

COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors

97-89 Guthrie Street, Osborne Park, Western Australia
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2988
Email: perth@cottage.com.au Website: www.cottage.com.au

Builder: Giorgi Architects and Builders
CLIENT: McNamara
STRATA LOT 1 #38 Raleigh Road, Sorrento

OLD AREA ZONING: C
DATE: 16 Mar 20
SCALE: DRAWN: 1:200
J/N: 466782
Weightman

SEC Dome
Power Pole
Phone Pits
Water Conn.
TP 10.001 Top Pile/Post
TP 10.001 Top Wall
TP 10.001 Top Fence

Original Lot 244 on Plan 5180

DISCLAIMER:
Plans drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and monuments. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Plans show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any works.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours on this survey. All structures shown are based on the date on this survey. All structural details are based on information supplied by Water Corporation.

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset measurements are based on existing boundaries and walls which may not be on the correct alignment and are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures shown is to be re-pegged and exact offsets provided to your designer/architect before any plans are produced.

WARNING:
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware of any existing private sewer lines. Strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

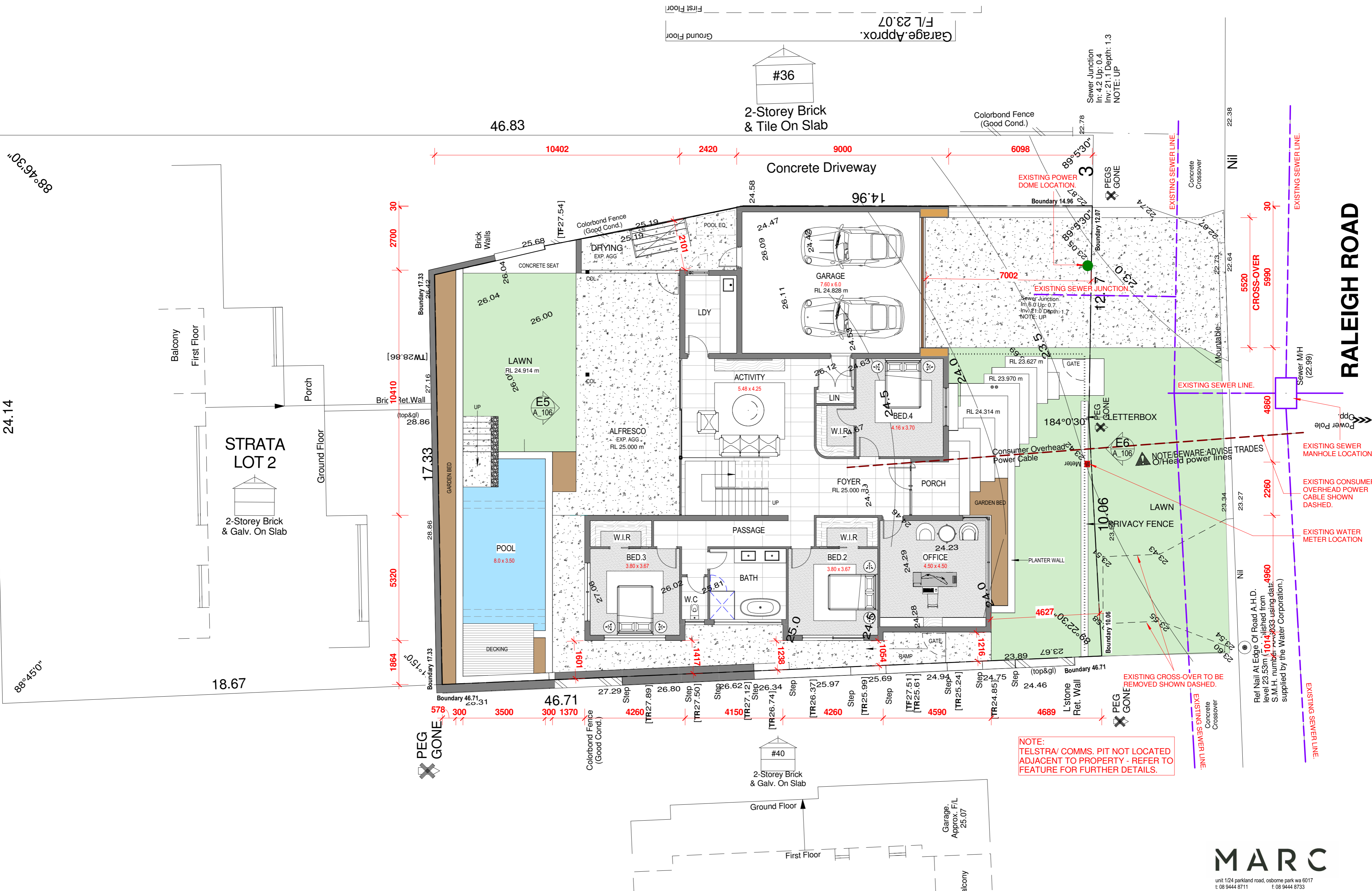
▲ NOTE:
TELSTRA/COMMS. PIT NOT LOCATED
CHECK TO OBTAIN NAME OF SUPPLY
METER AVAILABILITY WITH TESTS.

