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REVISION	VO #	DRN	DATE	CHK
PLANNING		JMS	22.04.20	
WDRAW		JMS	20.05.20	

CLIENT: _____
 DATE: _____
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 BUILDERS REPRESENTATIVE: _____
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LOT 44
 779 m²
 SANDY

NOTE:
 DO NOT SCALE FROM THIS DRAWING. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND COMMENCING OF ANY WORK.

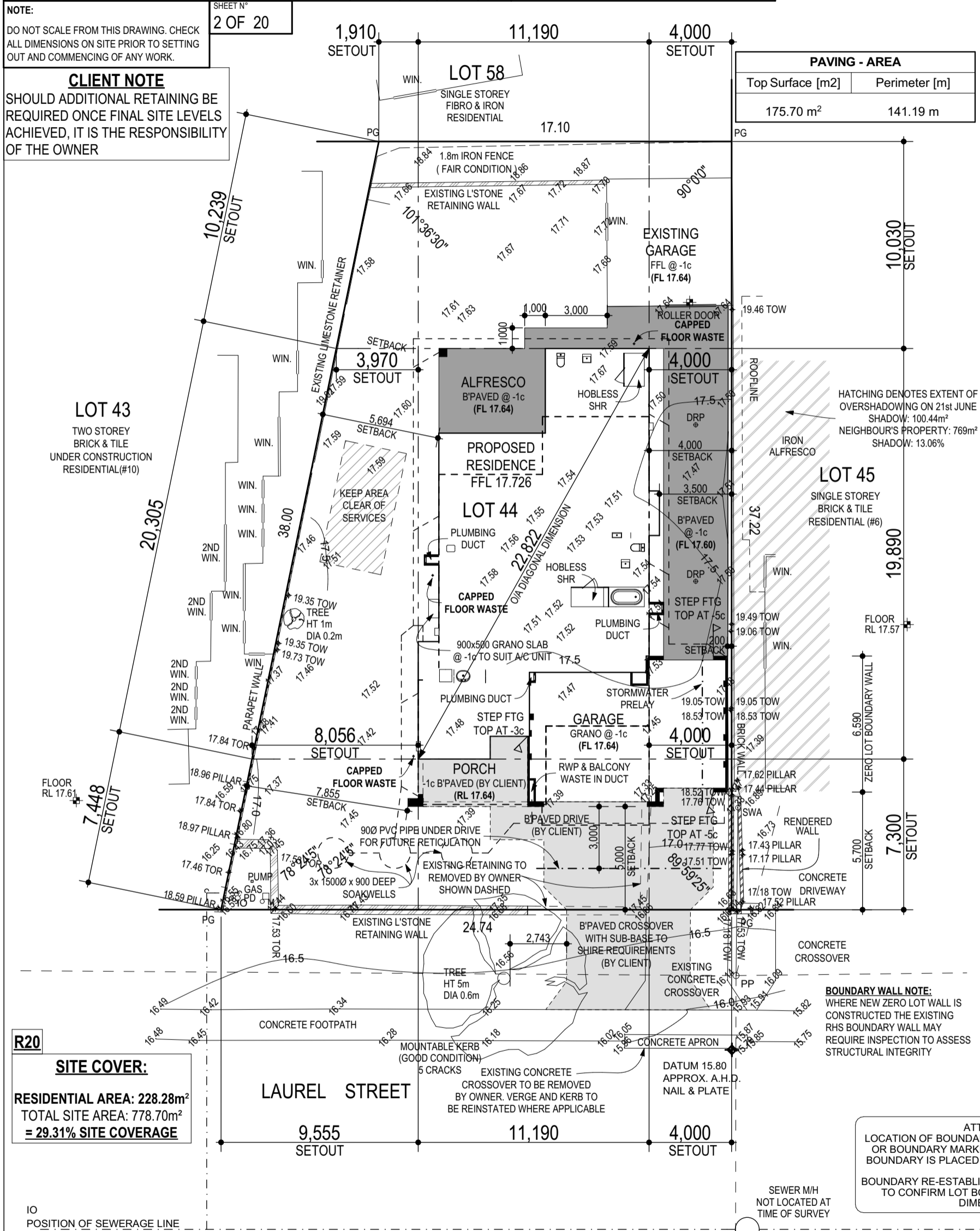
SHEET N°
2 OF 20

CLIENT NOTE
 SHOULD ADDITIONAL RETAINING BE REQUIRED ONCE FINAL SITE LEVELS ACHIEVED, IT IS THE RESPONSIBILITY OF THE OWNER

