

PLANNING AND DEVELOPMENT ACT 2005

RESOLUTION TO PREPARE AMENDMENT TO LOCAL PLANNING SCHEME

CITY OF JOONDALUP

LOCAL PLANNING SCHEME NO. 3 – AMENDMENT NO. 5

Resolved that the local government pursuant to section 75 of the *Planning and Development Act 2005*, amend the above Local Planning Scheme by:

- 1 Deleting clause 26 (5) and replacing with:

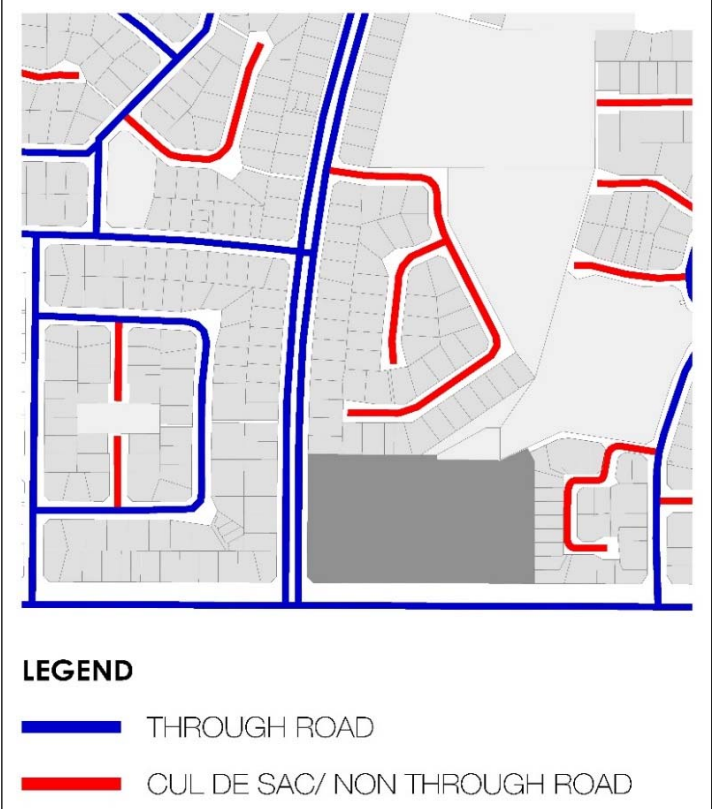
The R-Codes Volume 1 and 2 are modified in accordance with Schedule B - Modification of the R-Codes for Housing Opportunity Areas
- 2 Inserting Schedule B – Modification of the R-Codes for Housing Opportunity Areas after Schedule A – Supplemental Provisions to the Deemed Provisions

SCHEDULE B – MODIFICATION OF THE R-CODES FOR HOUSING OPPORUTNITY AREAS

The following provisions apply to Housing Opportunity Areas 1 – 10, shown on the Scheme Map with a dual density code.

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 |
|--|--|--|
| 1. Urban Design — Public Domain Interface | | |
| All development | <ol style="list-style-type: none"> 1.1. Developments on corner lots shall address both the primary and secondary streets and/or public realm and include strong architectural expression. 1.2. Buildings adjacent to pedestrian access ways shall achieve appropriate surveillance of these spaces. 1.3. Blank walls, vehicle access and building services (e.g. bin store, booster hydrant) shall not exceed 20% of the total lot frontage to the public realm, except for development with two street frontages, where no blank walls will be permitted to either street frontage. 1.4. For single and grouped dwelling development, public domain interface objectives shall be consistent with SPP7.3 — Volume 2, Element Objectives and the following acceptable outcomes: <ol style="list-style-type: none"> a. A3.6.1 b. A3.6.3 c. A3.6.4 | <p>Augment Vol 1, CI 5.2.3 (include as C3.4 - C3.7)</p> <p>Augment Vol 2, EI 3.6 (include 1.1, 1.2 and 1.3 as A3.6.10 - A3.6.12)</p> |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 |
|---|--|---|
| | <ul style="list-style-type: none"> d. A3.6.7 e. A3.6.8 | |
| 2. Urban Design — Lot Subdivision | | |
| All development | <p>2.1. A minimum lot frontage of 10.0 metres is required (measured at the primary street setback line), except for:</p> <ul style="list-style-type: none"> a. Attached dwellings, development on laneways and rear accessway building typologies on R20/R25 and R20/R30 lots, where a minimum lot frontage of 7.5 metres is permitted. b. Attached dwellings, development on laneways and rear accessway building typologies on R20/R40 and R20/R60 lots, where a minimum lot frontage of 6.0 metres is permitted. | <p>Augment Vol 1, CI 5.1.1 (include as C1.5)</p> <p>Augment Vol 2, EI 2.3 (include as A3.2.0)</p> |
| 3. Urban Design — Intensification Within Cul-de-sacs | | |
| Multiple dwelling | <p>3.1. Notwithstanding the provision of SPP7.3 — Volume 2, where a site has a residential density code of R20/R40 or greater and has a primary street frontage to a cul-de-sac, the development of multiple dwellings on that site:</p> <ul style="list-style-type: none"> a. Shall comply with the average site area per dwelling requirement specified for a single house or grouped dwelling for the applicable density coding as specified by SPP7.3 — Volume 1; and b. Shall not be subject to maximum plot ratio requirements specified by SPP7.3 — Volume 2. | <p>Augment Vol 2, EI 2.5 (include as A2.5.2)</p> |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 | | | | | | | | |
|---|---|---|-------------------|---------|---------|-------------------|-------------------|-------------------|-------------------|--|
| | <p>Note:</p> <p><i>Definition for a cul-de-sac/non-through road and through-road is illustrated in the figure below (indicative scenario only):</i></p>  <p>LEGEND</p> <p>— THROUGH ROAD</p> <p>— CUL DE SAC/ NON THROUGH ROAD</p> | | | | | | | | | |
| 4. Urban Design – Walkable Catchment | | | | | | | | | | |
| Multiple dwelling | <p>4.1. Multiple dwellings shall comply with the average site area per dwelling requirement specified for a single house or grouped dwelling for the applicable density coding under SPP7.3 – Volume 1 where:</p> <ol style="list-style-type: none"> the site has a residential density code of R20/40; and the site is located outside an 800 metre walkable catchment from any existing or proposed strategic metropolitan, secondary, district or specialised activity centre or railway station on a high frequency rail route as determined by the City. | Augment Vol 2, EI 2.5 (include as A2.5.3) | | | | | | | | |
| 5. Building Height | | | | | | | | | | |
| All development | <table border="1" data-bbox="437 1839 1152 1995"> <thead> <tr> <th>R20/R25</th> <th>R20/R30</th> <th>R20/R40</th> <th>R20/R60</th> </tr> </thead> <tbody> <tr> <td>Maximum 2 storeys</td> <td>Maximum 2 storeys</td> <td>Maximum 2 storeys</td> <td>Maximum 3 storeys</td> </tr> </tbody> </table> | R20/R25 | R20/R30 | R20/R40 | R20/R60 | Maximum 2 storeys | Maximum 2 storeys | Maximum 2 storeys | Maximum 3 storeys | <p>Replace Vol 1, CI 5.1.6 C6</p> <p>Replace Vol 2, EI 2.2, A2.2.1</p> |
| R20/R25 | R20/R30 | R20/R40 | R20/R60 | | | | | | | |
| Maximum 2 storeys | Maximum 2 storeys | Maximum 2 storeys | Maximum 3 storeys | | | | | | | |

