



NOTE:

- PANEL & POST RETAINING WALLS BY BUILDER TO ENGINEER'S DETAIL.
- BOTTOM OF WALL NOTE EXCLUDES RETAINING EMBEDMENT.

REV	VO #	DRN	DATE	CHK
01	ITEM 12/13	VNX	06.05.20	JD
		KW	03.06.20	KW

WORKING DRAWINGS

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED:/...../.....

OWNER: WITNESS:

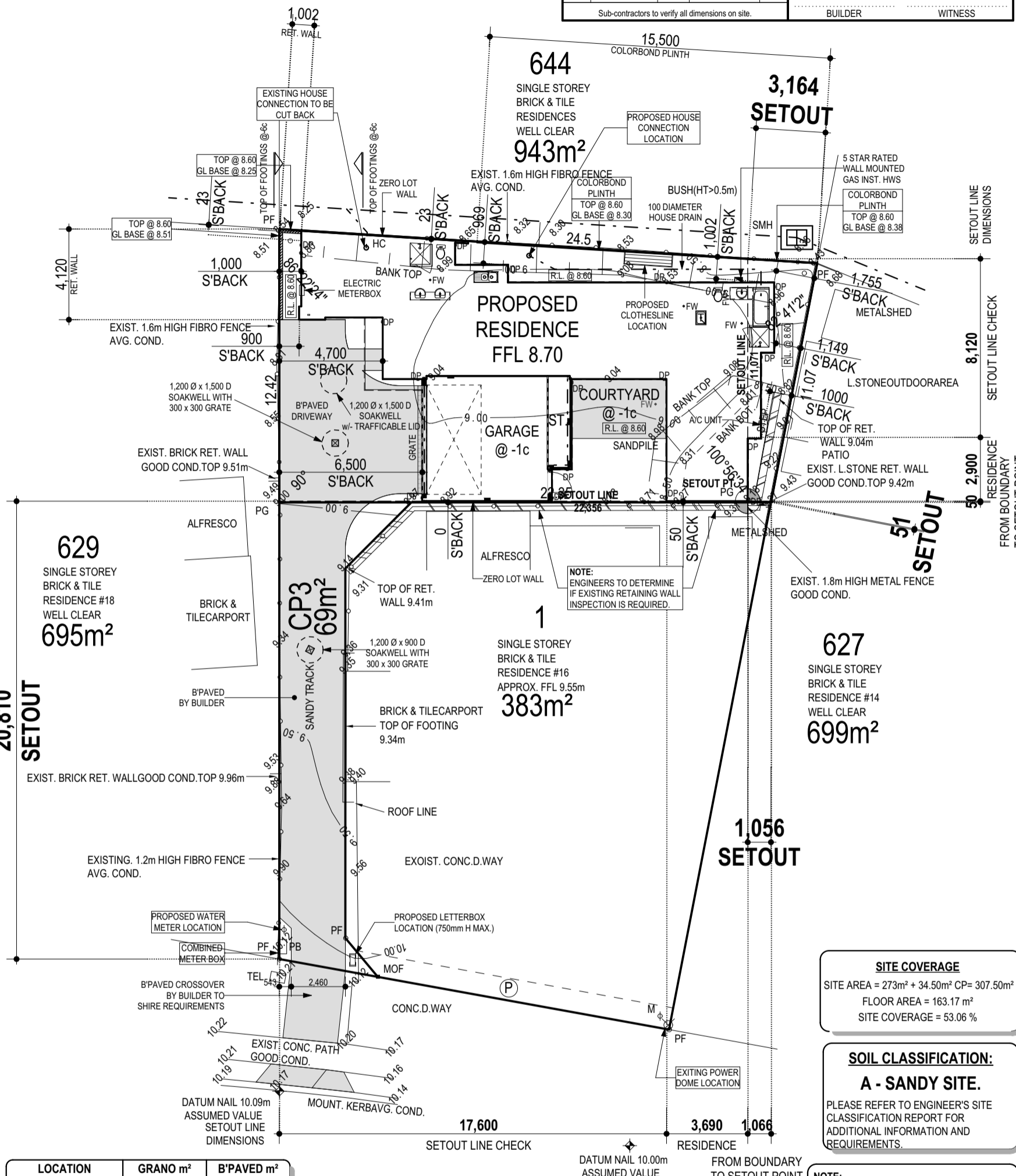
OWNER: WITNESS:

BUILDER: WITNESS:

Sub-contractors to verify all dimensions on site.