LOT MISCLOSE
0.004 m

SOIL DESCRIPTION
Sand
Refer to Survey

Scale 1:200

0 2 4 6 8



McNAMARA RESIDENCE
 38 RALEIGH ROAD, SORRENTO

SITE PLAN - SK04

MARC
 unit 1/24 parkland road, osborne park wa 6017
 t: 08 9444 8711 f: 08 9444 8733
 www.makeyoumarc.com.au
 Sheet Size A2
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JOB NUMBER: A_102
 DRAWING NO.: A_102
 SCALE: 1:100
 DATE: MAY 2020

NOTE:
 TELSTRA/ COMMS. PIT NOT LOCATED
 ADJACENT TO PROPERTY - REFER TO
 FEATURE FOR FURTHER DETAILS.

EXISTING CROSS-OVER TO BE
 REMOVED SHOWN DASHED.

EXISTING SEWER
 MANHOLE LOCATION.
 EXISTING CONSUMER
 OVERHEAD POWER
 CABLE SHOWN
 DASHED.
 EXISTING WATER
 METER LOCATION

Ref Nail At Edge Of Road A.H.D.
 level 23.53m (1014 finished from
 S.M.H. number 1014 using data 4960
 supplied by the Water Corporation.)

RALEIGH ROAD

EXISTING SEWER LINE.

EXISTING SEWER LINE.

EXISTING SEWER LINE.

EXISTING SEWER JUNCTION.

EXISTING POWER
 DOME LOCATION.

Sewer Junction
 In: 4.2 Up: 0.4
 Inv: 21.1 Depth: 1.3
 NOTE: UP

Garage Approx. F/L 23.07

#36
 2-Storey Brick
 & Tile On Slab

Ground Floor
 First Floor

#40
 2-Storey Brick
 & Galv. On Slab

Ground Floor

Garage Approx. F/L 25.07

Balcony

Balcony
 First Floor

STRATA
 LOT 2
 2-Storey Brick
 & Galv. On Slab

Porch

Ground Floor

24.14

88°46'30"

18.67

46.83

10402

2420

9000

6098

Nil

5520

CROSS-OVER

5990

30

4860

EXISTING SEWER LINE.