| Form of Development | Development Standard | | | | Reference to State Planning Policy 7.3 | | | | | | | | | | | | | | | |
|--|--|--|--|---|--|---------|---------|---------|---------|--------------|--|---|--|-----------------------------|---------------|---|--|--|---|--|
| | <p>Note:</p> <p>Refer Table 2.2, Figure 2.2a, Figure 2.2b of SPP7.3 — Volume 2 for interpretation of indicative overall height in metres.</p> | | | | | | | | | | | | | | | | | | | |
| 6. Street Setbacks | | | | | | | | | | | | | | | | | | | | |
| All development | <table border="1"> <thead> <tr> <th data-bbox="432 580 612 645">R20/R25</th> <th data-bbox="612 580 793 645">R20/R30</th> <th data-bbox="793 580 970 645">R20/R40</th> <th data-bbox="970 580 1145 645">R20/R60</th> </tr> </thead> <tbody> <tr> <td data-bbox="432 645 612 943">SPP7.3</td> <td data-bbox="612 645 793 943">SPP7.3</td> <td data-bbox="793 645 970 943"> Minimum 4.0 metres (primary street) Minimum 1.5 metres (secondary street) </td> <td data-bbox="970 645 1145 943"> Minimum 2.0 metres (primary and secondary streets) </td> </tr> </tbody> </table> <p>Note:</p> <p>Refer Figure Series 2 of SPP7.3 — Volume 1 to determine average primary street setbacks for R20/R25 and R20/R30.</p> | | | | R20/R25 | R20/R30 | R20/R40 | R20/R60 | SPP7.3 | SPP7.3 | Minimum 4.0 metres (primary street) Minimum 1.5 metres (secondary street) | Minimum 2.0 metres (primary and secondary streets) | Amend Vol 1, Cl 5.1.2, C2.1 to C2.3 Amend Vol 2, El 2.3, A2.3.1 | | | | | | | |
| R20/R25 | R20/R30 | R20/R40 | R20/R60 | | | | | | | | | | | | | | | | | |
| SPP7.3 | SPP7.3 | Minimum 4.0 metres (primary street) Minimum 1.5 metres (secondary street) | Minimum 2.0 metres (primary and secondary streets) | | | | | | | | | | | | | | | | | |
| 7. Side and Rear Setbacks — Side Setbacks | | | | | | | | | | | | | | | | | | | | |
| All development | <p>7.1. Attached dwellings:</p> <table border="1"> <thead> <tr> <th data-bbox="432 1211 576 1274"></th> <th data-bbox="576 1211 724 1274">R20/R25</th> <th data-bbox="724 1211 873 1274">R20/R30</th> <th data-bbox="873 1211 1021 1274">R20/R40</th> <th data-bbox="1021 1211 1169 1274">R20/R60</th> </tr> </thead> <tbody> <tr> <td data-bbox="432 1274 576 1507">Side setback</td> <td data-bbox="576 1274 724 1507">SPP7.3</td> <td data-bbox="724 1274 873 1507"> 1.5 metres ground 1.5 metres upper to one boundary </td> <td data-bbox="873 1274 1021 1507"> 1.5 metres ground 1.5 metres upper to one boundary </td> <td data-bbox="1021 1274 1169 1507"> Nil ground Nil upper </td> </tr> <tr> <td data-bbox="432 1507 576 2031">Boundary wall</td> <td data-bbox="576 1507 724 2031"> Buildings built up to boundary not permitted Garages built up to a boundary to maximum 7.0 metres length permitted </td> <td data-bbox="724 1507 873 2031"> Nil ground Nil upper to second boundary Dwellings built up to one boundary permitted Garages built up to boundary to maximum 7.0 metres </td> <td data-bbox="873 1507 1021 2031"> Nil ground Nil upper to second boundary Dwellings built up to one boundary permitted Garages built up to boundary to maximum 7.0 metres </td> <td data-bbox="1021 1507 1169 2031"> Buildings built up to both boundaries permitted Garages built up to a boundary maximum 7.0 metres length permitted </td> </tr> </tbody> </table> | | | | | R20/R25 | R20/R30 | R20/R40 | R20/R60 | Side setback | SPP7.3 | 1.5 metres ground 1.5 metres upper to one boundary | 1.5 metres ground 1.5 metres upper to one boundary | Nil ground Nil upper | Boundary wall | Buildings built up to boundary not permitted Garages built up to a boundary to maximum 7.0 metres length permitted | Nil ground Nil upper to second boundary Dwellings built up to one boundary permitted Garages built up to boundary to maximum 7.0 metres | Nil ground Nil upper to second boundary Dwellings built up to one boundary permitted Garages built up to boundary to maximum 7.0 metres | Buildings built up to both boundaries permitted Garages built up to a boundary maximum 7.0 metres length permitted | Amend Vol 1, Cl 5.1.3, C3.1i Amend Vol 1, Cl 5.1.3, C3.2ii, iii |
| | R20/R25 | R20/R30 | R20/R40 | R20/R60 | | | | | | | | | | | | | | | | |
| Side setback | SPP7.3 | 1.5 metres ground 1.5 metres upper to one boundary | 1.5 metres ground 1.5 metres upper to one boundary | Nil ground Nil upper | | | | | | | | | | | | | | | | |
| Boundary wall | Buildings built up to boundary not permitted Garages built up to a boundary to maximum 7.0 metres length permitted | Nil ground Nil upper to second boundary Dwellings built up to one boundary permitted Garages built up to boundary to maximum 7.0 metres | Nil ground Nil upper to second boundary Dwellings built up to one boundary permitted Garages built up to boundary to maximum 7.0 metres | Buildings built up to both boundaries permitted Garages built up to a boundary maximum 7.0 metres length permitted | | | | | | | | | | | | | | | | |