SERVICE LEGEND

- POWER**
- CONSUMER POLE ○ CP
 - POWER POLE ○ PP
 - LIGHT POLE ○ LP
 - STAY POLE ○ SP
 - S. WIRE ANCHOR ○ SWA
 - UNI PILLAR ⊗
 - POWER BOARD □ PB
- GAS**
- PRE-LAID CONN. ○ GPL
 - METER □ GM
- SEWERAGE**
- MANHOLE ○ SMH
 - INSPECT. SHAFT ○ IS
 - INSPECT. OPENING ○ IO
 - HOUSE CONNECTION ○ HC
 - HOUSE CONN. INDICATOR ○ HCI
 - INSPECT. SHAFT CONNECTION ○ ISC
- TELE.**
- PIT □ TEL
 - PRE-LAID CONN. ○ TPL
- DRAINAGE**
- MANHOLE ○ DMH
 - GULLY PIT □
 - LOT PIT ○ LDP
 - HOUSE CONN. ○ DHC
 - SIDE ENTRY PIT □
 - COMBINATION ENTRY PIT □
- WATER**
- STOP VALVE ○ WSV
 - HYDRANT ○ HY
 - FLUSH POINT ○ FP
 - WATER TAP ○ WTP
 - WATER METER φ M
 - PRE-LAID CONN. ○ WPL
- SURVEY**
- DATUM NAIL ◆
 - PEG FOUND ○ PF
 - PEG DISTURBED ○ PD
 - PEG GONE PG
 - MARK ON FEATURE ■ MOF



SITE COVERAGE

SITE AREA = 273m² + 34.50m² CP = 307.50m²
 FLOOR AREA = 163.17 m²
 SITE COVERAGE = 53.06 %

SOIL CLASSIFICATION:

A - SANDY SITE.

PLEASE REFER TO ENGINEER'S SITE CLASSIFICATION REPORT FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

NOTE:

- STORMWATER DISPOSAL BY BUILDER TO SHIRE REQUIREMENTS

LOT RECORDS

STATUS	LOT RECORDS		
	LOCATED	AVAILABLE	NO SERVICE
WATER		✓	✓
SEWERAGE	✓		
GAS		✓	✓
TELE.	✓		
DRAINAGE			✓
POWER	U/G	✓	
	O/H		✓

AREA: ESTAB 02/2019

COASTAL DISTANCE 1.5-10km

LOT: 2

AREA: 273 m²

APPROX. AHD + 37.48m

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY, HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY

SEWER INVERT LEVEL 4.21

SEWER BROUGHT UP 2.50

DEPTH TO CONNECTION 2.09

LOCATION	GRANO m²	B'PAVED m²
Path & Courtyard	00.00	12.91
Garage, Drive, Crossover & Common Drive	35.28	119.86

SITE PLAN

1:200

NOTE : POWER EASEMENT (P)

GROUND COVER

SANDY / WEED

STORMWATER CALCULATIONS (CP)

REQUIRED SOAKWELL CAPACITY = 1.0m³ OF STORAGE PER 65m² OF PAVING AREA

REQUIRED MINIMUM TOTAL CAPACITY = PAVING AREA OF (62.95m² / 65m²) x 1.0m² = 0.97m³

SELECTED SOAKWELLS 1 x 1200Ø x 900D (1.02m³) = 1.02m³

TOTAL SOAKWELL CAPACITY = 1.02m³

STORMWATER CALCULATIONS (UNIT 2)

REQUIRED SOAKWELL CAPACITY = 1.0m³ OF STORAGE PER 65m² OF ROOF/PAVING AREA

REQUIRED MINIMUM TOTAL CAPACITY = ROOF/PAVING AREA OF (208.03m² / 65m²) x 1.0m² = 3.20m³

SELECTED SOAKWELLS 2 x 1200Ø x 1500D (1.70m³) = 3.40m³

TOTAL SOAKWELL CAPACITY = 3.40m³

TITLE : FEATURE SURVEY	LOT : 2 No. 16/A SETTLER WAY
CLIENT : D & L COHEN	SUBURB : EDGEWATER
BUILDER : RESIDENTIAL BUILDING WA PTY LTD	SSP : 78213
	AUTHORITY : CITY OF JOONDALUP
	C/T : 2971/109