2260

4671

2260

23.27

23.27

23.34

23.60

23.54

23.60

23.64

22.73

22.73

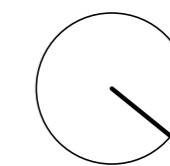
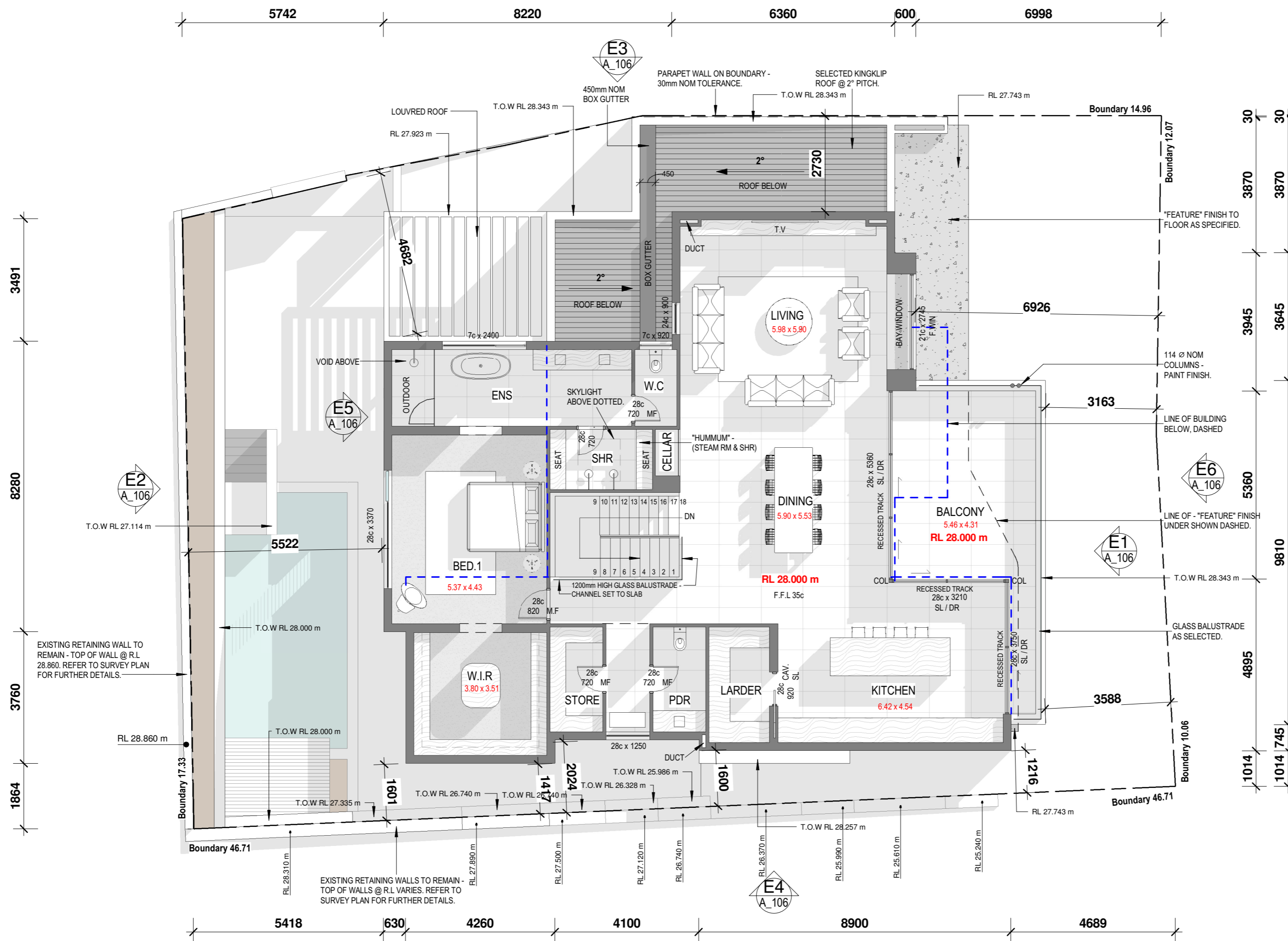
22.73