PAVING - AREA	
Top Surface [m ²]	Perimeter [m]
175.70 m ²	141.19 m

COMMON LEGEND

- PF PEG FOUND
- Pdist PEG DISTURBED
- PG PEG GONE
- ◆ DATUM / CONTROL
- SV STOP VALVE
- HY (GROUND) HYDRANT
- FP FLUSH POINT
- ⊗ TAP WATER TAP
- ⊗ MC METER CONNECTION
- M WATER METER
- DRAINAGE MANHOLE
- ▭ GRATE
- ▭ SIDE ENTRY PIT
- SEW SEWER MANHOLE
- IS INSPECTION SHAFT
- IO INSPECTION OPENING
- CP CONSUMER POLE
- PP POWER POLE
- LP LAMP POST
- SP STAY POLE
- PD POWER DOME / PILLAR
- TEL / NBN TELSTRA / NBN PIT
- GAS GAS METER
- ⊗ G GAS LINE MARKER (PT)
- 99 TOW TOP OF WALL
- 99 TOR TOP OF RETAINER
- 99 STILL STILL DEEPER
- 99 TOB TOP OF BACKING BLOCK
- 99 TOF TOP OF FOOTING
- 99 BOR BOTTOM OF RETAINER
- 99 BOF BOTTOM OF FENCE FRAME



R20
SITE COVER:
 RESIDENTIAL AREA: 228.28m²
 TOTAL SITE AREA: 778.70m²
 = 29.31% SITE COVERAGE

SERVICE INFORMATION

SEWERAGE: YES
 WATER: YES
 PRELAID: YES LEFT
 GAS: YES BTC
 COMM: YES
 POWER: U/G

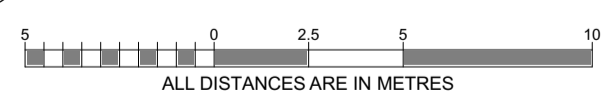
TBE - To Be Establish; BTC - Builder To Conform

THE INFORMATION ON THIS DRAWING IS CURRENT AS AT THE DATE OF SURVEY. SERVICES ARE TO BE CONFIRMED WITH RELEVANT AUTHORITIES. THIS INCLUDES WITHOUT LIMITATION; SEWERAGE, WATER SUPPLY, DRAINAGE, POWER SUPPLY, GAS SUPPLY & COMMUNICATIONS. FURTHER INTERESTS / NOTIFICATIONS / ENCUMBRANCES MAY BE LISTED ON THE CERTIFICATE OF TITLE.

ATTENTION!
 LOCATION OF BOUNDARY IN RELATION TO FENCES OR BOUNDARY MARKERS IS NOT GUARANTEED. BOUNDARY IS PLACED ARBITRARILY AS PER 'BEST FIT'. BOUNDARY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM LOT BOUNDARY POSITION AND DIMENSIONS.

IO
 POSITION OF SEWERAGE LINE AND SEWERAGE CONNECTION ARE APPROXIMATE ONLY
 SEWER INVERT LEVEL 15.21
 SEWER BROUGHT UP 0.7
 DEPTH TO CONNECTION 0.7

