permitted to a height of 1.8 metres. These heights include the height of any retaining wall proposed or previously approved.

Solid front fencing within 1.5 metres of where the driveway meets front boundary can be a maximum height of 750mm. A pillar can be located within 1.5 metres of where the driveway meets the front boundary provided that it is to a maximum height of 1.8 metres and maximum dimension of 350mm x 350mm.

A front fence including all footings is to be located wholly within the lot boundaries. Encroachments into the road reserve (i.e. verge) are not permitted.

I want to build a front fence higher than 1.2 metres. Are there any additional requirements?

Fencing above 1.2 metres must be 'visually permeable'. The Residential Design Codes define this as:

- Continuous vertical or horizontal gaps of 50mm or greater width occupying not less than one third of the total surface area;
- Continuous vertical or horizontal gaps less than 50mm width, occupying at least one half of the total surface area in aggregate; or
- A surface offering equal or lesser obstruction to view.

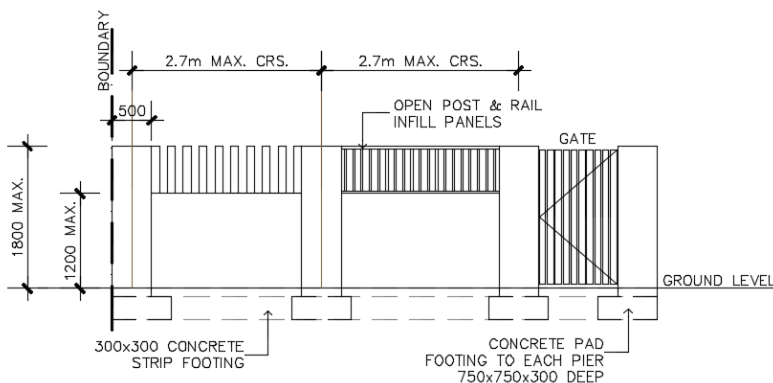


Figure 1: Typical front fence

Do I need to ensure that vehicle sightlines are maintained?

Yes. A pillar to a height of 1.8 metres with a maximum dimension of 350mm x 350mm may be permitted within 1.5 metres of where a driveway meets the front property boundary provided the remainder of the wall within this area is visually permeable (as defined under the R-Codes) above 750mm to provide clear sightlines.

Front fences must be truncated or be no higher than 750mm within 1.5 metres of where fences and walls adjoin driveways, where a driveway meets a public street or where two streets intersect (eg. corner lot) [see Figure 2 and 3]

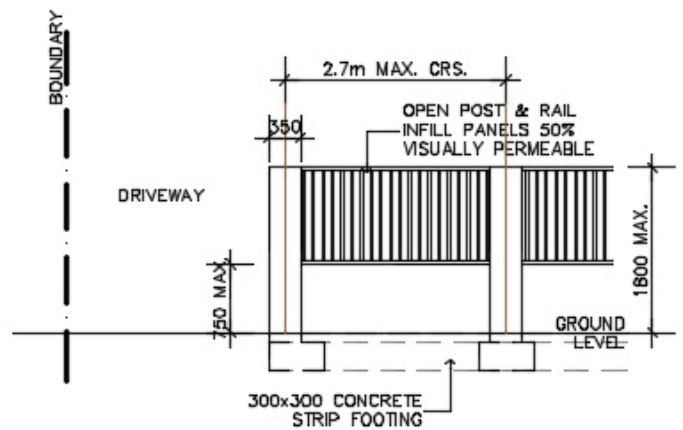


Figure 2: Typical front fence within truncation

What is a secondary street fence?

A secondary street fence is a wall, screen or barrier that abuts a street boundary that is not the primary frontage but which intersects with or adjoins that road, a right-of-way or battleaxe leg.

What are the requirements for a secondary street fence?

Secondary street fences shall be visually permeable above 1.2 metres from natural ground level for 50% of the length of the street boundary, right of way or access leg and shall allow surveillance from an outdoor living area and/or major opening (window to habitable room).