| Form of Development | Development Standard | | | | | Reference to State Planning Policy 7.3 |
|--|---|---|--|--|----------------|--|
| | | | length permitted | length permitted | | |
| | 7.2. All other dwellings: | | | | | |
| | | R20/R25 | R20/R30 | R20/R40 | R20/R60 | |
| Side setback | SPP7.3 | SPP7.3 | SPP7.3 | SPP7.3 | SPP7.3 | |
| Boundary wall | Buildings built up to boundary not permitted | Dwellings built up to boundary not permitted Garages built up to a boundary to maximum 7.0 metres length permitted | Permitted for ground floor only to maximum 50% of one lot boundary | Permitted for ground floor only to maximum 50% of one lot boundary | | |
| | <p>Notes:</p> <p>Refer Tables 2a, 2b and Figure Series 3, 4 of SPP7.3 — Volume 1 for calculation of side setback requirements at R20/R25 and R20/R30.</p> <p>Refer Figure A7.1 of SPP7.3 — Volume 2 for calculation of side setback requirements at R20/40 and R20/60 and rear setback requirements at all density codes.</p> <p>Where permitted, boundary walls are for single storey height only.</p> <p>Greater setbacks may be required to achieve other Elements.</p> | | | | | |
| 8. Side and Rear Setbacks — Rear Setbacks | | | | | | |
| All development | | R20/R25 | R20/R30 | R20/R40 | R20/R60 | Amend Vol 1, Cl 5.1.3, C3.1i Amend Vol 1, Cl 5.1.3, C3.2ii, iii Amend Vol 2, El 2.4, A2.4.1a |
| | Ground Floor | 3.0 metres | 3.0 metres | 2.0 metres | 2.0 metres | |
| | Upper Floor/s | 6.0 metres | 6.0 metres | 3.0 metres | 3.0 metres | |
| | <p>Notes:</p> <p>Refer Figure A7.1 of SPP7.3 — Volume 2 for calculation of side setback requirements at R20/40 and R20/60 and rear setback requirements at all density codes.</p> | | | | | |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 |
|--|---|---|
| | <i>Greater setbacks may be required to achieve other Elements.</i> | |
| 9. Garages | | |
| All development | <p>9.1. Where an enclosed garage faces a street and adjoins a dwelling, the garage shall be at least 0.5 metres behind the dwelling alignment.</p> <p>9.2. Where a dwelling does not orient to a primary street, the garage shall be located behind the dwelling building line and not face the primary street.</p> <p>9.3. The width of an enclosed garage and its supporting structures facing the primary street shall not occupy more than 50% of the frontage at the setback line as viewed from the street. This may be increased to 60% where an upper floor habitable room with a major opening or balcony extends for the full width of the garage and the entrance to the dwelling is clearly visible from the primary street.</p> | <p>Augment Vol 1, CI 5.2.1 (include as C1.6 - C1.8)</p> <p>Replace Vol 1, CI 5.2.2 C2</p> <p>Augment Vol 2 CI 3.8 (include as A3.8.8 - A3.8.10)</p> |
| 10. Solar Access for Adjoining Sites | | |
| All development | <p>10.1. Where a development site shares its southern boundary with any other adjoining property, its shadow cast at midday 21 June shall not exceed the following limits:</p> <ol style="list-style-type: none"> a. On adjoining sites coded R60 or greater — 40% of the site area. b. On adjoining sites coded R30 to R40 inclusive — 35% of the site area. c. On adjoining sites coded R25 and lower — 25% of the site area. <p>10.2. Generic building separation distances as defined by SPP7.3 — Volume 2 are appropriate as a default position.</p> <p>Note:</p> <p><i>Where an adjoining site is subject to a dual density code and if the site is yet to be developed to the higher code, the base density code applies for the purpose of determining the maximum amount of shadow cast permitted.</i></p> | <p>Amend Vol 1, CI 5.4.2, C2.1</p> <p>Amend Vol 2, EI 3.2, A3.2.3</p> |
| 11. Access and Parking — Resident Parking | | |
| All development | <p>11.1. Location A parking requirements:</p> <p>Resident parking ratios shall be in accordance with Location A (SPP7.3) where:</p> <ol style="list-style-type: none"> a. Development is within an 800 metre walkable catchment of a train station within or adjacent to a Housing Opportunity Area. b. Development is within a 200 metre walkable catchment of a high frequency bus stop. | <p>Amend Vol 1, CI 5.3.3 C3.1 Definition of Location A</p> <p>Amend Vol 2, Table 3.9 Definition of Location A</p> |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 | | | | |
|---|--|--|--|-------------------------------|--|--|
| | <p>11.2. Location B parking requirements:</p> <table border="1" data-bbox="435 365 1145 584"> <tr> <td data-bbox="435 365 671 488">Single Houses/ Grouped Dwellings</td> <td data-bbox="671 365 1145 488">As per SPP7.3 — Volume 1, Clause 5.3.3</td> </tr> <tr> <td data-bbox="435 488 671 584">Multiple Dwellings</td> <td data-bbox="671 488 1145 584">As per SPP7.3 — Volume 2, Element 3.9, Table 3.9</td> </tr> </table> <p>Notes:</p> <p><i>Walkable catchments shall be measured along existing pedestrian infrastructure routes using the walkable catchment technique outlined in Liveable Neighbourhoods 2009.</i></p> <p><i>The City may require a traffic and/or parking assessment for multiple dwelling applications to demonstrate traffic impacts on adjacent streets and neighbouring residents.</i></p> | Single Houses/ Grouped Dwellings | As per SPP7.3 — Volume 1, Clause 5.3.3 | Multiple Dwellings | As per SPP7.3 — Volume 2, Element 3.9, Table 3.9 | |
| Single Houses/ Grouped Dwellings | As per SPP7.3 — Volume 1, Clause 5.3.3 | | | | | |
| Multiple Dwellings | As per SPP7.3 — Volume 2, Element 3.9, Table 3.9 | | | | | |
| 12. Access and Parking — Visitor Parking | | | | | | |
| All development | <p>12.1. All visitor parking bays shall be provided wholly onsite.</p> <p>Notes:</p> <p><i>The City may require a traffic and/or parking assessment for multiple dwelling applications to demonstrate traffic impacts on adjacent streets and neighbouring residents.</i></p> | <p>Augment Vol 1, CI 5.3.3 (include as C3.4)</p> <p>Augment Vol 2, EI 3.9 (include as A3.9.11)</p> | | | | |
| 13. Access and Parking — Crossovers | | | | | | |
| All development | <p>13.1. A crossover shall be limited to a maximum width as detailed below:</p> <ol style="list-style-type: none"> a. Where the proposed development yield exceeds 10 dwellings, then a maximum crossover width of 6.0 metres is permitted. b. Where the proposed development yield does not exceed 10 dwellings, and a side-by-side (double or greater) garage/carport which fronts the primary street is proposed, then a maximum crossover width of 4.5 metres is permitted. c. Where the proposed development yield does not exceed 10 dwellings, and a single garage / carport which fronts the primary street is proposed, then a crossover width of 3.0 metres is required. <p>13.2. Crossovers shall not interfere with existing or proposed street trees, or the levels of pavement.</p> <p>13.3. Footpaths shall be maintained as the priority movement, with crossovers and car park entries terminating at the footpath. Where vehicle crossovers are agreed with the City and cross a key pedestrian route, appropriate measures to promote pedestrian safety shall be included to minimise conflict between</p> | <p>Amend Vol 1, CI 5.3.5, C5.2</p> <p>Augment Vol 1, CI 5.3.5 (include as C5.8 - C5.11)</p> <p>Augment Vol 2, EI 3.8 (include as A3.8.8 - A3.8.11)</p> | | | | |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 | | | | | | | | | | |
|---|---|--|------------------------|---------------------|-----|-----------------------|-----|-----------------------|-----|--------------------|-----|--|
| | <p>pedestrians and vehicle traffic.</p> <p>13.4. Car park entries, service areas and bin refuse collection points shall be integrated into the development of each lot and be screened from the public realm.</p> | | | | | | | | | | | |
| 14. Tree Canopy and Deep Soil Areas — Landscape Area | | | | | | | | | | | | |
| All development | <p>14.1. Each lot shall have a minimum landscape area as a percentage (%) of the lot area as follows:</p> <table border="1" data-bbox="435 663 1145 981"> <thead> <tr> <th data-bbox="435 663 791 723">Lot area (square metres)</th> <th data-bbox="791 663 1145 723">Minimum landscape area</th> </tr> </thead> <tbody> <tr> <td data-bbox="435 723 791 786">0–300 square metres</td> <td data-bbox="791 723 1145 786">20%</td> </tr> <tr> <td data-bbox="435 786 791 848">301–400 square metres</td> <td data-bbox="791 786 1145 848">25%</td> </tr> <tr> <td data-bbox="435 848 791 911">401–500 square metres</td> <td data-bbox="791 848 1145 911">30%</td> </tr> <tr> <td data-bbox="435 911 791 981">>500 square metres</td> <td data-bbox="791 911 1145 981">35%</td> </tr> </tbody> </table> <p>14.2. Where common property is applicable, then the common property land area shall also be included in the lot area (calculations above), as distributed proportionally to each lot.</p> <p>14.3. Permeable paving or decking within a landscape area is permitted provided it does not exceed 20% of the landscape area and will not inhibit the planting and growth of adjacent trees in the landscape area.</p> <p>14.4. The minimum dimension of any landscape area shall be 2.0 metres.</p> <p>14.5. A minimum of 50% of the area between the front of the dwelling and the street lot boundary (front setback area) shall be landscape area.</p> | Lot area (square metres) | Minimum landscape area | 0–300 square metres | 20% | 301–400 square metres | 25% | 401–500 square metres | 30% | >500 square metres | 35% | <p>Replace Vol 1, CI 5.3.2 C2</p> <p>Replace Vol 2, EI 3.3</p> |
| Lot area (square metres) | Minimum landscape area | | | | | | | | | | | |
| 0–300 square metres | 20% | | | | | | | | | | | |
| 301–400 square metres | 25% | | | | | | | | | | | |
| 401–500 square metres | 30% | | | | | | | | | | | |
| >500 square metres | 35% | | | | | | | | | | | |
| 15. Tree Canopy and Deep Soil Areas — Tree Sizes and Deep Soil Areas | | | | | | | | | | | | |
| All development | <p>15.1. For single, grouped and multiple dwelling development, tree sizes and deep soil area definitions and requirements are as per SPP7.3 — Volume 2:</p> <ul style="list-style-type: none"> a. Figure 3.3a–f b. Table 3.3a and 3.3b <p>15.2. The ground surface of deep soil areas shall be permeable and allow water to infiltrate the soil.</p> | <p>Replace Vol 1, CI 5.3.2 C2</p> <p>Replace Vol 2, EI 3.3</p> | | | | | | | | | | |
| 16. Tree Canopy and Deep Soil Areas — Trees | | | | | | | | | | | | |
| All development | 16.1. The minimum number of trees to be provided (with shade producing canopies) shall be determined by the landscape area as follows: | Replace Vol 1, CI 5.3.2 C2 | | | | | | | | | | |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 |
|---|---|---|
| | <p>a. 1 small tree for every 20.0 square metres; or</p> <p>b. 1 medium tree for every 60.0 square metres; or</p> <p>c. 1 large tree for every 100.0 square metres; or</p> <p>d. A combination of the above.</p> <p>16.2. The verge(s) adjacent to the lot(s) shall be landscaped to the specifications and satisfaction of the City and shall include one street tree for every 10.0 metres of lot frontage width.</p> | Replace Vol 2, EI 3.3 |
| 17. Tree Canopy and Deep Soil Areas — Tree Retention | | |
| All development | <p>17.1. The landscape area specified in Clause 14 can be reduced where existing medium and large trees (as per Table 3.3b of SPP7.3 — Volume 2) are retained onsite, equivalent to the following:</p> <p>a. Retention of a mature medium tree is equivalent to 75 square metres landscape area.</p> <p>b. Retention of a mature large tree is equivalent to 125 square metres landscape area.</p> <p>17.2. Criteria for acceptable ‘tree retention’ is as per SPP7.3 — Volume 2, A3.3.1, and shall be supported by an Arboriculture Report. This report is to include tree protection zone provisions that area to be met before, during and after construction.</p> | <p>Replace Vol 1, CI 5.3.2 C2</p> <p>Replace Vol 2, EI 3.3</p> |
| 18. Tree Canopy and Deep Soil Areas — Landscape Design | | |
| All development | <p>18.1. For single, grouped and multiple dwelling development, landscape design objectives are as per SPP7.3 — Volume 2, 4.12 Element Objectives:</p> <p>a. O4.12.1</p> <p>b. O4.12.2</p> <p>c. O4.12.3</p> <p>d. O4.12.4</p> | <p>Replace Vol 1, CI 5.3.2 C2</p> <p>Replace Vol 2, EI 3.3</p> |
| 19. Tree Canopy and Deep Soil Areas — Outdoor Living Areas | | |
| All development | 19.1. Outdoor living areas may be located in the front setback area where their design enhances surveillance of the adjacent streetscape. | <p>Augment Vol 1, CI 5.3.1 (include as C1.3)</p> <p>Augment Vol 2, CI 4.4 (include as A4.4.5)</p> |
| 20. Size and Layout of Dwellings | | |
| All development | 20.1. For single, grouped and multiple dwelling development: | Augment Vol 1, CI 5.1.6 (include as C6.2 - C6.3) |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 |
|--------------------------------------|--|---|
| | <ul style="list-style-type: none"> a. Minimum floor areas shall be as per SPP7.3 — Volume 2, Table 4.3a. b. Minimum floor areas and dimensions of habitable rooms shall be as per SPP7.3 — Volume 2, Table 4.3b. <p>20.2. Dwellings shall have a minimum ceiling height of 2.7 metres in habitable rooms and 2.4 metres in non-habitable spaces.</p> | |
| 21. Solar and Daylight Access | | |
| All development | <p>21.1. For single and grouped dwelling development, solar and daylight access are as per SPP7.3 —Volume 2, Acceptable Outcomes:</p> <ul style="list-style-type: none"> a. A4.1.1 b. A4.1.3 c. A4.1.4 <p>21.2. A site plan is to be prepared to demonstrate solar design outcomes for the Responsible Authority assessment.</p> | <p>Augment Vol 1, CI 5.4.2 (include as C2.3 - C2.4)</p> <p>Augment Vol 2, EI 4.1 (include 21.2 as A4.1.5)</p> |
| 22. Natural Ventilation | | |
| All development | <p>22.1. All rooms, with the exclusion of store rooms, shall have operable windows. Window opening design shall maximise natural ventilation.</p> <p>22.2. Habitable rooms shall have a window in an external wall which:</p> <ul style="list-style-type: none"> a. Has a minimum glass area not less than 15% of the floor area of the room; b. Comprise a minimum of 50% clear glazing; and, c. Is openable for 50% the size of the window. <p>22.3. Further requirements for natural ventilation are as per SPP7.3 — Volume 2, Acceptable Outcomes:</p> <ul style="list-style-type: none"> a. A4.2.1 b. A4.2.4 | <p>Augment Vol 1, CI 5.1.3 (include as C3.4 – C3.6)</p> <p>Augment Vol 2, EI 4.2 (include 22.1 and 22.2 as A4.2.5 and A4.2.6)</p> |

