

Front and Secondary Street Fences

What is a front fence?

A front fence is a wall, screen or barrier that abuts the primary (front) street boundary, or is located in the front setback area of a residential property.

What are the requirements?

Front fences on a residential property are required to comply with the *Residential Design Codes (R-Codes)* and *Residential Development Local Planning Policy*. The R-Codes is a state planning document that applies development controls over all residential development in Western Australia.

The maximum height of a solid front fence is 1.2 metres as measured from the midpoint of the verge. This height includes the height of any retaining wall proposed or previously approved. Structural pillars are permitted to a height of 1.8 metres.

Solid front fencing within 1.5 metres of where the driveway meets the front boundary can be a maximum height of 750mm. A pillar can be located within 1.5 metres of where the drive meets the front property boundary provided that it is a maximum height of 1.8 metres and a maximum dimension of 350mm x 350mm.

A front fence including all footings is to be located wholly within the lot boundaries. Encroachments into the road reserve (e.g. verge) are not permitted.

I want to build a front fence higher than 1.2 metres. Are there any additional requirements?

Fencing above 1.2 metres must be 'visually permeable'. The *R-Codes* define this as:

- Continuous vertical or horizontal gaps of 50mm or greater width, occupying not less than one third of the total surface area;
- Continuous vertical or horizontal gaps less than 50mm width, occupying at least one half of the total surface area in aggregate; or
- A surface offering equal or lesser obstruction to view as viewed directly from the street.

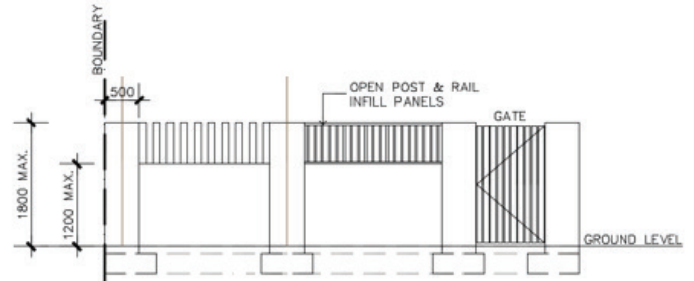


FIGURE 1: Typical front fence

Do I need to ensure that vehicle sightlines are maintained?

Yes. Fences must be truncated or be no higher than 750mm within 1.5 metres of where fences and walls adjoin vehicle access points, where a driveway meets a public street or where two streets intersect (e.g. corner lot, see Figures 2 and 3).

A pillar to a height of 1.8 metres with a maximum dimension of 350mm x 350mm may be permitted within 1.5 metres of where the vehicle access point meets the property boundary provided the remainder of the wall within this area is visually permeable above 750mm to provide clear sightlines.

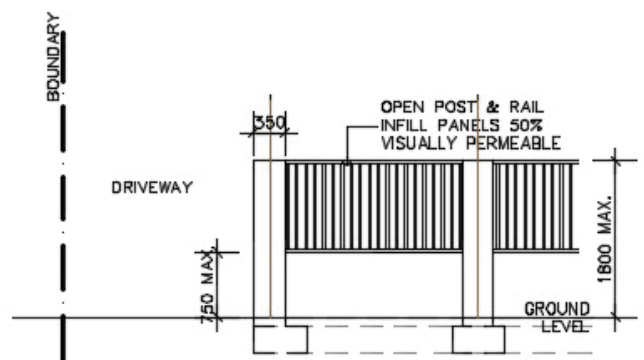


FIGURE 2: Typical front fence within truncation to provide vehicle sightlines

What is a secondary street fence?

A secondary street fence is a wall, screen or barrier that abuts a street boundary that is not the primary frontage.

What are the requirements?

Secondary street fences shall be visually permeable above 1.2 metres from natural ground level for 50% of the length of the street boundary, right of way or access leg and shall allow surveillance from an outdoor living area and/or major opening (window to bedroom, study or other living area).