PROPOSED SITE PLAN

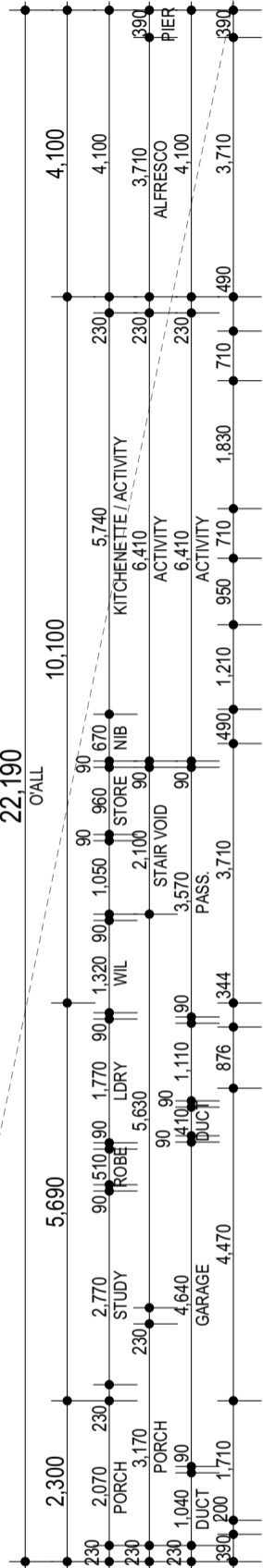


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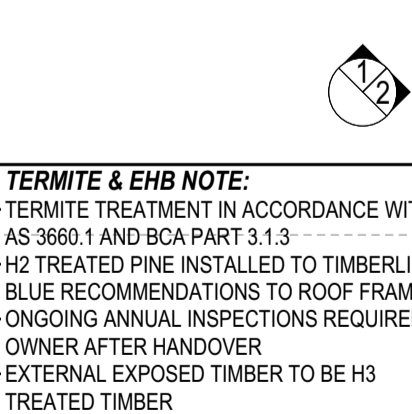
B					
A	05/03/2020	DETAIL SURVEY	SXC	DEM	
REV.	DATE OF SURVEY	DESCRIPTION	SURVEYOR	DRAFTER	CHECKED
BUILDER:	VENTURA HOMES		PLAN:	P 7206	
REF.:	2011168		C/T.:	N/A	
H. Grid:	LOCAL	A.H.D level: 17.29	A.H.D. value	SEWER M/H	Distance
V. Datum:	APPROX.	Local level: 17.29	derived from:	AB1815	from Datum: 87.04 m

CLIENT:	BRUCE	
PROJECT:	LOT 44 (#8) LAUREL STREET, MULLALOO	
AUTHORITY:	CITY OF JOONDALUP	
PLAN:	DETAIL SURVEY	
UBD MAP:	185 / 11 / 06	
PACKAGE:	SCALE: 1: 200 @ A3	
SHEET:	1 of 1	DRAWING No.: 231283
REV:	A	

LIN SHELVES SETOUT
SCALE 1:100



GROUND FLOOR PLAN
SCALE 1:100



TERMITE & EHB NOTE:
 • TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 AND BCA PART 3.1.3
 • H2 TREATED PINE INSTALLED TO TIMBERLINK BLUE RECOMMENDATIONS TO ROOF FRAMING
 • ONGOING ANNUAL INSPECTIONS REQUIRED BY OWNER AFTER HANDOVER
 • EXTERNAL EXPOSED TIMBER TO BE H3 TREATED TIMBER



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CLIENT: BRUCE
 ADDRESS: LOT 44 (#8) LAUREL STREET MULLALOO

SPECIAL	
SPEC V SPEC	DATE 22/04/2020
VERSION N° UPDATE 5	WIND RATING N2
MAP REF. 185/11/06	ENGINEERS DETAIL D10V
JOB N° 2011168	SHEET N° 5 OF 20

ROOF AREA[m2 ON THE FLAT]		91.05
AREAS - GROUND		
	PERIM. (m)	AREA (m ²)
HOUSE	65.96	162.49
GARAGE	33.96	63.51
ALFRESCO	18.52	21.16
PORCH	17.40	14.18
		261.34 m ²