The Amendment is standard under the provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* as the proposal is consistent with the City of Joondalup *Local Housing Strategy* and does not meet the criteria for either a ‘complex’ or ‘basic’ amendment.

DATED THIS 20th DAY OF AUGUST 2019

CHIEF EXECUTIVE OFFICER

PLANNING AND DEVELOPMENT ACT 2005

CITY OF JOONDALUP

LOCAL PLANNING SCHEME NO. 3 – AMENDMENT NO. 5

SCHEME AMENDMENT REPORT

EXECUTIVE SUMMARY

In order to better manage the impact of infill development, at its meeting held on 21 November 2017, Council agreed to the preparation of a new planning framework for infill development in the City of Joondalup.

This is a complex body of work and in mid-2018 an expert external consultant team was engaged to review the existing planning framework and develop a comprehensive new planning framework for infill development in the City of Joondalup. This work included early consultation and engagement with the community to identify community concerns and aspirations and views and ideas on a new framework. Feedback received from the community was used by the consultant team to inform the development of a proposed new planning framework for infill development.

The comprehensive new planning framework prepared by the consultants comprises both a draft local planning policy and scheme amendment and was presented to the Council meeting on 16 April 2019 to seek Council's approval to advertise the documents for public consultation. However, some residents expressed concern about the draft new planning framework prepared by the consultants. They were also concerned about the prescribed, statutory process that needs to be followed for advertisement of the draft scheme amendment, which sets the wheels in motion for formal consideration of the amendment.

In response to the residents' concerns, Council deferred the item to enable discussion with the Minister for Planning on the matter as some residents had expressed concern about the new planning framework.

Some residents have advised they want to have input into the draft new planning framework prepared by the consultants, before the Council initiates any prescribed, statutory consultation process. This will add additional time to the process so, although the residents have requested this additional consultation occurs, they are also concerned about the development that may occur in their neighbourhoods in the meantime. The residents therefore also the residents requested development of a different, simpler framework to assist, in the interim, in managing the impacts of infill development, while work continues on the more comprehensive framework prepared by the consultants.

The matter was brought back before Council at its meeting held on 21 May 2019. In response to the residents' requests, Council decided not to progress with formal consultation on the comprehensive new planning framework prepared by the consultants at that time. Instead, Council referred the matter back to the Chief Executive Officer to enable *Section Three – General Development Controls* of the planning policy prepared by the consultants to be converted to an interim local planning policy and scheme amendment for Council's consideration.

A scheme amendment has now been prepared based on Section Three: General Development Provisions of the draft *Joondalup Place Neighbourhoods Local Planning Policy* prepared by the consultants. The scheme amendment proposes to insert modifications to the *Residential Design Codes (R-Codes)* into *Local Planning Scheme No. 3 (LPS3)* for development within Housing Opportunity Areas. The proposed scheme amendment modifies and replaces clause 26(5) of the scheme with Schedule B which contains development standards relating to lot frontage, intensification within cul-de-sacs, building height, setbacks, garages, solar access, parking, crossovers and landscaping.

The additional development provisions and modifications to the R-Codes seek to increase the standard of development in Housing Opportunity Areas and better manage the impacts of infill development.

BACKGROUND

The City commenced preparation of its *Local Housing Strategy* in 2010. The final version of the *Local Housing Strategy* was endorsed by Council at its meeting held on 16 April 2013 and approved by the Western Australian Planning Commission (WAPC) in November 2013.

The *Local Housing Strategy* identifies 10 areas within the City of Joondalup, outside the Joondalup City Centre, most suitable for higher density development. These areas are known as Housing Opportunity Areas (HOAs).

Amendment No. 73 to the City's former *District Planning Scheme No. 2*, to implement the new density codes, came into effect in early 2016. Since then, residents in HOAs have been able to redevelop their properties in line with the higher densities allocated to these areas. As development within the HOAs commenced, some members of the community raised concerns with the impact that infill development was having on these areas.

At its meeting held on 21 November 2017, Council resolved to prepare a design-led local planning policy for multiple dwellings in the HOAs and a scheme amendment to better control the impact of multiple dwellings on existing residents and streetscapes.

Throughout the latter half of 2018 and the beginning of 2019, a team of expert consultants undertook extensive community engagement and prepared a comprehensive new planning framework for infill development. The comprehensive new planning framework for infill development comprises a draft amendment to the City's *Local Planning Scheme No. 3 (LPS3)* and a draft new local planning policy (*Joondalup Place Neighbourhoods Local Planning Policy*) for the City's HOAs.

At its meeting held on 16 April 2019, Council considered the comprehensive new planning framework for infill development, for the purposes of initiating the scheme amendment and adopting the local planning policy, for community consultation. However, some residents expressed concern about the new planning framework. They were also concerned about the prescribed, statutory process that needs to be followed for advertisement of the draft scheme amendment, which sets the wheels in motion for formal consideration of the amendment. The residents requested to have input into the new planning framework before Council initiates any prescribed, statutory consultation process.

In response to the residents' concerns, Council resolved to defer the item to the Council meeting held on 21 May 2019 to enable discussion with the Minister for Planning on the matter.

Some residents have advised they want to have input into the draft new planning framework prepared by the consultants, before the Council initiates any prescribed, statutory consultation

process. Additional consultation with the community ahead of initiating the prescribed, statutory consultation process for the new planning framework will add extra time to the process. Therefore, although some residents have requested this additional consultation occurs, they are also concerned about the development that may occur in their neighbourhoods in the meantime.

The residents therefore also requested development of a different, simpler framework to assist, in the interim, in managing the impacts of infill development, while work continues on the more comprehensive framework prepared by the consultants.

At its meeting held on 21 May 2019, Council again considered the comprehensive new planning framework for infill development and resolved:

“That Item CJ052-05/19 – Draft New Planning Framework for Infill Development, BE REFERRED BACK to the Chief Executive Officer to allow:

- 1 *relevant provisions of Section Three: General Development Provisions of the draft Joondalup Place Neighbourhoods Local Planning Policy to be extracted and compiled to form a separate, new local planning policy and scheme amendment for Council’s consideration at an upcoming Council meeting;*
- 2 *the City to engage and consult with the community on the draft Joondalup Place Neighbourhoods Local Planning Policy and Scheme Amendment No. 3 to the City of Joondalup Local Planning Scheme No. 3, ahead of any formal initiation of Scheme Amendment No. 3.”*

Draft Joondalup Place Neighbourhoods Local Planning Policy

The draft *Joondalup Place Neighbourhoods Local Planning Policy* is a component of the comprehensive new planning framework for infill development prepared by the consultant team.