22.73

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MARC

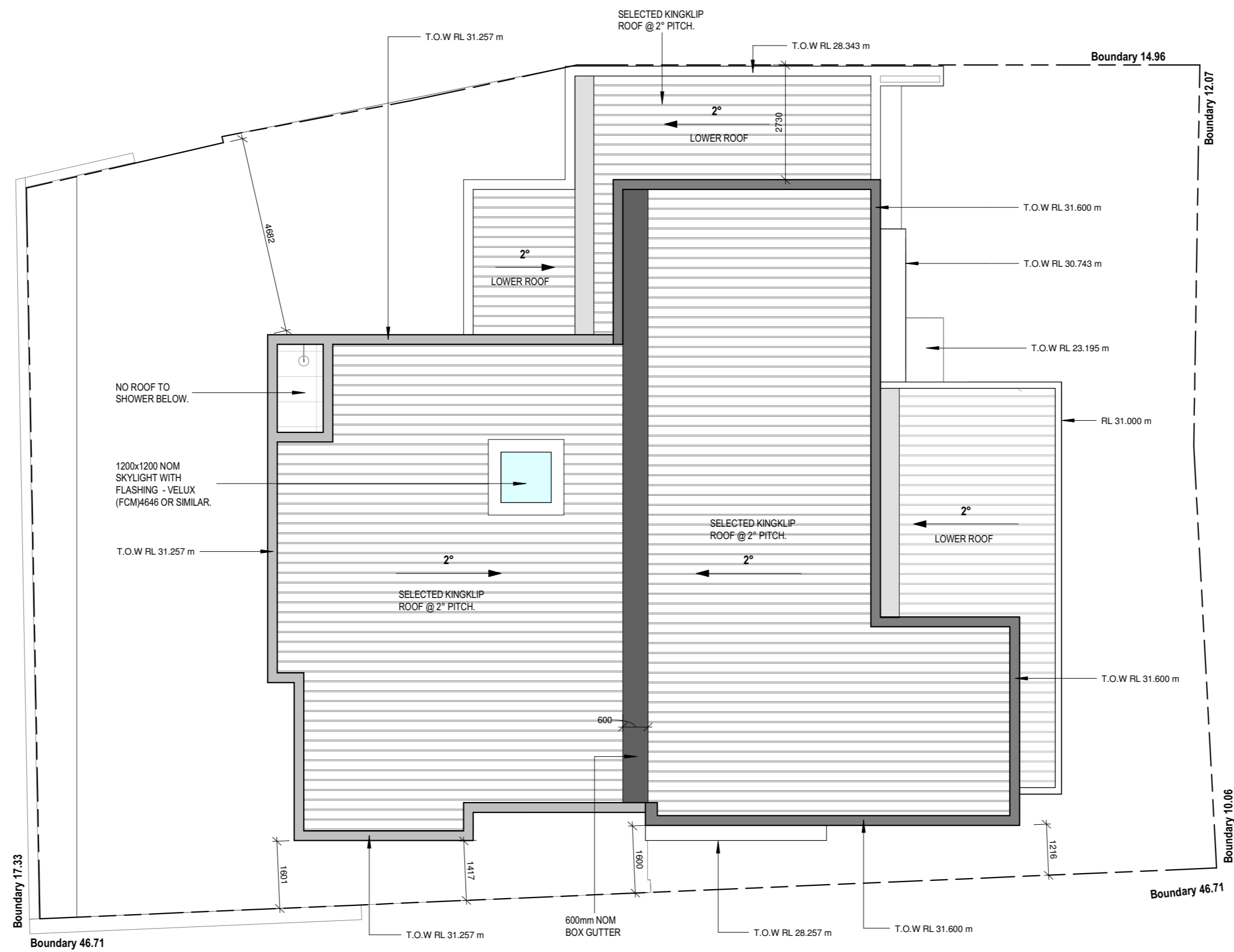
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UPPER FLOOR PLAN - SK04