NOTE:
PROVIDE IN-SCREEN UNDERFLOOR HEATING TO BATHROOM

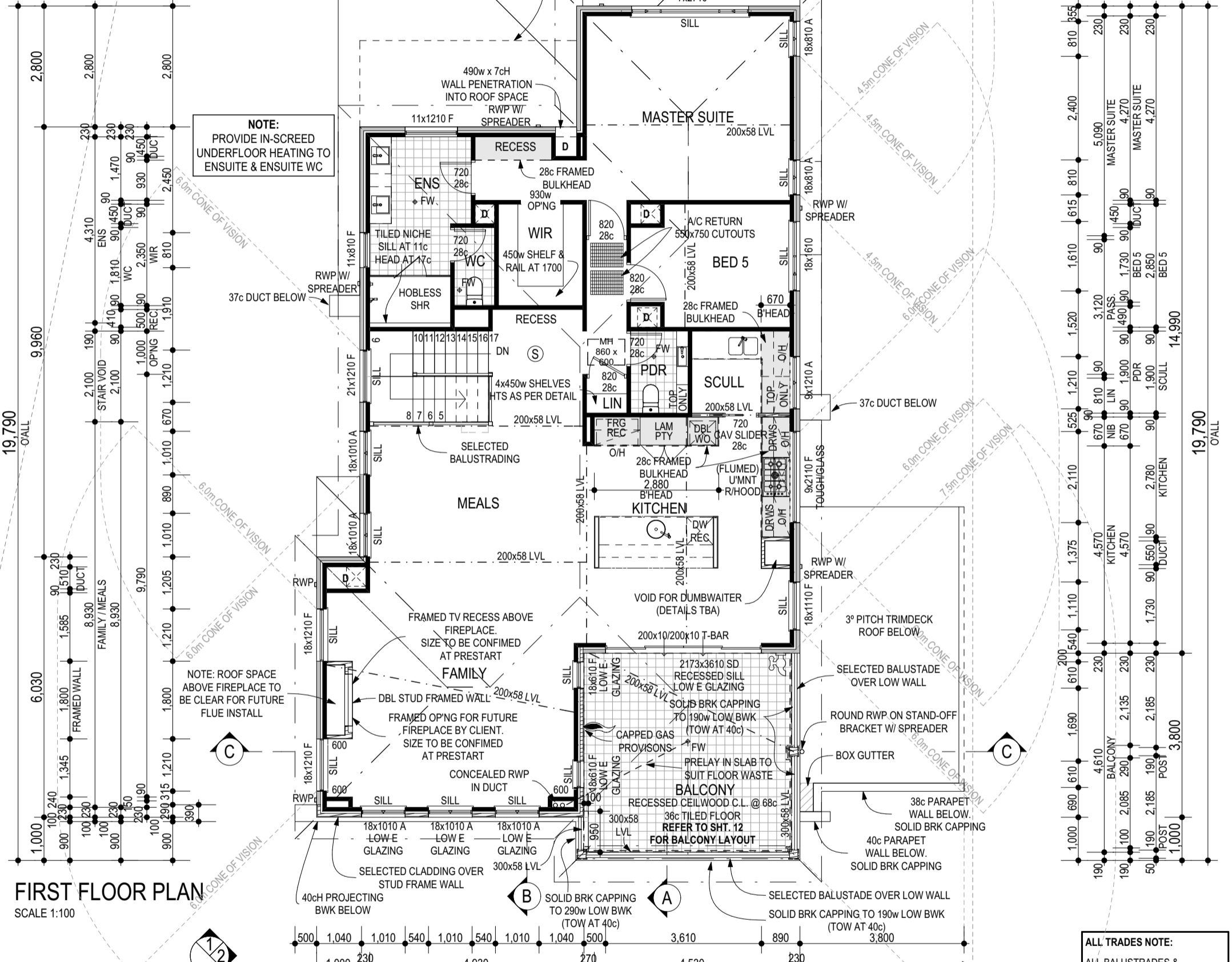
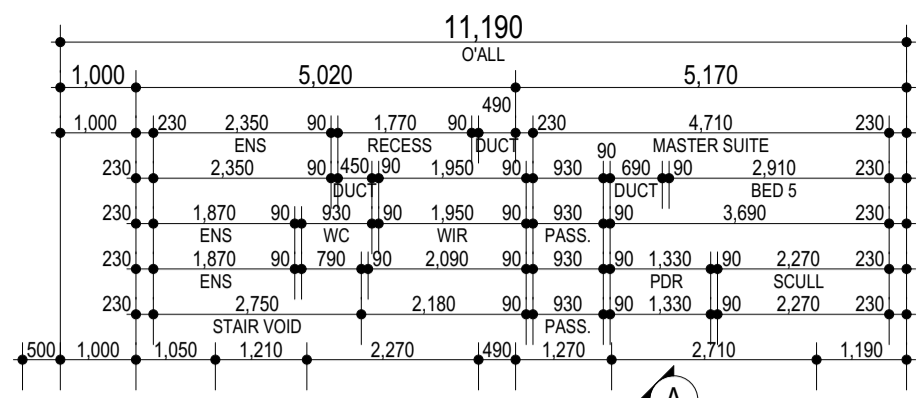
ALL TRADES NOTE:
KEEP AREA 500 OF CENTER LINE OF RANGEHOOD CLEAR OF ALL CHASING, BEAMS AND JOISTS.

