

**Vision surveys**

Consulting  
 T: (08) 6144 0000 F: (08) 6144 0099  
 59 SCARBOROUGH BEACH RD,  
 SCARBOROUGH WA 6019  
 Email: info@visionsurveys.com.au  
 www.visionsurveys.com.au

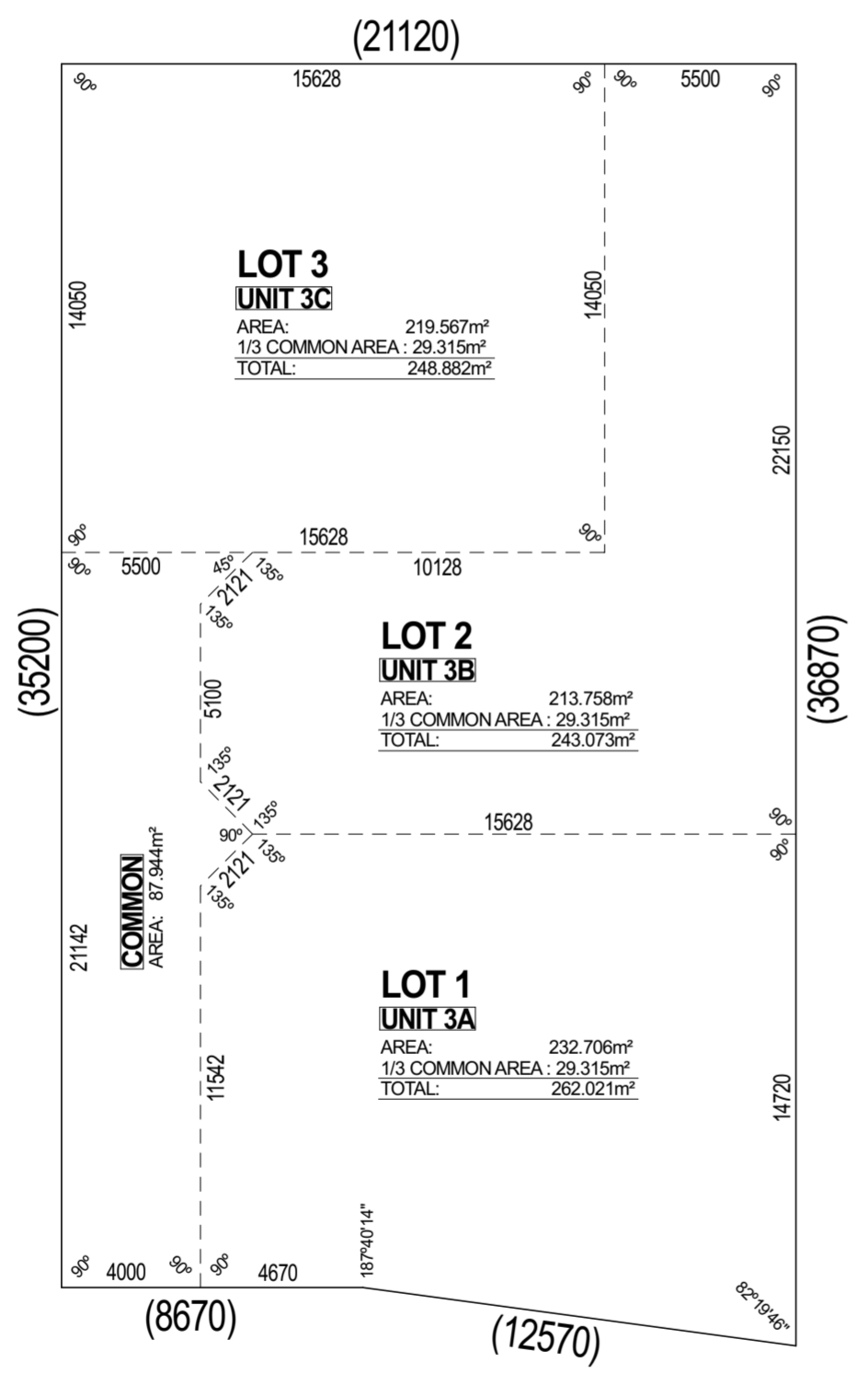
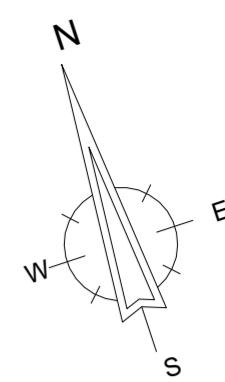
**FEATURE SURVEY**