JOB NUMBER: A_104
 DRAWING NO.: A_104
 SCALE: 1:100
 DATE: MAY 2020



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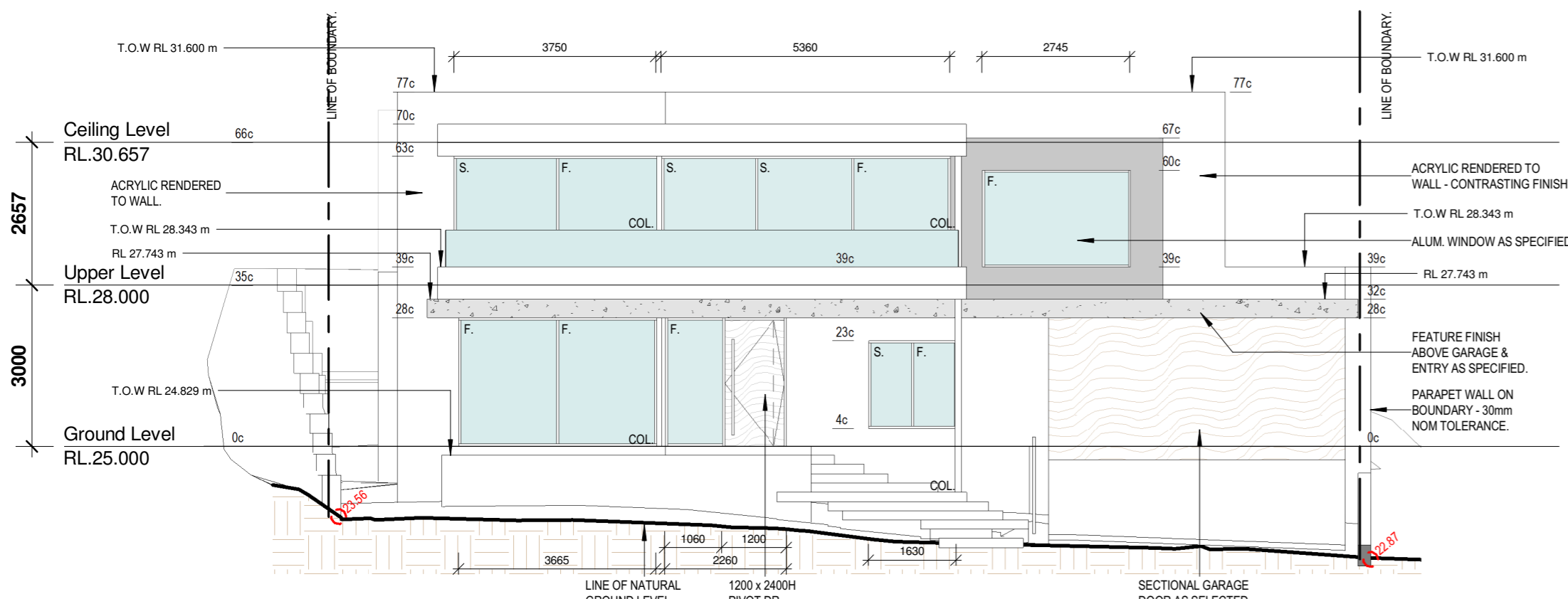
ROOF PLAN - SK04