The draft *Joondalup Place Neighbourhoods Local Planning Policy* comprises four sections being:

- 1 Introduction
- 2 Place Neighbourhoods Design Vision
- 3 General Development Controls
- 4 Housing Typology Controls.

Section Three – General Development Controls includes a range of development standards that respond directly to community priorities identified through the community engagement undertaken by the consultant team late last year. These development standards aim to provide greater control and improved outcomes for infill development in the City’s infill areas.

Council’s decision at its meeting held on 21 May 2019 requires the conversion of *Section Three – General Development Controls* into an interim local planning policy and scheme amendment.

DETAILS

A draft *Development in Housing Opportunity Areas Local Planning Policy* (the draft LPP) has been prepared in accordance with Council’s resolution to extract relevant provisions from Section Three: General Development Provisions of the draft *Joondalup Place*

Neighbourhoods Local Planning Policy. The scheme amendment complements the draft LPP by proposing to insert the provisions into the planning scheme.

The scheme amendment has been prepared as a schedule to LPS3 (Schedule B) which modifies and replaces clause 26 (5). The key components of the scheme amendment are outlined below.

Development Standards

Lot frontage

Currently, LPS3 modifies the R-Codes to require for a 10 metre minimum lot frontage at the street setback line for single houses and grouped dwellings and a 20 metre minimum lot frontage for multiple dwellings. The proposed scheme amendment modifies this to allow reduced frontages for certain dwelling types as follows:

- The minimum lot width of 20 metres for multiple dwellings has been removed (noting that other provisions to control the development of multiple dwellings have been introduced elsewhere).
- A minimum lot frontage of 10 metres is still required for single houses and grouped dwellings unless:
 - terrace houses are proposed
 - the lot has laneway access
 - a rear accessway is created on the lot

In these circumstances:

- a reduced lot frontage of 7.5 metres is possible on R20/R25 and R20/R30 coded lots; and
- a reduced lot frontage of 6.0 metres is possible on R20/R40 and R20/R60 coded lots.

This allows greater flexibility in dwelling type and development of terrace style housing rather than the resultant development of battle-axe style duplexes and triplexes.

Limiting the number of multiple dwellings

Under the R-Codes, single houses and grouped dwellings are required to have an average site area for each dwelling, as do multiple dwellings up to R35 density code. Application of this requirement directly restricts the number of dwellings that can be built on a lot.

The proposed scheme amendment includes a provision so the average site areas that currently apply to single houses and grouped dwellings will also apply to multiple dwellings in the following locations:

- All lots coded R20/R40 that are not within an 800m walking distance from a train station or larger activity centre
- Lots coded R20/R40 within an 800m walking distance from a train station or larger centre, but are in a cul-de-sac or non-through road,

Multiple dwellings are generally only being developed in the R20/R40 and R20/R60 coded areas, where average site areas do not currently apply.

The principle of limiting the number of multiple dwellings to the same number of grouped dwellings that could be developed on a site, is similar to the principles of the WAPC's *Planning*

Bulletin 113 – Multiple dwellings in R40 coded areas and variations to R-Codes standards. This Planning Bulletin outlines criteria to determine catchments around nodes where multiple dwellings are considered more appropriate such as within 800 metres of any existing or proposed strategic metropolitan, secondary, district or specialised activity centre or railway station on a high frequency rail route or within 400 metres of a local or neighbourhood activity centre.

The new development standard will not prevent the development of multiple dwellings in R20/R40 areas. It will however put a restriction on the number of multiple dwellings that can be built on a property that is coded R20/R40. This restriction will help to prevent overdevelopment of R20/R40 coded properties and will have positive flow-on impacts to aspects of the development, like the number of parking spaces required at the expense of landscaping.

Building height

The scheme amendment proposes the same maximum building heights as those within the R-Codes (with the exception of single houses and grouped dwellings in R20/R60 coded areas), however height is expressed as storeys rather than metres.

A maximum height of 3 storeys will apply to single houses and grouped dwellings in R20/R60 coded areas, not just to multiple dwellings. Accommodating these extra dwellings in 3 storey buildings results in the building footprints on the property being smaller. This frees up more space on the ground for landscaping and allows for greater setbacks from neighbouring properties.

Street setbacks

Under the R-Codes, at densities of R40 and above, the street setback requirements for single houses and grouped dwellings are different to the street setback requirements for multiple dwellings. Single houses and grouped dwellings can have a minimum street setback of two metres at R40 (subject to meeting an overall average of four metres) and one metre at R60 (subject to meeting an overall average of two metres). Multiple dwellings are required to have a minimum street setback of four metres at R40 and two metres at R60.

There is therefore the potential that the minimum street setback for a building could be different depending on whether it was a single house or grouped dwelling or multiple dwelling. In order to achieve a more consistent streetscape, a street setback that applies to all types of development is defined. The scheme amendment proposes a minimum street setback of four metres for all development in R20/R40 coded areas and two metres for all development in R20/R60 coded areas.

Boundary walls

The scheme amendment proposes the following provisions for boundary walls based on whether the dwelling is detached (freestanding) or attached (terrace style).

Boundary walls for detached dwellings:

- R20/R25 – not permitted
- R20//R30 – only garages permitted to a maximum length of 7 metres
- R20/R40 and R20/R60 – ground floor to one boundary up to 50% of that boundary

Boundary walls for attached dwellings:

- R20/R25 – not permitted
- R20/R30 and R20/R40 – permitted to one side boundary for ground and upper floors
- R60 – permitted to both side boundaries for ground and upper floors

Attached (terraced) housing is suitable for people who want to live in their own house, with a low maintenance courtyard style garden without having to share spaces with other people. The reduced lot widths for attached dwellings together with the boundary wall provisions will allow the development of this type of housing which provides greater housing choice and diversity.

Rear setbacks

Rear setbacks are currently controlled by the requirements of the R-Codes and are calculated for each building, based on the length and the height of a wall and the type of openings in the wall.

The scheme amendment takes a different approach to the R-Codes by including defined minimum rear setback requirements for all density codes. At densities of R20/R25 and R20/R30 the minimum setback requirement is 3.0 metres and at densities of R20/R40 and R20/R60 the minimum setback requirement is 2.0 metres.

It is considered that a minimum setback of 2.0 metres is appropriate as it accords with the minimum width of two metres for landscaped areas which could contribute to the overall greening of a site and reduce the impact of building bulk.

Car parking

Residential parking standards in the scheme amendment remain the same, however, the method of measuring distance to the train station or bus stop is based on a walkable catchment rather than a straight line as stated in the 'deemed to comply' standards of the R-Codes.

Visitor parking is proposed in accordance with the R-Codes and must be provided wholly onsite.

Crossovers

Development standards are proposed to limit the width of crossovers depending on the development yield and whether a single or double garage is proposed. This provision minimises the extent of paving within the verge, thereby freeing up more space for landscaping.

Landscaping

The scheme amendment proposes additional requirements relating to landscape area, trees, tree retention and deep soil areas. Currently the R-Codes and the City's *Residential Development Local Planning Policy* only contain provisions relating to the overall amount of open space to be provided on site (and what is and is not open space) and the number of street trees per lot frontage. The scheme amendment proposes a minimum landscape area which is a percentage of the total lot area and is different to the open space requirement. Minimum landscape area in the front setback, minimum tree sizes and number of trees and minimum areas for deep soil zones are also proposed. These provisions all help to encourage the preservation of existing vegetation and create a greener more attractive streetscape and development.

CONCLUSION

The scheme amendment proposes to insert additional development provisions into the scheme for development within Housing Opportunity Areas. These additional development provisions and modifications to the R-Codes propose to increase the standard of development in Housing Opportunity Areas and better manage the impacts of infill development.