CLIENTS DETAILS:  
 Chris Higgins

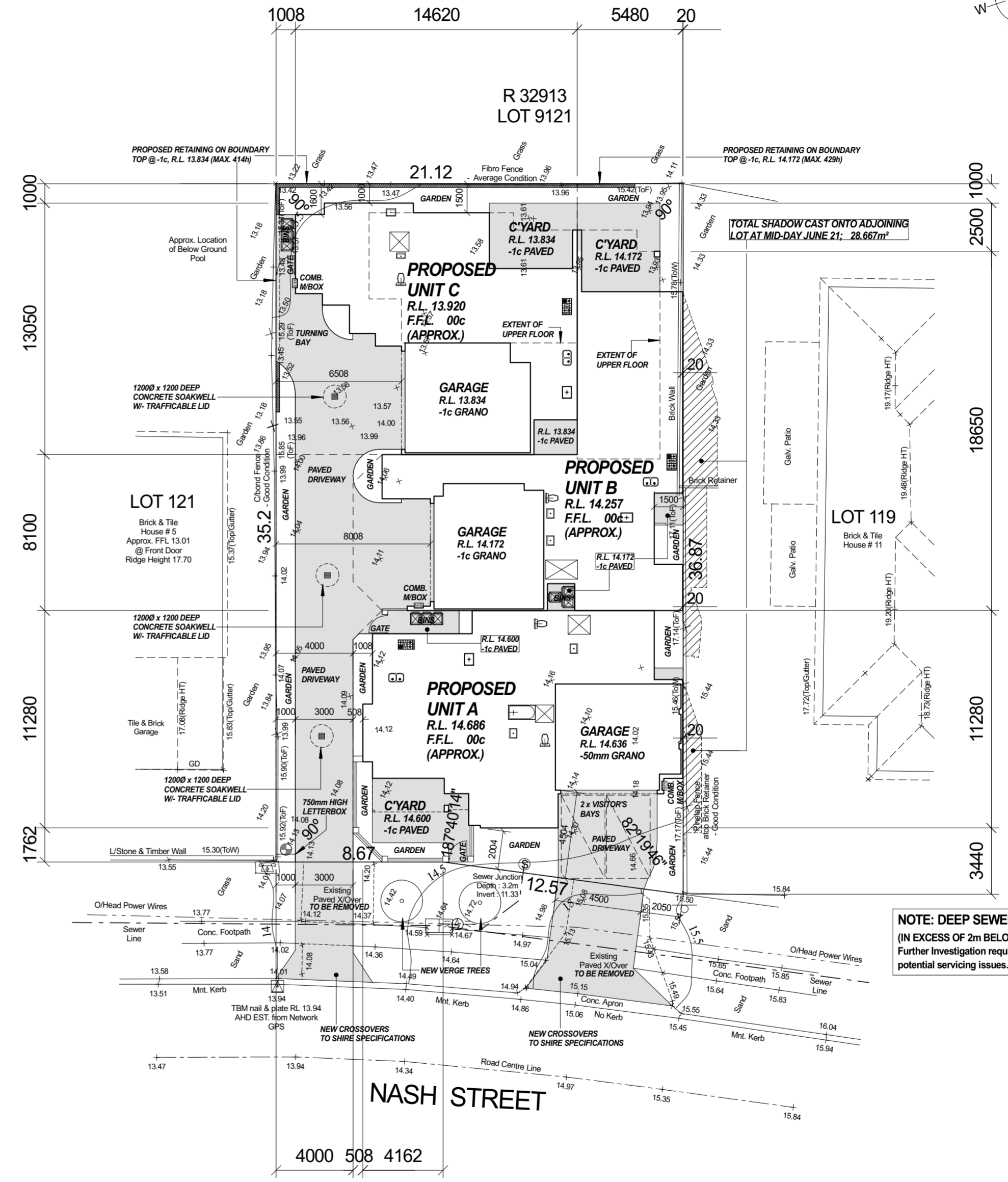
STREET NAME:	LOT #:	HOUSE #:	SUBURB:	LOCAL AUTHORITY:	LOT AREA:	R CODE:	LEVEL DATUM:	DWG REF:	SURVEY DATE:
Nash Street	120	3	Hillarys	City of Joondalup	754m <sup>2</sup>	R20/60	AHD (Approx.)	Nash 3 F - v1.0	17/02/2020
LEGEND									
WATER METER	SEWER AC	TELSTRA PIT	POWER POLE	TREE (TO SCALE)	GM	GAS METER			
TEMP BENCHMARK	SEWER CONN	GD	GARAGE DOOR	SIGN POLE	PB	POWER BOX			
PLAN / DIAG / SP	P 9879	TELSTRA	YES						
ELECTRICITY	OVERHEAD	SEWERAGE	YES						
WATER	CONNECTION	DRAINAGE	GOOD						
GAS	YES	VEG / SOIL	AS DESCRIBED						

**IMPORTANT NOTES:**  
 THE BOUNDARY CANNOT BE VERIFIED DUE TO LACK OF SURVEY MARKS/ PEGS. ALL BUILDING DIMENSIONS & FEATURES ARE APPROXIMATE. ONLY BOUNDARY POSITIONS HAVE BEEN TAKEN FROM BUILDINGS, FENCING, RETAINING WALLS AND OTHER TYPICAL FEATURES LOCATED ON THE BOUNDARY WHICH MAY OR MAY NOT BE ON THE CORRECT ALIGNMENT AND ARE TO BE VERIFIED WHEN REPEGGED.  
 BEFORE ANY WORK IS STARTED ON SITE OR PLANS ARE PRODUCED BY DESIGNERS/ ARCHITECTS, THE BOUNDARIES MUST BE REPEGGED AND EXACT OFFSETS MEASURED TO EXISTING STRUCTURES AND FENCING. VISION SURVEYS ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING BUT NOT LIMITED TO ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE OF THIS SURVEY.  
 THIS PLAN IS INTENDED FOR THE DEPT OF PLANNING & INFRASTRUCTURE ONLY.  
 SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK WITH APPROPRIATE AUTHORITY BEFORE ADOPTION OF POSITION.  
 CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