MARC

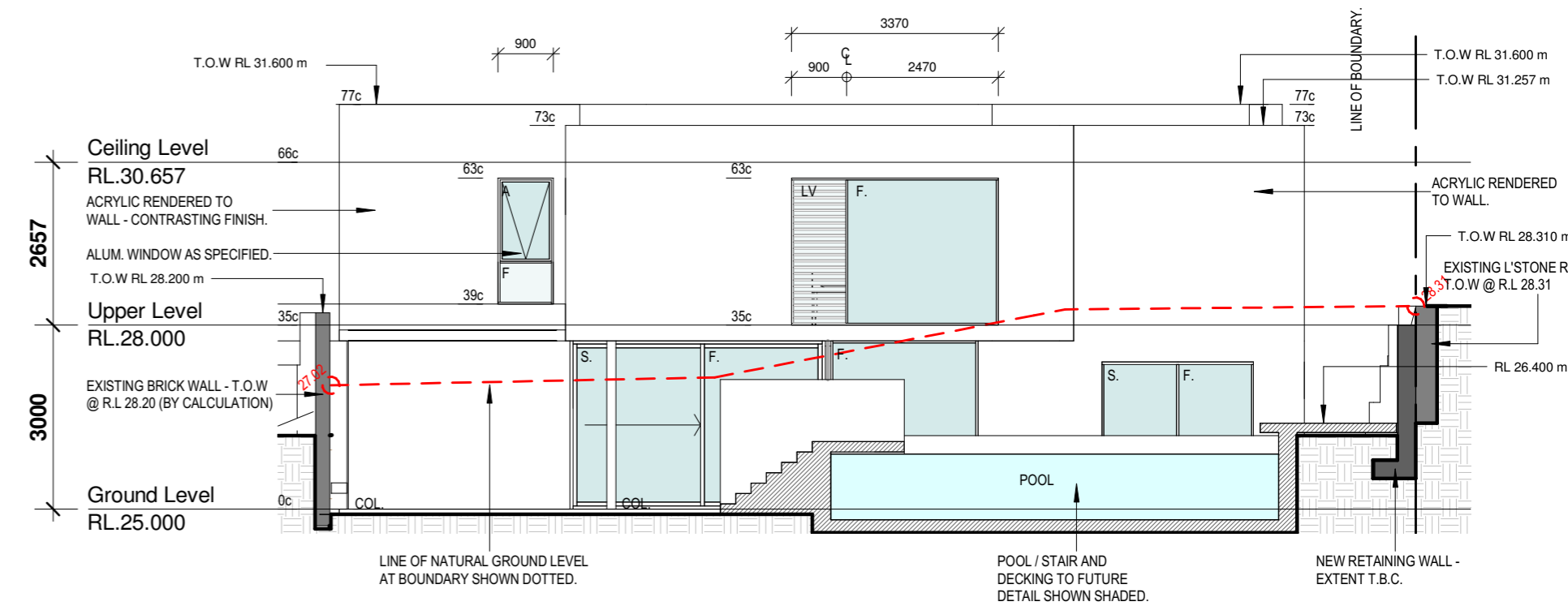
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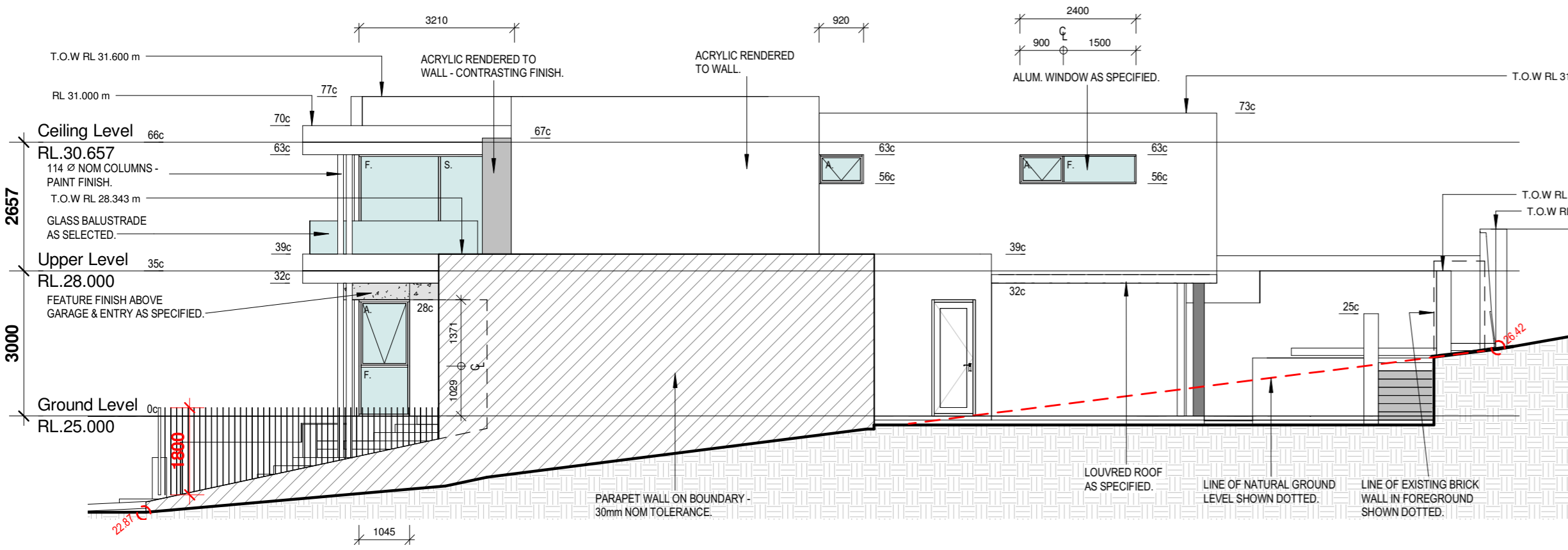
JOB NUMBER
 DRAWING NO. A_105
 SCALE 1 : 100
 DATE MAY 2020