PLANNING AND DEVELOPMENT ACT 2005

RESOLUTION TO AMEND LOCAL PLANNING SCHEME

CITY OF JOONDALUP

LOCAL PLANNING SCHEME NO. 3 – AMENDMENT NO 5

Resolved that the Local Government pursuant to section 75 of the *Planning and Development Act 2005*, amend the above Local Planning Scheme by:

- 1 Deleting clause 26 (5) and replacing with:

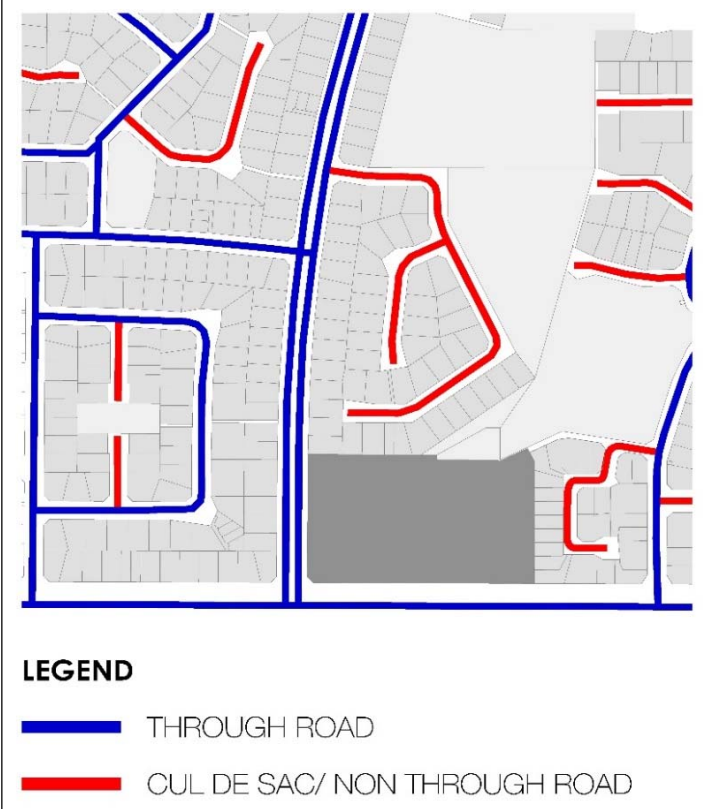
The R-Codes Volume 1 and 2 are modified in accordance with Schedule B - Modification of the R-Codes for Housing Opportunity Areas
- 2 Inserting Schedule B – Modification of the R-Codes for Housing Opportunity Areas after Schedule A – Supplemental Provisions to the Deemed Provisions

SCHEDULE B – MODIFICATION OF THE R-CODES FOR HOUSING OPPORUTNITY AREAS

The following provisions apply to Housing Opportunity Areas 1 – 10, shown on the Scheme Map with a dual density code.

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 |
|--|--|--|
| 1. Urban Design — Public Domain Interface | | |
| All development | <p>22.4. Developments on corner lots shall address both the primary and secondary streets and/or public realm and include strong architectural expression.</p> <p>22.5. Buildings adjacent to pedestrian access ways shall achieve appropriate surveillance of these spaces.</p> <p>22.6. Blank walls, vehicle access and building services (e.g. bin store, booster hydrant) shall not exceed 20% of the total lot frontage to the public realm, except for development with two street frontages, where no blank walls will be permitted to either street frontage.</p> <p>22.7. For single and grouped dwelling development, public domain interface objectives shall be consistent with SPP7.3 — Volume 2, Element Objectives and the following acceptable outcomes:</p> <p style="margin-left: 20px;">f. A3.6.1</p> <p style="margin-left: 20px;">g. A3.6.3</p> | <p>Augment Vol 1, CI 5.2.3 (include as C3.4 - C3.7)</p> <p>Augment Vol 2, EI 3.6 (include 1.1, 1.2 and 1.3 as A3.6.10 - A3.6.12)</p> |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 |
|---|--|---|
| | <ul style="list-style-type: none"> h. A3.6.4 i. A3.6.7 j. A3.6.8 | |
| 2. Urban Design — Lot Subdivision | | |
| All development | <p>2.1. A minimum lot frontage of 10.0 metres is required (measured at the primary street setback line), except for:</p> <ul style="list-style-type: none"> c. Attached dwellings, development on laneways and rear accessway building typologies on R20/R25 and R20/R30 lots, where a minimum lot frontage of 7.5 metres is permitted. d. Attached dwellings, development on laneways and rear accessway building typologies on R20/R40 and R20/R60 lots, where a minimum lot frontage of 6.0 metres is permitted. | <p>Augment Vol 1, CI 5.1.1 (include as C1.5)</p> <p>Augment Vol 2, EI 2.3 (include as A3.2.0)</p> |
| 3. Urban Design — Intensification Within Cul-de-sacs | | |
| Multiple dwelling | <p>3.1. Notwithstanding the provision of SPP7.3 — Volume 2, where a site has a residential density code of R20/R40 or greater and has a primary street frontage to a cul-de-sac, the development of multiple dwellings on that site:</p> <ul style="list-style-type: none"> c. Shall comply with the average site area per dwelling requirement specified for a single house or grouped dwelling for the applicable density coding as specified by SPP7.3 — Volume 1; and d. Shall not be subject to maximum plot ratio requirements specified by SPP7.3 — Volume 2. | <p>Augment Vol 2, EI 2.5 (include as A2.5.2)</p> |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 | | | | | | | | |
|---|---|---|-------------------|---------|---------|-------------------|-------------------|-------------------|-------------------|--|
| | <p>Note:</p> <p><i>Definition for a cul-de-sac/non-through road and through-road is illustrated in the figure below (indicative scenario only):</i></p>  <p>LEGEND</p> <p>— THROUGH ROAD</p> <p>— CUL DE SAC/ NON THROUGH ROAD</p> | | | | | | | | | |
| 4. Urban Design – Walkable Catchment | | | | | | | | | | |
| Multiple dwelling | <p>4.1. Multiple dwellings shall comply with the average site area per dwelling requirement specified for a single house or grouped dwelling for the applicable density coding under SPP7.3 – Volume 1 where:</p> <ul style="list-style-type: none"> c. the site has a residential density code of R20/40; and d. the site is located outside an 800 metre walkable catchment from any existing or proposed strategic metropolitan, secondary, district or specialised activity centre or railway station on a high frequency rail route as determined by the City. | Augment Vol 2, EI 2.5 (include as A2.5.3) | | | | | | | | |
| 5. Building Height | | | | | | | | | | |
| All development | <table border="1" data-bbox="437 1839 1150 1989"> <thead> <tr> <th>R20/R25</th> <th>R20/R30</th> <th>R20/R40</th> <th>R20/R60</th> </tr> </thead> <tbody> <tr> <td>Maximum 2 storeys</td> <td>Maximum 2 storeys</td> <td>Maximum 2 storeys</td> <td>Maximum 3 storeys</td> </tr> </tbody> </table> | R20/R25 | R20/R30 | R20/R40 | R20/R60 | Maximum 2 storeys | Maximum 2 storeys | Maximum 2 storeys | Maximum 3 storeys | <p>Replace Vol 1, CI 5.1.6 C6</p> <p>Replace Vol 2, EI 2.2, A2.2.1</p> |
| R20/R25 | R20/R30 | R20/R40 | R20/R60 | | | | | | | |
| Maximum 2 storeys | Maximum 2 storeys | Maximum 2 storeys | Maximum 3 storeys | | | | | | | |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 | | | | | | | | |
|---|--|--|--|---|---|-------------------------|--------|--|--|---|
| | <p>Note:</p> <p>Refer Table 2.2, Figure 2.2a, Figure 2.2b of SPP7.3 — Volume 2 for interpretation of indicative overall height in metres.</p> | | | | | | | | | |
| 6. Street Setbacks | | | | | | | | | | |
| All development | <table border="1"> <thead> <tr> <th>R20/R25</th> <th>R20/R30</th> <th>R20/R40</th> <th>R20/R60</th> </tr> </thead> <tbody> <tr> <td>SPP7.3</td> <td>SPP7.3</td> <td>Minimum 4.0 metres (primary street) Minimum 1.5 metres (secondary street)</td> <td>Minimum 2.0 metres (primary and secondary streets)</td> </tr> </tbody> </table> | R20/R25 | R20/R30 | R20/R40 | R20/R60 | SPP7.3 | SPP7.3 | Minimum 4.0 metres (primary street) Minimum 1.5 metres (secondary street) | Minimum 2.0 metres (primary and secondary streets) | <p>Amend Vol 1, Cl 5.1.2, C2.1 to C2.3</p> <p>Amend Vol 2, El 2.3, A2.3.1</p> |
| | R20/R25 | R20/R30 | R20/R40 | R20/R60 | | | | | | |
| SPP7.3 | SPP7.3 | Minimum 4.0 metres (primary street) Minimum 1.5 metres (secondary street) | Minimum 2.0 metres (primary and secondary streets) | | | | | | | |
| <p>Note:</p> <p>Refer Figure Series 2 of SPP7.3 — Volume 1 to determine average primary street setbacks for R20/R25 and R20/R30.</p> | | | | | | | | | | |
| 7. Side and Rear Setbacks — Side Setbacks | | | | | | | | | | |
| All development | 7.1. Attached dwellings: | | | | <p>Amend Vol 1, Cl 5.1.3, C3.1i</p> <p>Amend Vol 1, Cl 5.1.3, C3.2ii, iii</p> | | | | | |
| | | R20/R25 | R20/R30 | R20/R40 | | R20/R60 | | | | |
| | Side setback | SPP7.3 | 1.5 metres ground 1.5 metres upper to one boundary | 1.5 metres ground 1.5 metres upper to one boundary | | Nil ground Nil upper | | | | |
| Boundary wall | Buildings built up to boundary not permitted Garages built up to a boundary to maximum 7.0 metres length permitted | Nil ground Nil upper to second boundary Dwellings built up to one boundary permitted Garages built up to boundary to maximum 7.0 metres | Nil ground Nil upper to second boundary Dwellings built up to one boundary permitted Garages built up to boundary to maximum 7.0 metres | Buildings built up to both boundaries permitted Garages built up to a boundary maximum 7.0 metres length permitted | | | | | | |