PCG94 CO-ORDS

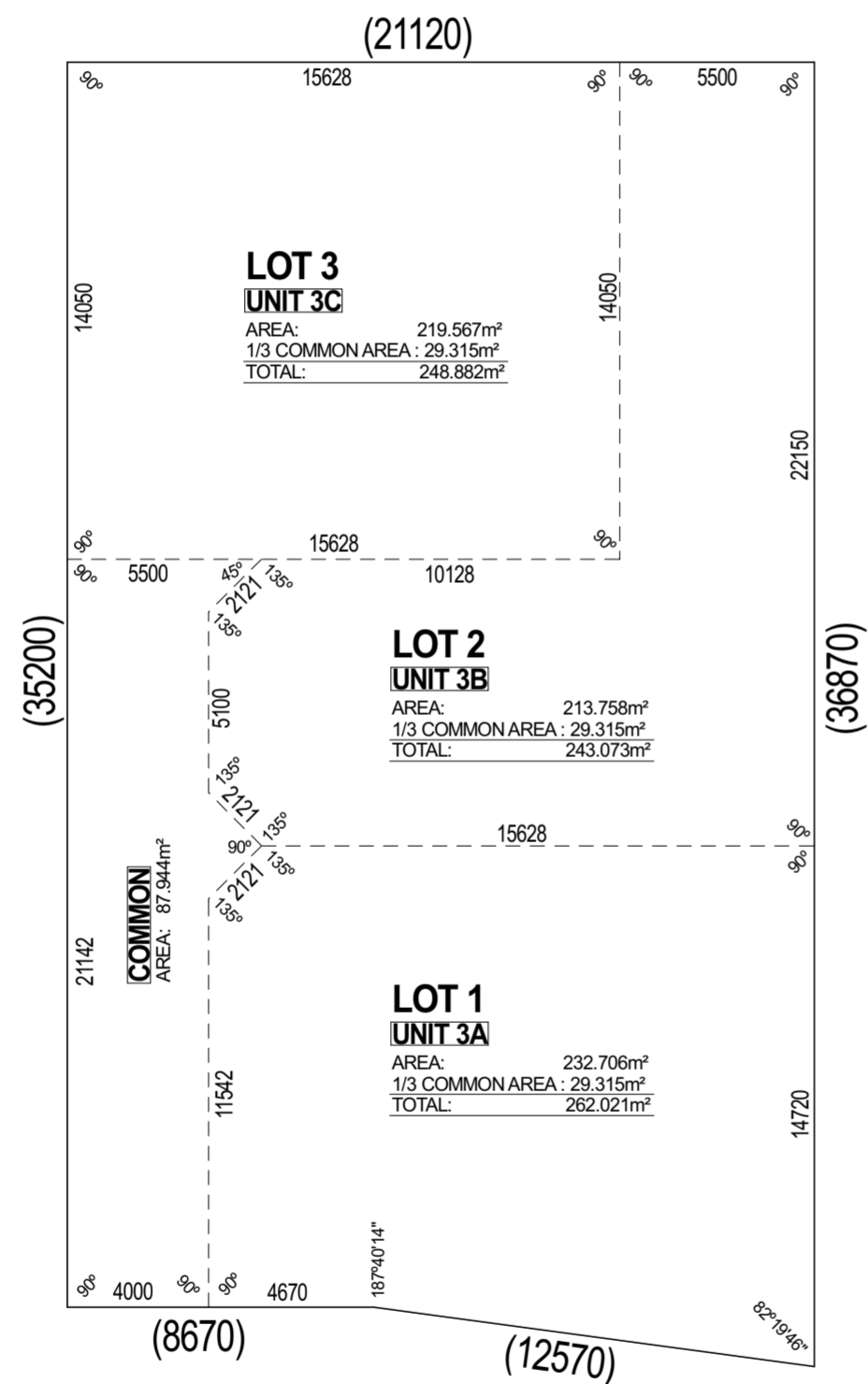


**SITE ALLOCATION PLAN**  
 SCALE 1:200

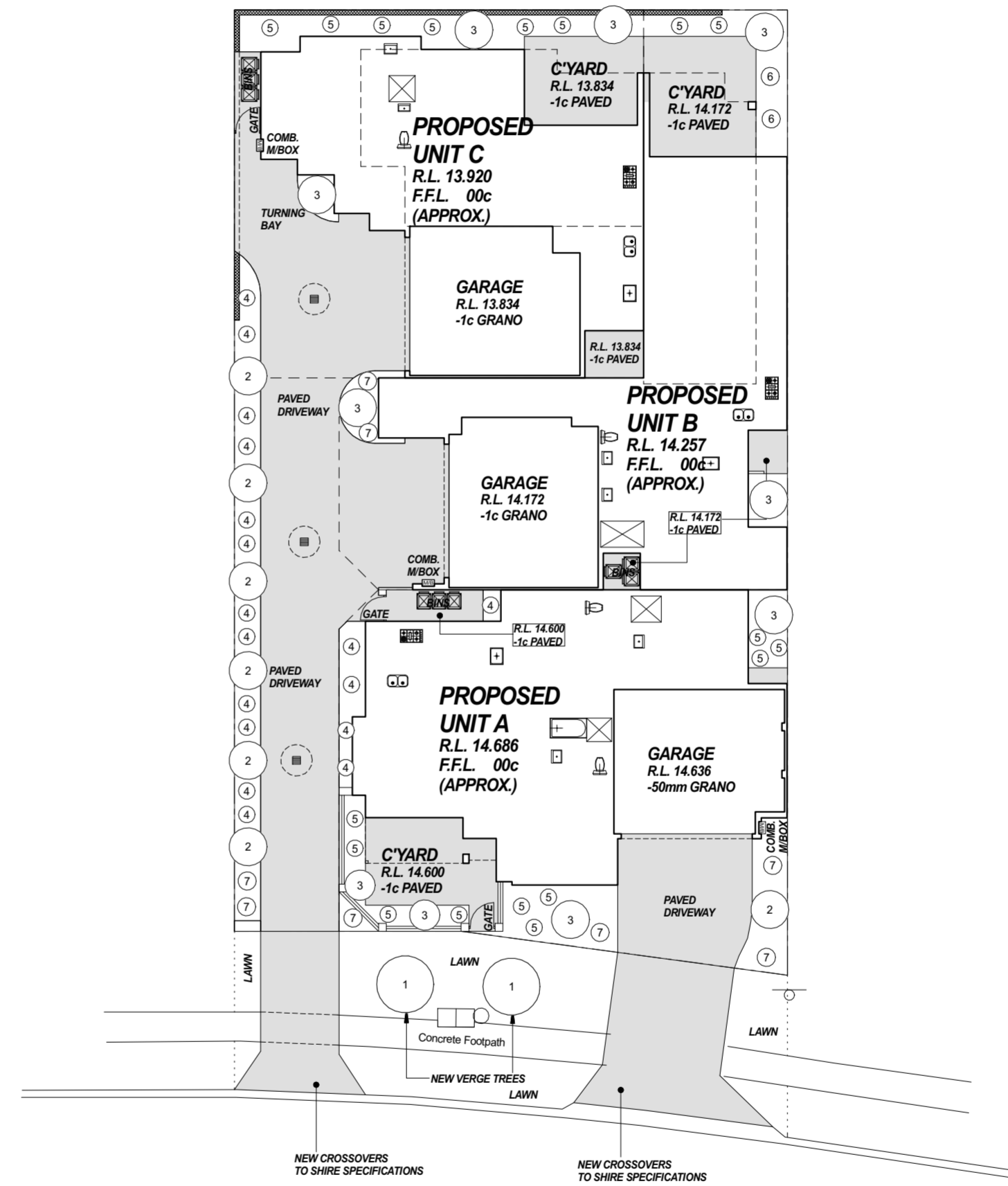


**NOTE: DEEP SEWER.**  
 (IN EXCESS OF 2m BELOW SURFACE)  
 Further investigation required for potential servicing issues.