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL ENGINEERS DETAILS, ALL RELEVANT AUSTRALIAN STANDARDS & THE BUILDING CODE OF AUSTRALIA

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ROOF AREA(m2 ON THE FLAT)	222.07	
AREAS - FIRST		
	PERIM. (m)	AREA (m ²)
HOUSE (FIRST)	59.96	164.44
BALCONY	19.98	24.19
		188.63 m ²

LIN SHELVES SETOUT
SCALE 1:100



FIRST FLOOR PLAN
SCALE 1:100

ALL TRADES NOTE:
ALL BALUSTRADES & HANDRAILS TO COMPLY WITH AS1170.1 & NCC 3.9.2

ALL TRADES NOTE:
ALL WINDOWS TO BE PROTECTED IN ACCORDANCE WITH BCA VOL 2 PART 3.9.2.5 WHERE APPLICABLE.

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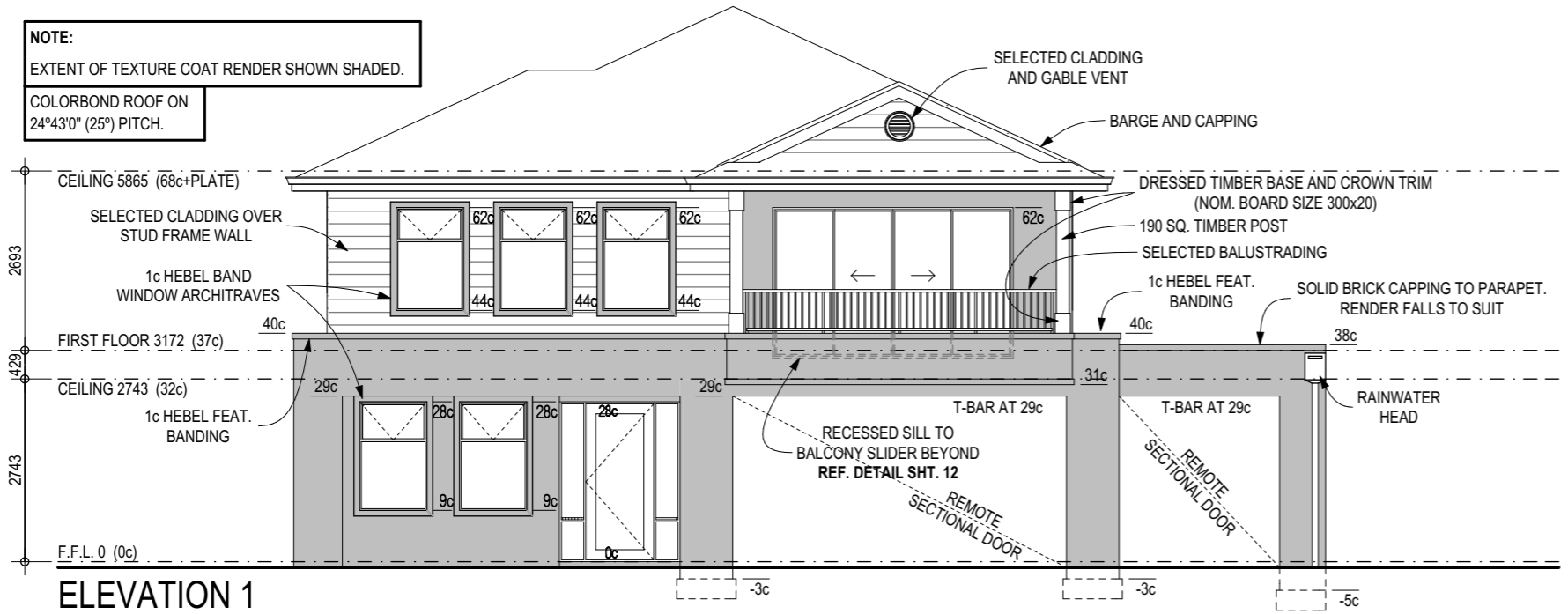
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CLIENT: BRUCE
 ADDRESS: LOT 44 (#8) LAUREL STREET MULLALOO