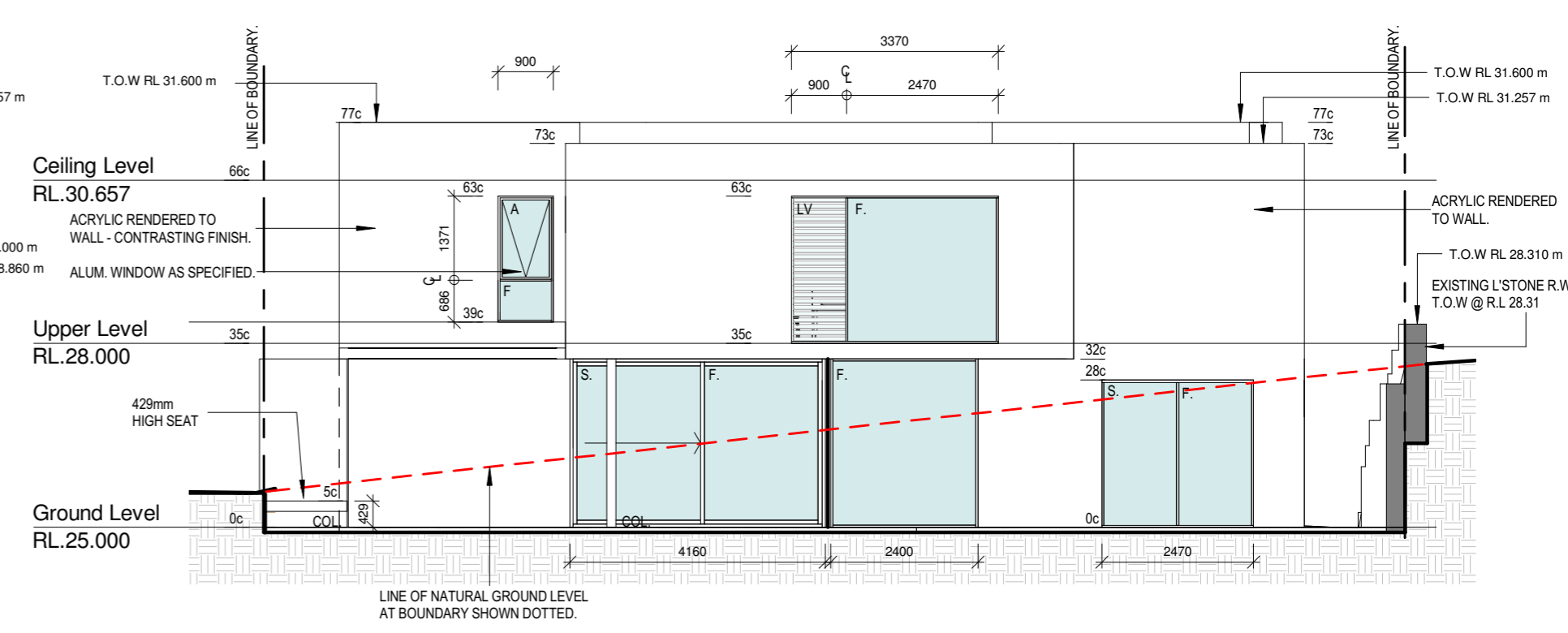
E1 NORTH WEST ELEVATION
A_103 SCALE: 1:100



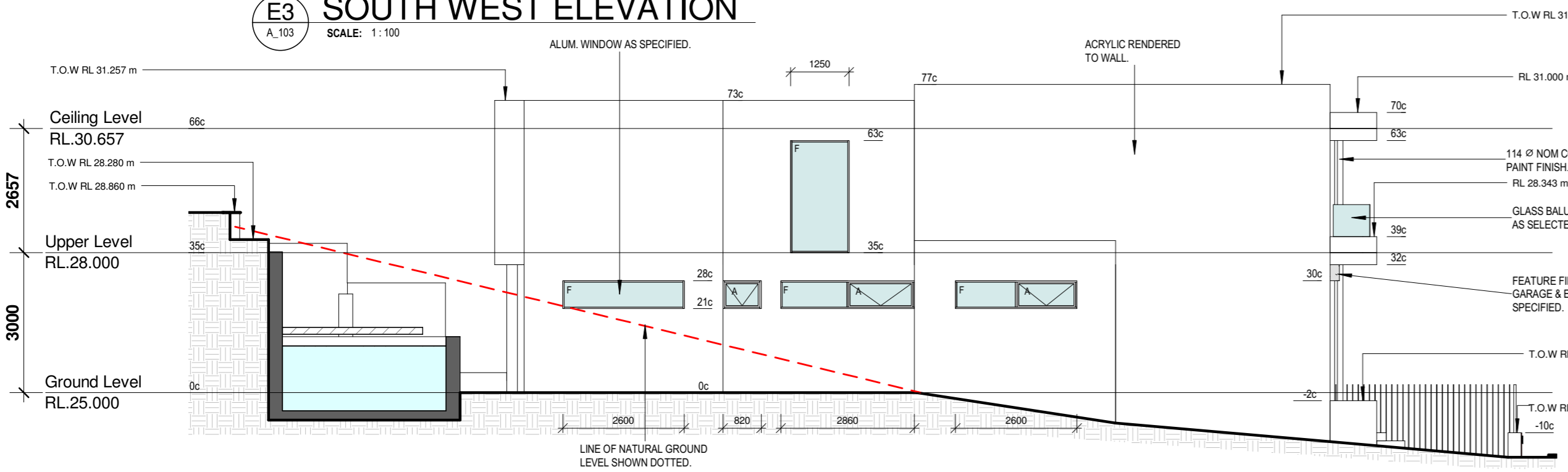
E2 SOUTH EAST ELEVATION
A_103 SCALE: 1:100