| Form of Development | Development Standard | | | | | Reference to State Planning Policy 7.3 |
|--|---|---|--|--|----------------|--|
| | | | length permitted | length permitted | | |
| | 7.2. All other dwellings: | | | | | |
| | | R20/R25 | R20/R30 | R20/R40 | R20/R60 | |
| Side setback | SPP7.3 | SPP7.3 | SPP7.3 | SPP7.3 | SPP7.3 | |
| Boundary wall | Buildings built up to boundary not permitted | Dwellings built up to boundary not permitted Garages built up to a boundary to maximum 7.0 metres length permitted | Permitted for ground floor only to maximum 50% of one lot boundary | Permitted for ground floor only to maximum 50% of one lot boundary | | |
| | <p>Notes:</p> <p>Refer Tables 2a, 2b and Figure Series 3, 4 of SPP7.3 — Volume 1 for calculation of side setback requirements at R20/R25 and R20/R30.</p> <p>Refer Figure A7.1 of SPP7.3 — Volume 2 for calculation of side setback requirements at R20/40 and R20/60 and rear setback requirements at all density codes.</p> <p>Where permitted, boundary walls are for single storey height only.</p> <p>Greater setbacks may be required to achieve other Elements.</p> | | | | | |
| 8. Side and Rear Setbacks — Rear Setbacks | | | | | | |
| All development | | R20/R25 | R20/R30 | R20/R40 | R20/R60 | Amend Vol 1, Cl 5.1.3, C3.1i Amend Vol 1, Cl 5.1.3, C3.2ii, iii Amend Vol 2, El 2.4, A2.4.1a |
| | Ground Floor | 3.0 metres | 3.0 metres | 2.0 metres | 2.0 metres | |
| | Upper Floor/s | 6.0 metres | 6.0 metres | 3.0 metres | 3.0 metres | |
| | <p>Notes:</p> <p>Refer Figure A7.1 of SPP7.3 — Volume 2 for calculation of side setback requirements at R20/40 and R20/60 and rear setback requirements at all density codes.</p> | | | | | |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 |
|--|---|---|
| | <i>Greater setbacks may be required to achieve other Elements.</i> | |
| 9. Garages | | |
| All development | <p>9.1. Where an enclosed garage faces a street and adjoins a dwelling, the garage shall be at least 0.5 metres behind the dwelling alignment.</p> <p>9.2. Where a dwelling does not orient to a primary street, the garage shall be located behind the dwelling building line and not face the primary street.</p> <p>9.3. The width of an enclosed garage and its supporting structures facing the primary street shall not occupy more than 50% of the frontage at the setback line as viewed from the street. This may be increased to 60% where an upper floor habitable room with a major opening or balcony extends for the full width of the garage and the entrance to the dwelling is clearly visible from the primary street.</p> | <p>Augment Vol 1, CI 5.2.1 (include as C1.6 - C1.8)</p> <p>Replace Vol 1, CI 5.2.2 C2</p> <p>Augment Vol 2 CI 3.8 (include as A3.8.8 - A3.8.10)</p> |
| 10. Solar Access for Adjoining Sites | | |
| All development | <p>10.1. Where a development site shares its southern boundary with any other adjoining property, its shadow cast at midday 21 June shall not exceed the following limits:</p> <ul style="list-style-type: none"> d. On adjoining sites coded R60 or greater — 40% of the site area. e. On adjoining sites coded R30 to R40 inclusive — 35% of the site area. f. On adjoining sites coded R25 and lower — 25% of the site area. <p>10.2. Generic building separation distances as defined by SPP7.3 — Volume 2 are appropriate as a default position.</p> <p>Note:</p> <p><i>Where an adjoining site is subject to a dual density code and if the site is yet to be developed to the higher code, the base density code applies for the purpose of determining the maximum amount of shadow cast permitted.</i></p> | <p>Amend Vol 1, CI 5.4.2, C2.1</p> <p>Amend Vol 2, EI 3.2, A3.2.3</p> |
| 11. Access and Parking — Resident Parking | | |
| All development | <p>11.1. Location A parking requirements:</p> <p>Resident parking ratios shall be in accordance with Location A (SPP7.3) where:</p> <ul style="list-style-type: none"> c. Development is within an 800 metre walkable catchment of a train station within or adjacent to a Housing Opportunity Area. d. Development is within a 200 metre walkable catchment of a high frequency bus stop. | <p>Amend Vol 1, CI 5.3.3 C3.1 Definition of Location A</p> <p>Amend Vol 2, Table 3.9 Definition of Location A</p> |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 | | | | |
|---|--|--|--|-------------------------------|--|--|
| | <p>11.2. Location B parking requirements:</p> <table border="1" data-bbox="435 365 1145 584"> <tr> <td data-bbox="435 365 671 488">Single Houses/ Grouped Dwellings</td> <td data-bbox="671 365 1145 488">As per SPP7.3 — Volume 1, Clause 5.3.3</td> </tr> <tr> <td data-bbox="435 488 671 584">Multiple Dwellings</td> <td data-bbox="671 488 1145 584">As per SPP7.3 — Volume 2, Element 3.9, Table 3.9</td> </tr> </table> <p>Notes:</p> <p><i>Walkable catchments shall be measured along existing pedestrian infrastructure routes using the walkable catchment technique outlined in Liveable Neighbourhoods 2009.</i></p> <p><i>The City may require a traffic and/or parking assessment for multiple dwelling applications to demonstrate traffic impacts on adjacent streets and neighbouring residents.</i></p> | Single Houses/ Grouped Dwellings | As per SPP7.3 — Volume 1, Clause 5.3.3 | Multiple Dwellings | As per SPP7.3 — Volume 2, Element 3.9, Table 3.9 | |
| Single Houses/ Grouped Dwellings | As per SPP7.3 — Volume 1, Clause 5.3.3 | | | | | |
| Multiple Dwellings | As per SPP7.3 — Volume 2, Element 3.9, Table 3.9 | | | | | |
| 12. Access and Parking — Visitor Parking | | | | | | |
| All development | <p>12.1. All visitor parking bays shall be provided wholly onsite.</p> <p>Notes:</p> <p><i>The City may require a traffic and/or parking assessment for multiple dwelling applications to demonstrate traffic impacts on adjacent streets and neighbouring residents.</i></p> | <p>Augment Vol 1, CI 5.3.3 (include as C3.4)</p> <p>Augment Vol 2, EI 3.9 (include as A3.9.11)</p> | | | | |
| 13. Access and Parking — Crossovers | | | | | | |
| All development | <p>13.1. A crossover shall be limited to a maximum width as detailed below:</p> <ul style="list-style-type: none"> d. Where the proposed development yield exceeds 10 dwellings, then a maximum crossover width of 6.0 metres is permitted. e. Where the proposed development yield does not exceed 10 dwellings, and a side-by-side (double or greater) garage/carport which fronts the primary street is proposed, then a maximum crossover width of 4.5 metres is permitted. f. Where the proposed development yield does not exceed 10 dwellings, and a single garage / carport which fronts the primary street is proposed, then a crossover width of 3.0 metres is required. <p>13.2. Crossovers shall not interfere with existing or proposed street trees, or the levels of pavement.</p> <p>13.3. Footpaths shall be maintained as the priority movement, with crossovers and car park entries terminating at the footpath. Where vehicle crossovers are agreed with the City and cross a key pedestrian route, appropriate measures to promote pedestrian safety shall be included to minimise conflict between</p> | <p>Amend Vol 1, CI 5.3.5, C5.2</p> <p>Augment Vol 1, CI 5.3.5 (include as C5.8 - C5.11)</p> <p>Augment Vol 2, EI 3.8 (include as A3.8.8 - A3.8.11)</p> | | | | |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 | | | | | | | | | | |
|---|---|--|------------------------|---------------------|-----|-----------------------|-----|-----------------------|-----|--------------------|-----|--|
| | <p>pedestrians and vehicle traffic.</p> <p>13.4. Car park entries, service areas and bin refuse collection points shall be integrated into the development of each lot and be screened from the public realm.</p> | | | | | | | | | | | |
| 14. Tree Canopy and Deep Soil Areas — Landscape Area | | | | | | | | | | | | |
| All development | <p>14.1. Each lot shall have a minimum landscape area as a percentage (%) of the lot area as follows:</p> <table border="1" data-bbox="435 663 1145 981"> <thead> <tr> <th data-bbox="435 663 791 723">Lot area (square metres)</th> <th data-bbox="791 663 1145 723">Minimum landscape area</th> </tr> </thead> <tbody> <tr> <td data-bbox="435 723 791 786">0–300 square metres</td> <td data-bbox="791 723 1145 786">20%</td> </tr> <tr> <td data-bbox="435 786 791 848">301–400 square metres</td> <td data-bbox="791 786 1145 848">25%</td> </tr> <tr> <td data-bbox="435 848 791 911">401–500 square metres</td> <td data-bbox="791 848 1145 911">30%</td> </tr> <tr> <td data-bbox="435 911 791 981">>500 square metres</td> <td data-bbox="791 911 1145 981">35%</td> </tr> </tbody> </table> <p>14.2. Where common property is applicable, then the common property land area shall also be included in the lot area (calculations above), as distributed proportionally to each lot.</p> <p>14.3. Permeable paving or decking within a landscape area is permitted provided it does not exceed 20% of the landscape area and will not inhibit the planting and growth of adjacent trees in the landscape area.</p> <p>14.4. The minimum dimension of any landscape area shall be 2.0 metres.</p> <p>14.5. A minimum of 50% of the area between the front of the dwelling and the street lot boundary (front setback area) shall be landscape area.</p> | Lot area (square metres) | Minimum landscape area | 0–300 square metres | 20% | 301–400 square metres | 25% | 401–500 square metres | 30% | >500 square metres | 35% | <p>Replace Vol 1, CI 5.3.2 C2</p> <p>Replace Vol 2, EI 3.3</p> |
| Lot area (square metres) | Minimum landscape area | | | | | | | | | | | |
| 0–300 square metres | 20% | | | | | | | | | | | |
| 301–400 square metres | 25% | | | | | | | | | | | |
| 401–500 square metres | 30% | | | | | | | | | | | |
| >500 square metres | 35% | | | | | | | | | | | |
| 15. Tree Canopy and Deep Soil Areas — Tree Sizes and Deep Soil Areas | | | | | | | | | | | | |
| All development | <p>15.1. For single, grouped and multiple dwelling development, tree sizes and deep soil area definitions and requirements are as per SPP7.3 — Volume 2:</p> <ul style="list-style-type: none"> c. Figure 3.3a–f d. Table 3.3a and 3.3b <p>15.2. The ground surface of deep soil areas shall be permeable and allow water to infiltrate the soil.</p> | <p>Replace Vol 1, CI 5.3.2 C2</p> <p>Replace Vol 2, EI 3.3</p> | | | | | | | | | | |
| 16. Tree Canopy and Deep Soil Areas — Trees | | | | | | | | | | | | |
| All development | 16.1. The minimum number of trees to be provided (with shade producing canopies) shall be determined by the landscape area as follows: | Replace Vol 1, CI 5.3.2 C2 | | | | | | | | | | |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 |
|---|---|---|
| | <p>e. 1 small tree for every 20.0 square metres; or</p> <p>f. 1 medium tree for every 60.0 square metres; or</p> <p>g. 1 large tree for every 100.0 square metres; or</p> <p>h. A combination of the above.</p> <p>16.2. The verge(s) adjacent to the lot(s) shall be landscaped to the specifications and satisfaction of the City and shall include one street tree for every 10.0 metres of lot frontage width.</p> | Replace Vol 2, EI 3.3 |
| 17. Tree Canopy and Deep Soil Areas — Tree Retention | | |
| All development | <p>17.1. The landscape area specified in Clause 14 can be reduced where existing medium and large trees (as per Table 3.3b of SPP7.3 — Volume 2) are retained onsite, equivalent to the following:</p> <p>c. Retention of a mature medium tree is equivalent to 75 square metres landscape area.</p> <p>d. Retention of a mature large tree is equivalent to 125 square metres landscape area.</p> <p>17.2. Criteria for acceptable ‘tree retention’ is as per SPP7.3 — Volume 2, A3.3.1, and shall be supported by an Arboriculture Report. This report is to include tree protection zone provisions that area to be met before, during and after construction.</p> | <p>Replace Vol 1, CI 5.3.2 C2</p> <p>Replace Vol 2, EI 3.3</p> |
| 18. Tree Canopy and Deep Soil Areas — Landscape Design | | |
| All development | <p>18.1. For single, grouped and multiple dwelling development, landscape design objectives are as per SPP7.3 — Volume 2, 4.12 Element Objectives:</p> <p>e. O4.12.1</p> <p>f. O4.12.2</p> <p>g. O4.12.3</p> <p>h. O4.12.4</p> | <p>Replace Vol 1, CI 5.3.2 C2</p> <p>Replace Vol 2, EI 3.3</p> |
| 19. Tree Canopy and Deep Soil Areas — Outdoor Living Areas | | |
| All development | 19.1. Outdoor living areas may be located in the front setback area where their design enhances surveillance of the adjacent streetscape. | <p>Augment Vol 1, CI 5.3.1 (include as C1.3)</p> <p>Augment Vol 2, CI 4.4 (include as A4.4.5)</p> |
| 20. Size and Layout of Dwellings | | |
| All development | 20.1. For single, grouped and multiple dwelling development: | Augment Vol 1, CI 5.1.6 (include as C6.2 - C6.3) |