18-5-20	PLANNING REVISIONS	peter fryer design M 0415 916 580 E peterfryer@inet.net.au P.O. Box 361 Subiaco WA. 6904	© Copyright CLIENT: AMCO Technologies Pty Ltd	SITE PLAN SCALE 1:200 ADDRESS: LOT 120 (#03) NASH STREET HILLARYS	DRAWN: PJTAYLOR	JOB No:
	date				amendments	
				SCALE: 1:200	SHEET 1 OF 5	



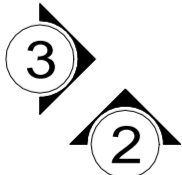
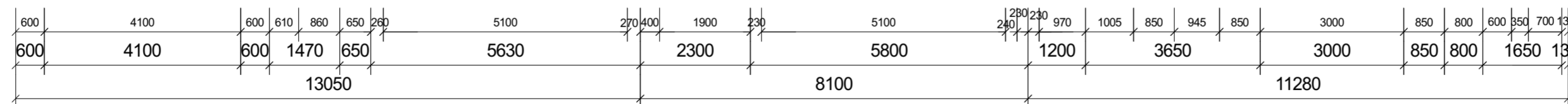
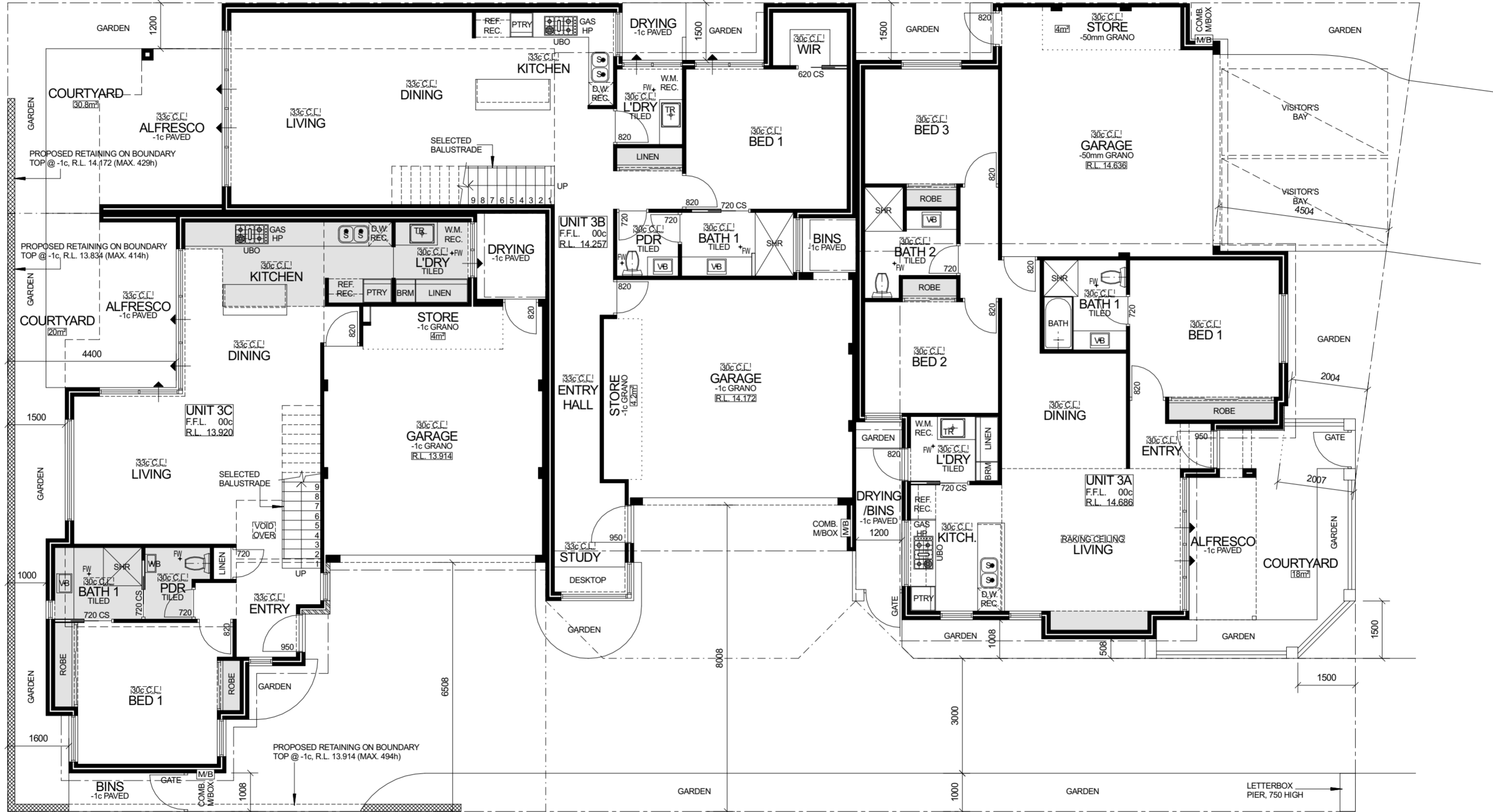
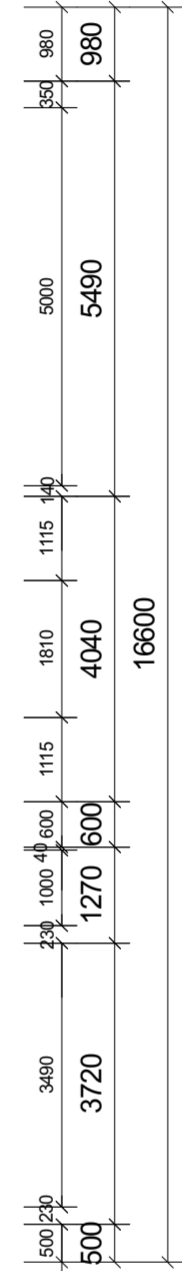
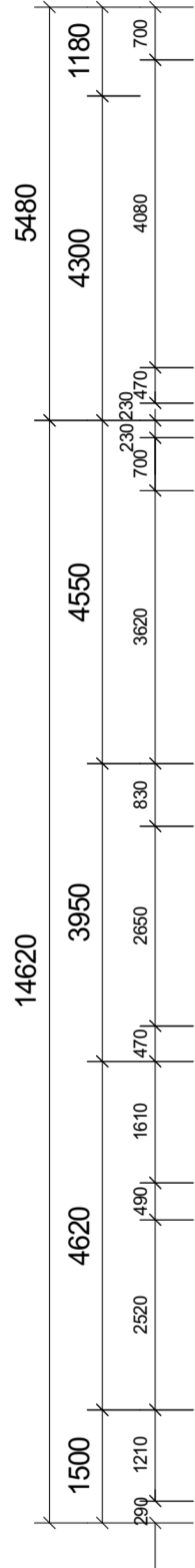
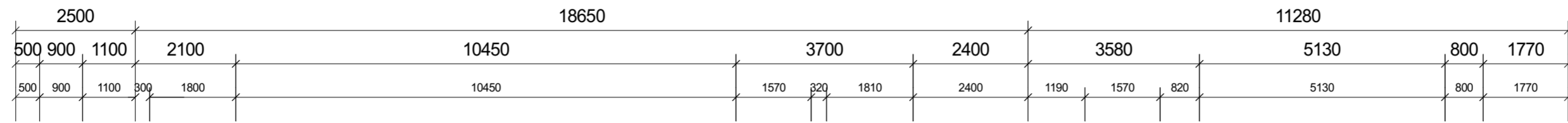
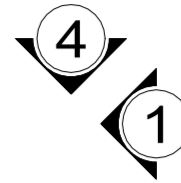
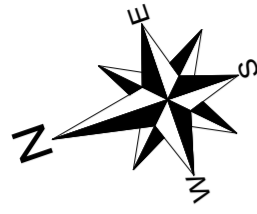
SITE ALLOCATION PLAN  
 SCALE 1:200