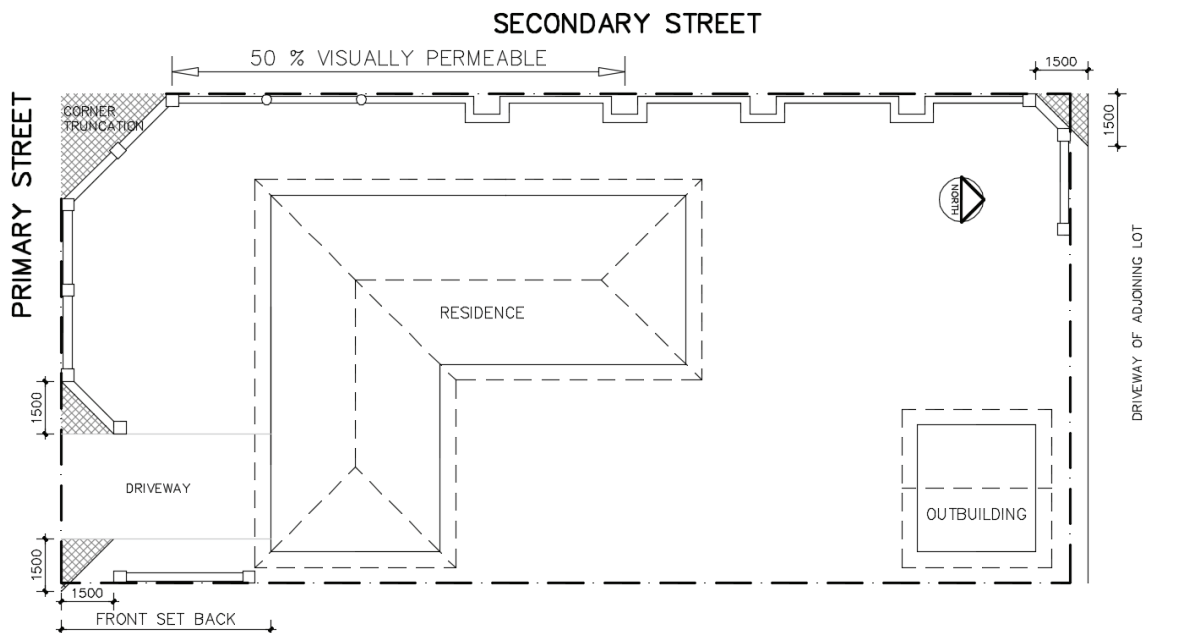


Figure 3: Typical secondary street fence

Will having a swimming pool in the front setback affect the front fence?

Yes. In addition to the minimum planning and building requirements, you will need to comply with AS1926.1 Swimming pool safety.

Will I need development (planning) approval?

If a front or secondary fence does not meet the above requirements (excluding requirements for swimming pools), or any other requirements of the R-Codes, City's Residential Development Local Planning Policy, and/or development provisions of an applicable structure plan, a development (planning) application can be lodged to request the City exercises its discretion.

How do I make an application for development approval?

Application forms, development application checklists and information on lodging an application are available on the City's website at joondalup.wa.gov.au. Generally, the following information will be required as part of any development (planning) application for fencing on a residential site:

- Application for development approval form;
- Completed checklist – Development (Planning) Application Checklist – Single Houses or Grouped Dwellings;
- Development application fee in accordance with the Planning Services Schedule of Fees;
- Site plan and building elevations. Refer to the checklist for information required on the plans; and
- A cover letter providing details of the proposed development and written justification addressing any aspects of the development that require the City to undertake a performance assessment against the R-Codes, City policy or structure plan.

It is also recommended that comments and signed plans are obtained from any adjoining property owners and occupiers that may be impacted by the development.

What structural requirements should I consider?

The design of the fence shall meet the requirements of a practising structural engineer.

As a minimum requirement a L10 galvanised rod must be located in the centre of each of the proposed masonry pier constructions. In order to provide the required lateral stability, the galvanised rod must be cranked (bent at 90) 200mm into the mass concrete footing and extend to the full height of each pier.

Will I need a building permit?

A building permit is required for a fence that is masonry and more than 750mm in height and/or if any part of the fence is more than 0.5m in height and will be used as a retaining wall.

A building permit is also required if the fence is constructed of masonry and more than 750mm in height, and if material other than masonry is used and exceeds 1.8 metres in height.

How do I make an application for building permit?

Please refer to the City's Building Application Checklists for information required to be provided with a building permit application, available at joondalup.wa.gov.au.

Building permit application forms (certified or uncertified) are available from the Building Commission's website buildingcommission.wa.gov.au

Certified building permit applications must be accompanied with a Certificate of Design Compliance.

Please refer to the City's Uncertified Building Application Checklist – Fences including front, dividing, boundary and privacy screens (Class 10b) for information required to be provided with the building permit application (BA2 form).

Fees for a building permit application are in accordance with the City's Schedule of Fees.

TYPICAL PIER DETAIL

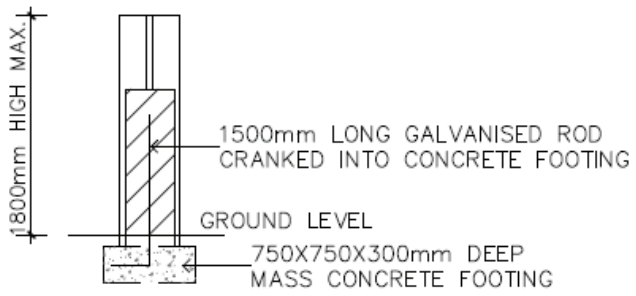


Figure 4: Typical pier detail

Further information

For further information please contact the City's Building Services on **9400 4961** or Planning Services on **9400 4100** or email info@joondalup.wa.gov.au