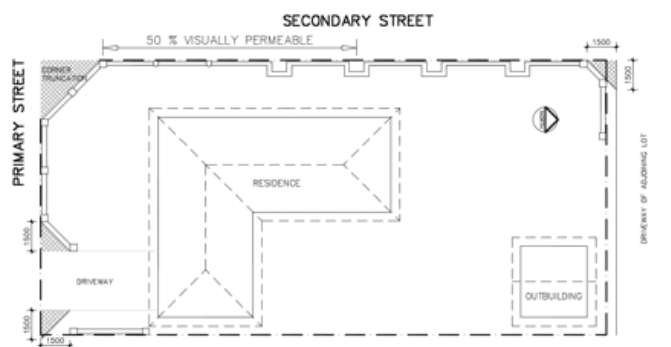


FIGURE 3: Typical secondary street fence

Will I need a development (planning) application?

Front or secondary street fences that do not meet the above requirements, or any other requirements of the *R-Codes*, City's *Residential Development Local Planning Policy*, and/or development provisions of an applicable structure plan, will require development (planning) approval.

All front and secondary street fencing to multiple dwellings will require a development (planning) application.

How can I find out if I am in a structure plan area or access information on my property?

The City provides an online mapping system which can be used to confirm if a local structure plan applies to your property, lot sizes, dimensions and recent aerial imagery. Access Online Maps on the City's website at joondalup.wa.gov.au

How do I make a development (planning) application?

Generally, the following information will be required as part of a development (planning) application for a front or secondary street fence:

- Completed and signed Application for Development Approval form;
- Completed and signed MRS Form 1 application form;
- Completed checklist – Development (Planning) Application checklist – Residential;
- Site plan and building elevations. Refer to the residential checklist for information required on the plans;
- A covering letter providing details of the proposed development and written justification addressing any aspects of the development that require the City to undertake a performance assessment against the R-Codes, City policy or structure plan; and

- Payment of the development application fee in accordance with the City's Schedule of Fees and Charges.

Application forms, development application checklists and information on lodging an application are available on the City's website at joondalup.wa.gov.au

It is also recommended that you speak to your neighbours that may be impacted by the fence and have them sign the plans as a way of their consent to its development.

Will having a swimming pool in the front setback affect the front fence?

Yes. In addition to the minimum planning and building requirements, you will need to comply with AS1926.1 Swimming Pool Safety.

Will I need a building permit?

A building permit is not required when a front fence complies with the following:

- The structure is constructed in accordance with the City's *Fencing Local Law 2014*, or;
- The structure, if constructed in masonry, is no more than 750mm in height, or;
- The structure, if constructed in material other than masonry, is no more than 1.8 metres in height.

How do I make an application for a building permit?

Building permit application forms (certified or uncertified) are available from the Department of Mines, Industry Regulation and Safety (DMIRS)'s website commerce.wa.gov.au/building-commission

The following information will be required as part of an application for a building permit.

Certified:

- Completed and signed BA1 Application for Building Permit – Certified.
- Completed and signed BA3 Certificate of Design Compliance.
- Completed and signed Certified Building Application Checklist.
- Payment of the building application fee in accordance with the City's Schedule of Fees and Charges.

Uncertified:

- Completed and signed BA2 – Application for Building Permit – Uncertified.
- Completed and signed Uncertified Building Application Checklist – Fences (Class 10b).
- Payment of the building application fee in accordance with the City's Schedule of Fees and Charges.

Applications for a building permit are to be submitted with payment of the application fee.

Application forms, building application checklists and information on lodging an application are available on the City's website at joondalup.wa.gov.au

Further information

Copies of the *R-Codes* are available for viewing at the City's Customer Service Centre, Libraries or online via the Department of Planning, Lands and Heritage website at **dplh.wa.gov.au**

For further information please visit the City's website at **joondalup.wa.gov.au**, visit the City's Customer Service Centre, contact the City's Building Services on **9400 4961** or Planning Services on **9400 4100** or email **info@joondalup.wa.gov.au**