LANDSCAPING LEGEND		MATURE SIZE
1.	TO BE NOMINATED BY CITY'S ARBORIST (Verge Tree)	
2.	PYRUS USSURIENSIS	30LT 9.0m H x 7.0m W
3.	PRUNUS NIGRA	12LT 5.0m H x 4.0m W
4.	DIANELLA REVOLUTA	17cm 0.5m H x 0.5m W
5.	VIBURNUM TINUS	17cm 3.0m H x 2.0m W
6.	WESTRINGIA FRUTICOSA	17cm 2.0m H x 4.0m W
7.	TRACHELOSPODIUM JASMINOIDES	17cm 0.2m H x 3.0m W

NOTE:  
 - ALL GARDEN BEDS TO BE PROVIDED WITH NEW QUALITY SOIL AND MULCHED WITH 75mm OF KARRI MULCH.  
 - PROVIDE FULL INSTALLED AUTOMATIC RETICULATION SYSTEM TO ALL GARDEN AREAS, PLANTS & LAWN.  
 - RETICULATED LAWN TO VERGE.

		<b>peter fryer design</b>	© Copyright	<b>LANDSCAPING PLAN</b>		DRAWN: PJTAYLOR	
		M 0415 916 580 E peterfryer@inet.net.au P.O. Box 361 Subiaco WA. 6904	CLIENT: AMCO Technologies Pty Ltd	SCALE 1:200		DATE: APRIL 2020	JOB No:
18-5-20	PLANNING REVISIONS			ADDRESS: LOT 120 (#03) NASH STREET HILLARYS		SCALE: 1:200	
date	amendments	RESIDENTIAL BUILDING DESIGN / INTERIORS					SHEET 1a OF 5



TOTAL LOT AREA: 754m<sup>2</sup>  
 TOTAL O/SPACE: 326.044m<sup>2</sup> (43.2%)

AREA (UNIT 3C):  
 ground floor: 91.810m<sup>2</sup>  
 garage/store: 37.986m<sup>2</sup>  
 alfresco: 9.100m<sup>2</sup>  
 upper floor: 59.678m<sup>2</sup>  
 balcony: 6.513m<sup>2</sup>  
 Total: 205.087m<sup>2</sup>

AREA (UNIT 3B):  
 ground floor: 112.440m<sup>2</sup>  
 garage/store: 38.262m<sup>2</sup>  
 alfresco: 9.030m<sup>2</sup>  
 upper floor: 46.354m<sup>2</sup>  
 balcony: 3.410m<sup>2</sup>  
 Total: 209.496m<sup>2</sup>

AREA (UNIT 3A):  
 ground floor: 110.227m<sup>2</sup>  
 garage/store: 37.207m<sup>2</sup>  
 alfresco: 6.510m<sup>2</sup>  
 Total: 153.944m<sup>2</sup>