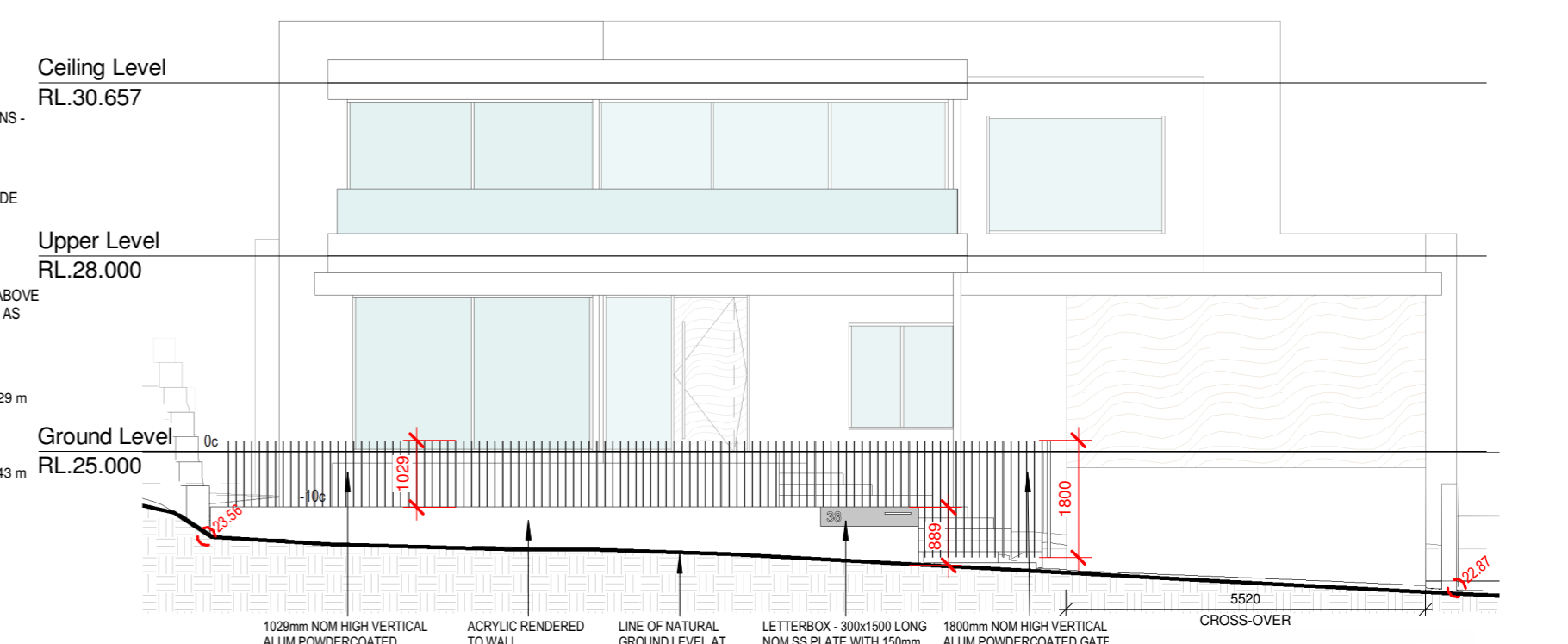
E3 SOUTH WEST ELEVATION
A_103 SCALE: 1:100



E5 ELEVATION 05
A_102 SCALE: 1:100



E4 SOUTH EAST ELEVATION
A_103 SCALE: 1:100



E6 FENCING ELEVATION
A_102 SCALE: 1:100

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ELEVATIONS - SK04

JOB NUMBER: A_106
DRAWING NO.: A_106
SCALE: 1:100
DATE: MAY 2020