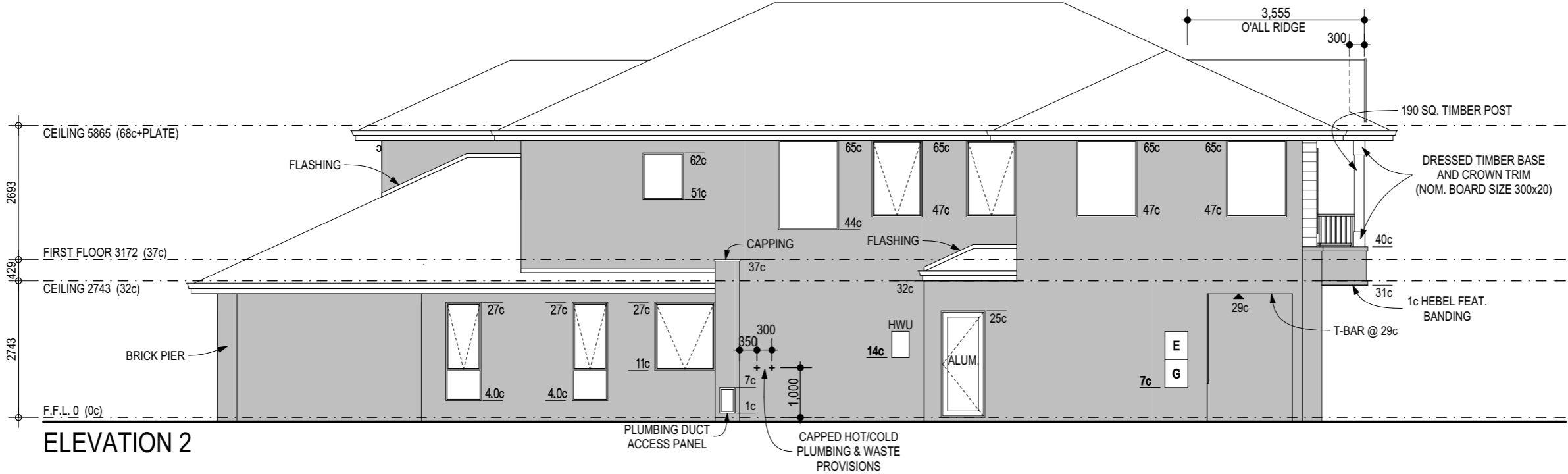
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JOB N° 2011168	SHEET N° 6 OF 20



NOTE:
 EXTENT OF TEXTURE COAT RENDER SHOWN SHADED.
 COLORBOND ROOF ON
 24°43'0" (25°) PITCH.