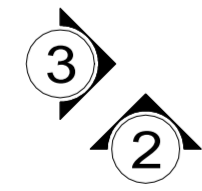
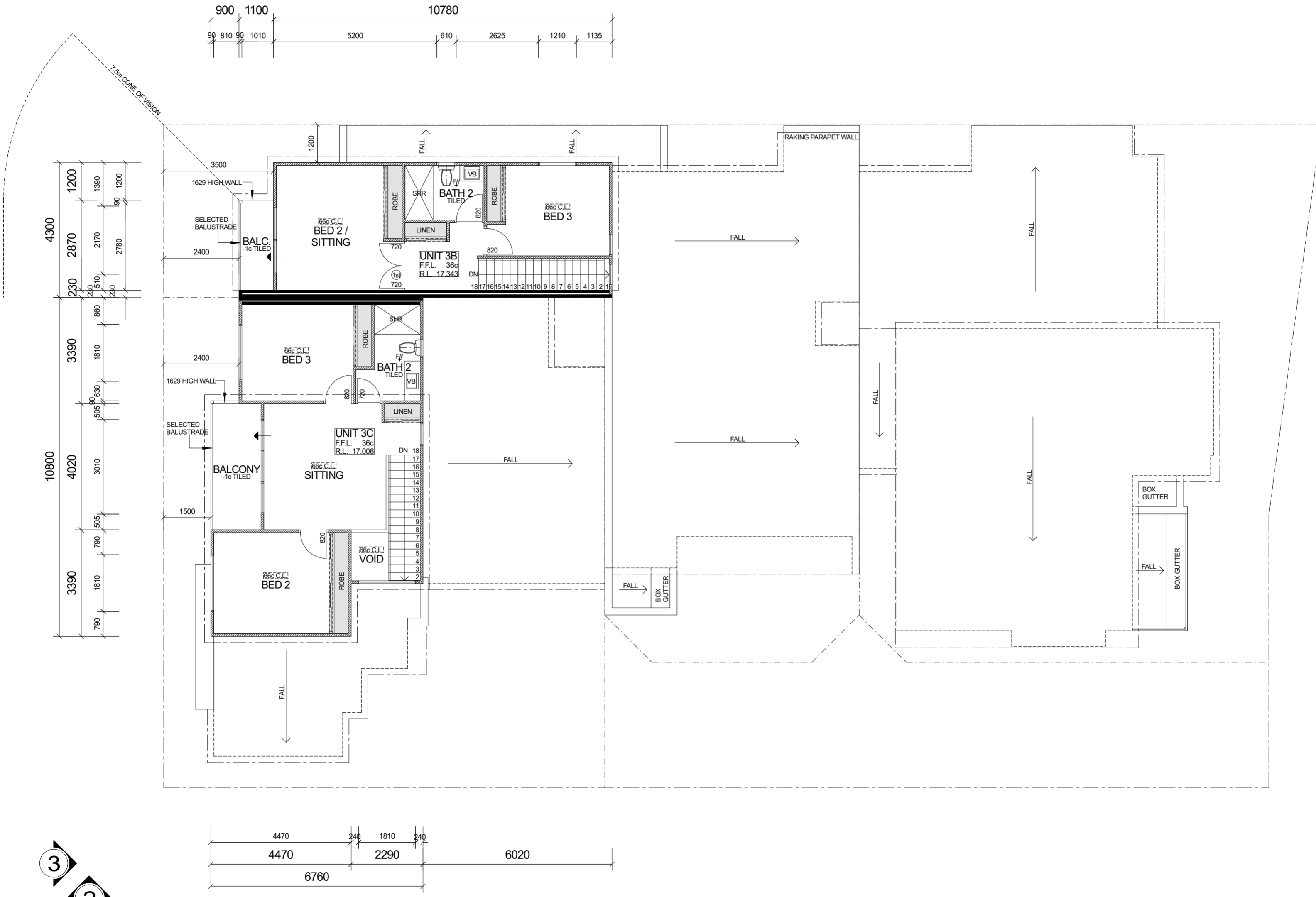
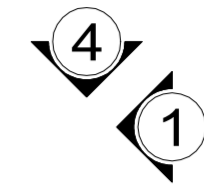
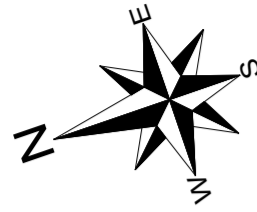
LOT 3 AREA: 248.882m<sup>2</sup>  
 O/SPACE: 119.086m<sup>2</sup> (47.8%)

LOT 2 AREA: 243.073m<sup>2</sup>  
 O/SPACE: 92.371m<sup>2</sup> (38.0%)

LOT 1 AREA: 262.021m<sup>2</sup>  
 O/SPACE: 114.587m<sup>2</sup> (43.7%)

BRICKWORK LEGEND	
	90mm RENDERED BRICKWORK
	110mm FEATURE FACE BRICK
	90mm STUD FRAMING

<p><b>peter fryer design</b>          M 0415 916 580          E peterfryer@inet.net.au          P.O. Box 361 Subiaco W.A. 6904</p>		<p>© Copyright          CLIENT:  <b>AMCO Technologies Pty Ltd</b></p>	<p>GROUND FLOOR PLAN          SCALE 1:100          ADDRESS:  <b>LOT 120 (#03)          NASH STREET          HILLARYS</b></p>	<p>DRAWN:          PJTAYLOR          DATE:          APRIL 2020          SCALE:          AS SHOWN</p>	<p>JOB No:          SHEET 2 OF 5</p>