| Form of Development | Development Standard | Reference to State Planning Policy 7.3 |
|--------------------------------------|--|---|
| | <p>c. Minimum floor areas shall be as per SPP7.3 — Volume 2, Table 4.3a.</p> <p>d. Minimum floor areas and dimensions of habitable rooms shall be as per SPP7.3 — Volume 2, Table 4.3b.</p> <p>20.2. Dwellings shall have a minimum ceiling height of 2.7 metres in habitable rooms and 2.4 metres in non-habitable spaces.</p> | |
| 21. Solar and Daylight Access | | |
| All development | <p>21.1. For single and grouped dwelling development, solar and daylight access are as per SPP7.3 —Volume 2, Acceptable Outcomes:</p> <p>d. A4.1.1</p> <p>e. A4.1.3</p> <p>f. A4.1.4</p> <p>21.2. A site plan is to be prepared to demonstrate solar design outcomes for the Responsible Authority assessment.</p> | <p>Augment Vol 1, Cl 5.4.2 (include as C2.3 - C2.4)</p> <p>Augment Vol 2, EI 4.1 (include 21.2 as A4.1.5)</p> |
| 22. Natural Ventilation | | |
| All development | <p>22.1. All rooms, with the exclusion of store rooms, shall have operable windows. Window opening design shall maximise natural ventilation.</p> <p>22.2. Habitable rooms shall have a window in an external wall which:</p> <p>d. Has a minimum glass area not less than 15% of the floor area of the room;</p> <p>e. Comprise a minimum of 50% clear glazing; and,</p> <p>f. Is openable for 50% the size of the window.</p> <p>22.3. Further requirements for natural ventilation are as per SPP7.3 — Volume 2, Acceptable Outcomes:</p> <p>c. A4.2.1</p> <p>d. A4.2.4</p> | <p>Augment Vol 1, Cl 5.1.3 (include as C3.4 – C3.6)</p> <p>Augment Vol 2, EI 4.2 (include 22.1 and 22.2 as A4.2.5 and A4.2.6)</p> |

COUNCIL ADOPTION AND RESOLUTION TO ADVERTISE

This Standard Amendment was adopted by resolution of the Council of the City of Joondalup at the Ordinary Meeting of the Council held on the **20th** day of **August 2019**.

MAYOR

CHIEF EXECUTIVE OFFICER

COUNCIL RECOMMENDATION

This Amendment is recommended by resolution of the City of Joondalup at the Ordinary Meeting of the Council held on the _____ day of _____ 20 _____ and the Common Seal of the City of Joondalup was affixed by the authority of a resolution of Council in the presence of:

MAYOR

CHIEF EXECUTIVE OFFICER

WAPC ENDORSEMENT (r.63)

DELEGATED UNDER s16 OF THE *PLANNING AND DEVELOPMENT ACT 2005*

DATE _____

APPROVAL GRANTED

MINISTER FOR PLANNING
S87 OF THE *PLANNING AND DEVELOPMENT ACT 2005*

DATE _____