ELEVATION 1



ELEVATION 2

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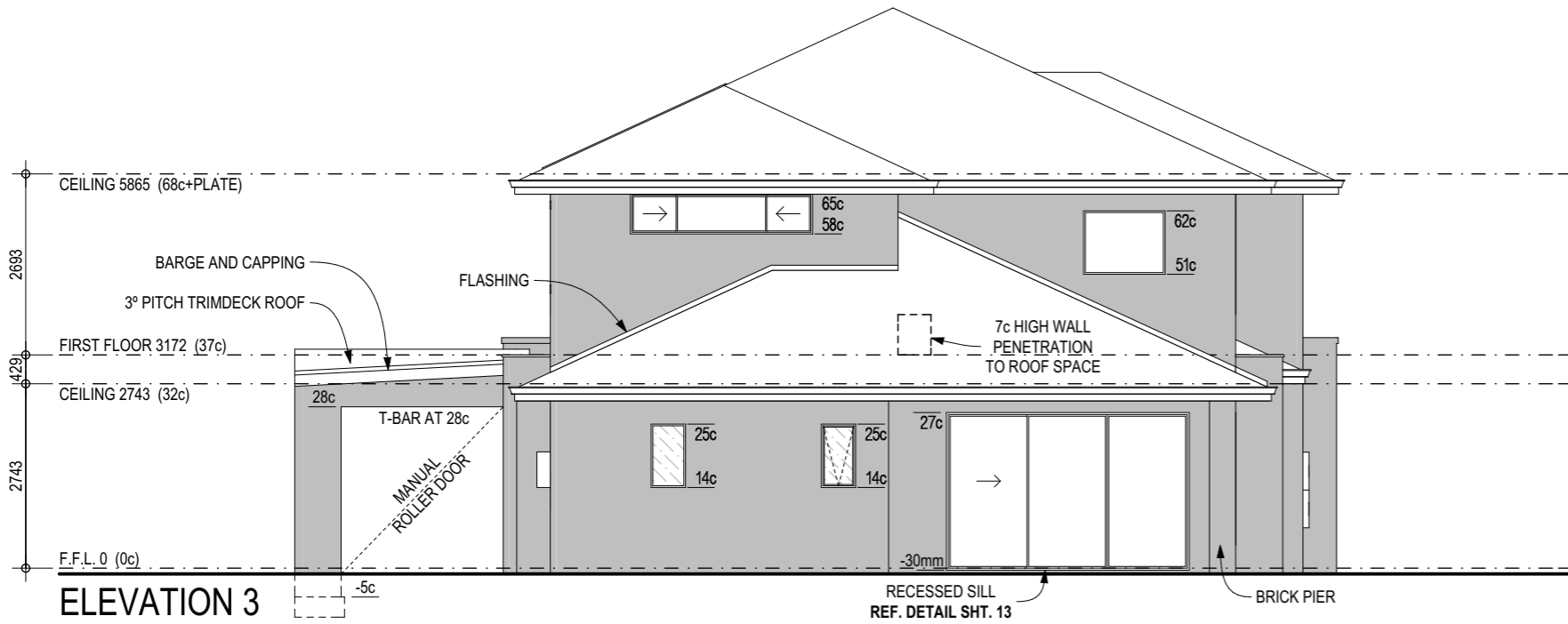
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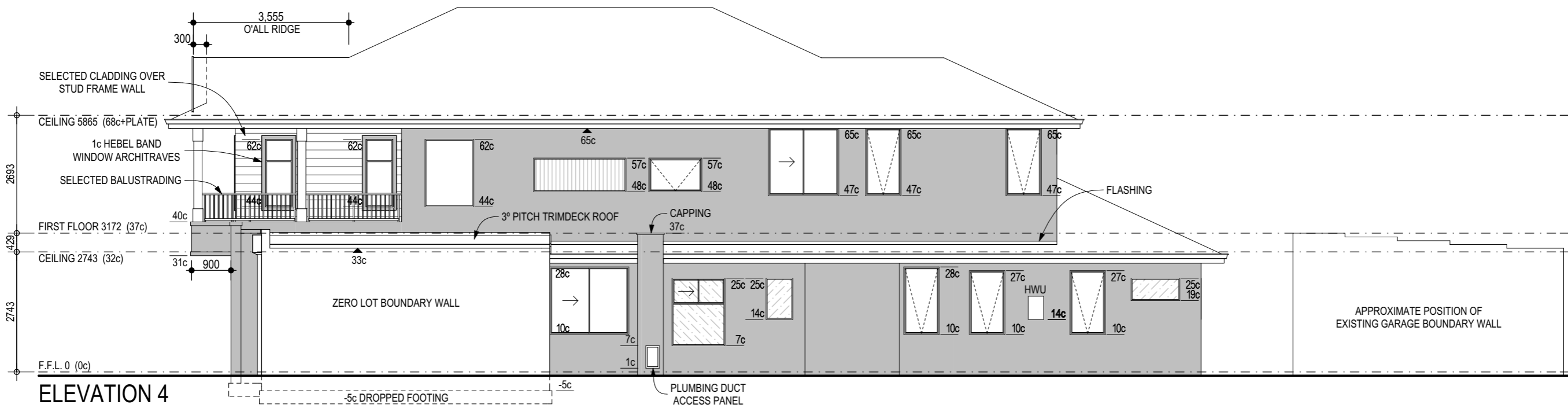
CLIENT:
BRUCE

ADDRESS:
**LOT 44 (#8) LAUREL STREET
 MULLALOO**

SPECIAL	
SPEC V SPEC	DATE 22/04/2020
VERSION N° UPDATE 5	WIND RATING N2
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JOB N° 2011168	SHEET N° 7 OF 20



ELEVATION 3



ELEVATION 4

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BRUCE

ADDRESS:
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SPECIAL	
SPEC V SPEC	DATE 22/04/2020
VERSION N° UPDATE 5	WIND RATING N2
MAP REF. 185/11/06	ENGINEERS DETAIL D10V
JOB N° 2011168	SHEET N° 8 OF 20