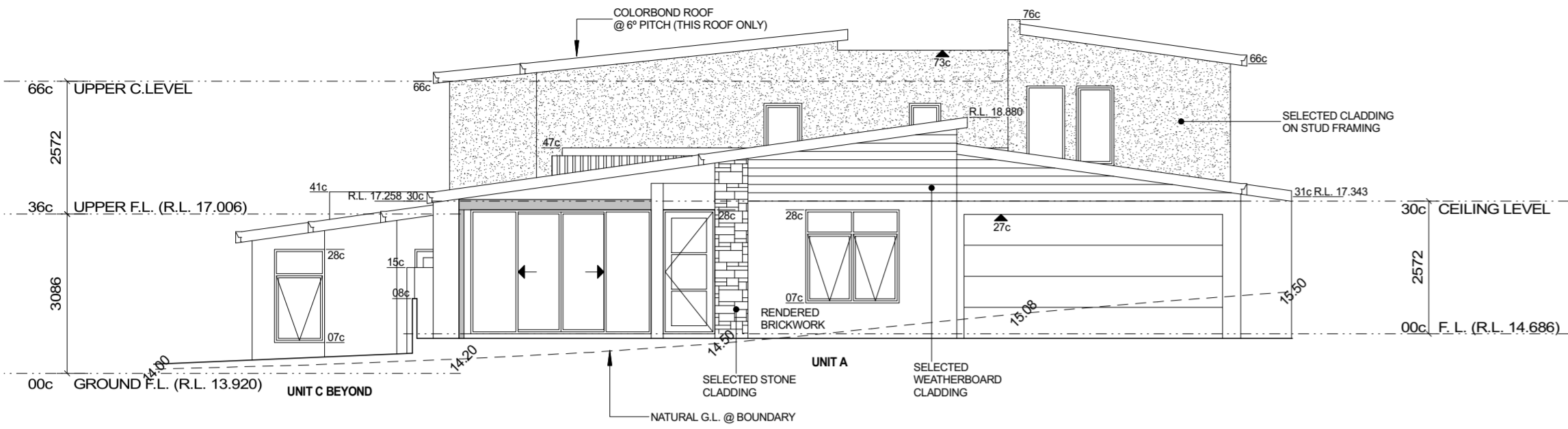


**BRICKWORK LEGEND**

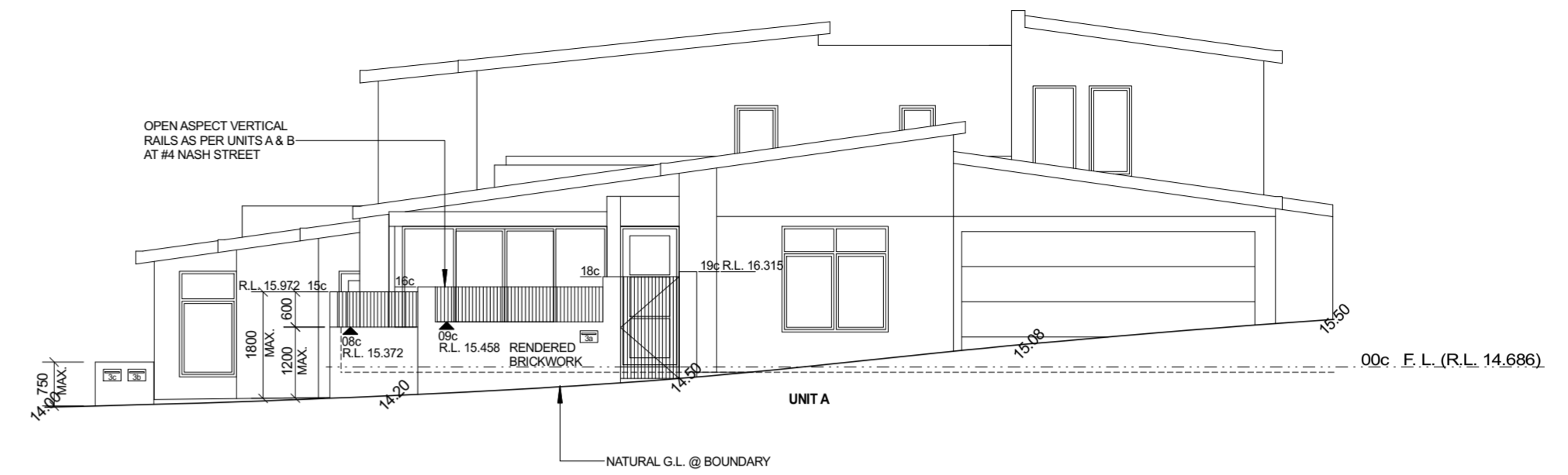
- 90mm RENDERED BRICKWORK
- 110mm FEATURE FACE BRICK
- 90mm STUD FRAMING

	<p><b>peter fryer design</b></p> <p>M 0415 916 580 E peterfryer@inet.net.au P.O. Box 361 Subiaco W.A. 6904</p>	<p>© Copyright</p> <p>CLIENT: <b>AMCO Technologies Pty Ltd</b></p>	<p><b>FIRST FLOOR PLAN</b> SCALE 1:100</p> <p>ADDRESS: <b>LOT 120 (#03) NASH STREET HILLARYS</b></p>	<p>DRAWN: PJTAYLOR</p> <p>DATE: APRIL 2020</p> <p>SCALE: AS SHOWN</p> <p>JOB No:</p> <p>SHEET <b>3</b> OF <b>5</b></p>
18-5-20	PLANNING REVISIONS	RESIDENTIAL BUILDING DESIGN / INTERIORS		
date	amendments			

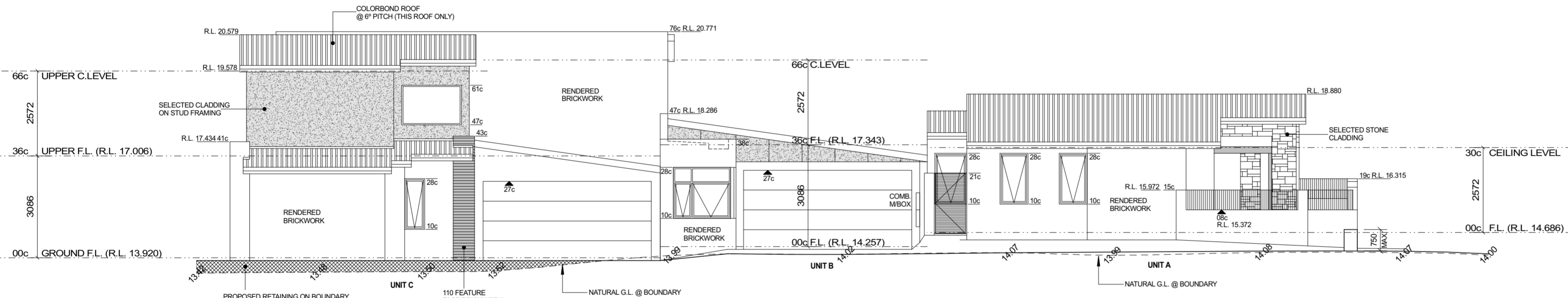
COLORBOND ROOF @ 8° PITCH  
(UNLESS NOTED OTHERWISE)



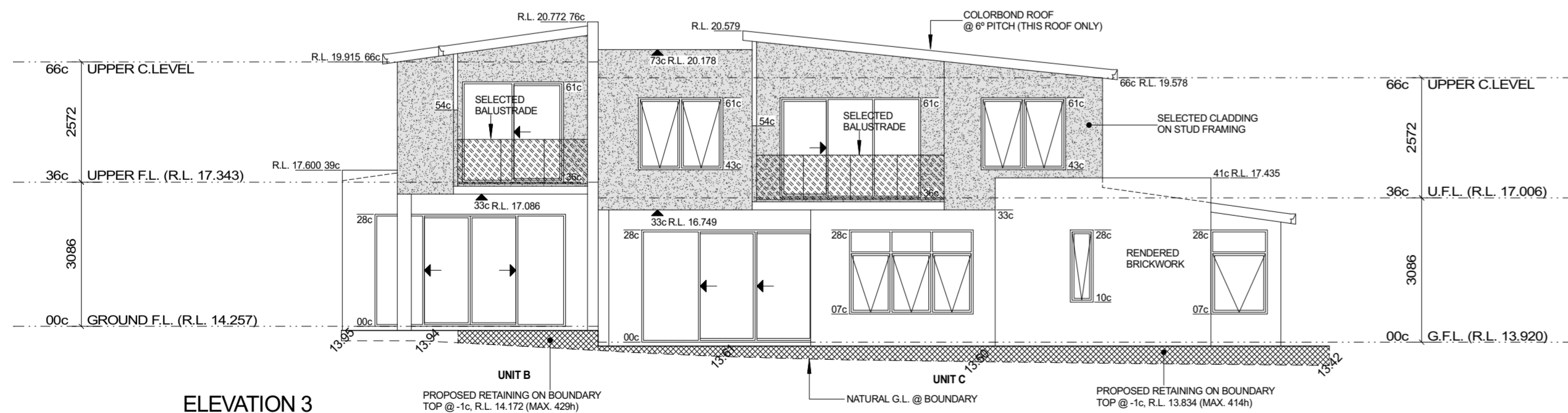
ELEVATION 1  
SCALE 1:100



ELEVATION 1 (SCREEN WALLS)  
SCALE 1:100

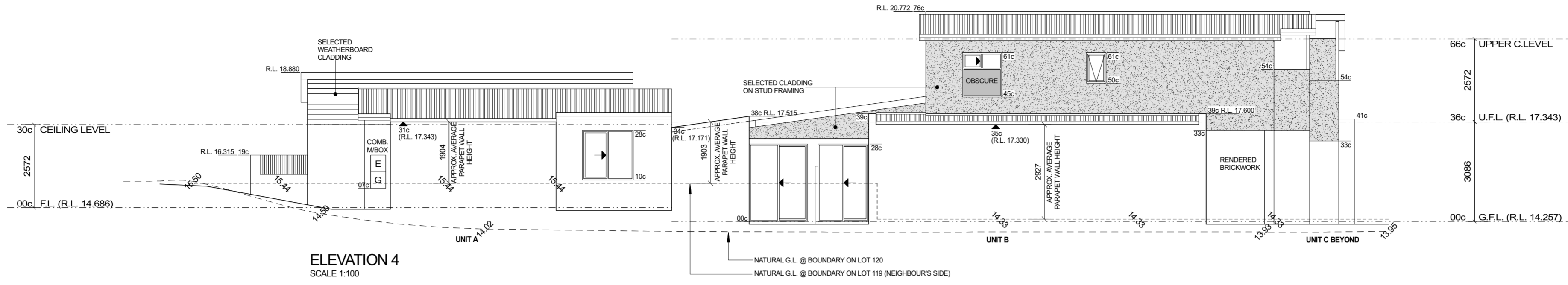


ELEVATION 2  
SCALE 1:100



ELEVATION 3  
SCALE 1:100

		<p><b>peter fryer design</b> M 0415 916 580 E peterfryer@inet.net.au P.O. Box 361 Subiaco W.A. 6904</p>	<p>© Copyright CLIENT: AMCO Technologies Pty Ltd</p>	<p>ELEVATIONS SCALE 1:100 ADDRESS: LOT 120 (#03) NASH STREET HILLARYS</p>	<p>DRAWN: PJ TAYLOR</p>	
18-5-20	PLANNING REVISIONS				<p>DATE: APRIL 2020</p>	<p>JOB No:</p>
date	amendments	RESIDENTIAL BUILDING DESIGN / INTERIORS			<p>SCALE: AS SHOWN</p>	<p>SHEET 4 OF 5</p>



ELEVATION 4  
SCALE 1:100

		<p><b>peter fryer design</b> M 0415 916 580 E peterfryer@inet.net.au P.O. Box 361 Subiaco W.A. 6904</p>	<p>© Copyright CLIENT: AMCO Technologies Pty Ltd</p>	<p>ELEVATIONS SCALE 1:50 ADDRESS: LOT 120 (#03) NASH STREET HILLARYS</p>	<p>DRAWN: PJTAYLOR</p>	
					<p>18-5-20 PLANNING REVISIONS</p>	<p>DATE: APRIL 2020</p>
date	amendments	RESIDENTIAL BUILDING DESIGN / INTERIORS			SCALE: AS SHOWN	SHEET 5 OF 5