P: (08) 9354 8511
 W: www.linkssurveying.com.au
 E: info@linkssurveying.com.au

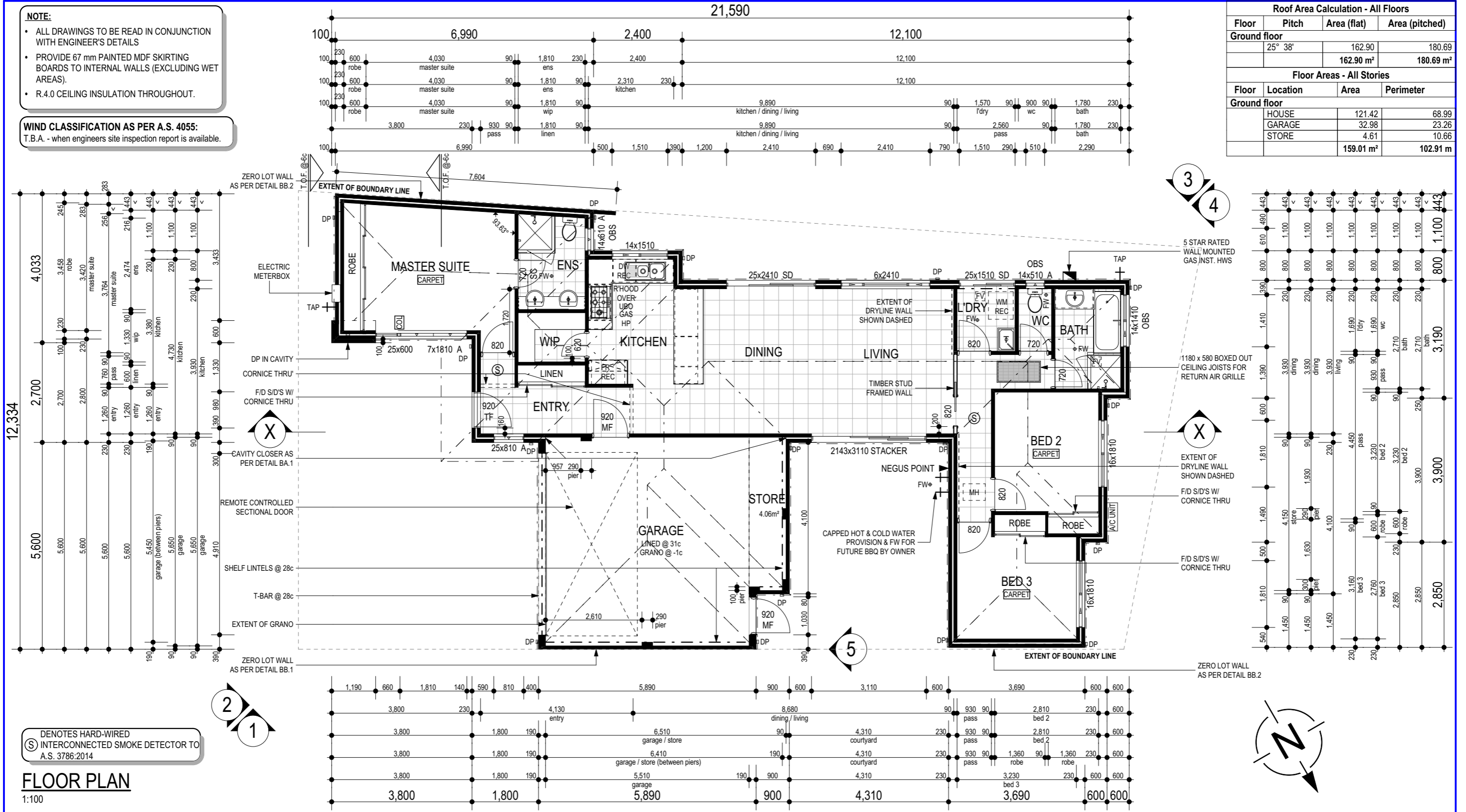
UBD REF : 166 J 9	GPS : S 31.76509°	E 115.77921°
5 0 2.5 5 10 15		

NOTE This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996	SHEET 8 of 9	BUILDER'S REF 40059	SURVEYED 27/03/20	SCALE @ A3 1:200	DWG No 38439-01-100	REV A
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- NOTE:**
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS
 - PROVIDE 67 mm PAINTED MDF SKIRTING BOARDS TO INTERNAL WALLS (EXCLUDING WET AREAS).
 - R.4.0 CEILING INSULATION THROUGHOUT.

WIND CLASSIFICATION AS PER A.S. 4055:
T.B.A. - when engineers site inspection report is available.

Roof Area Calculation - All Floors			
Floor	Pitch	Area (flat)	Area (pitched)
Ground floor	25° 38'	162.90	180.69
		162.90 m²	180.69 m²
Floor Areas - All Stories			
Floor	Location	Area	Perimeter
Ground floor	HOUSE	121.42	68.99
	GARAGE	32.98	23.26
	STORE	4.61	10.66
		159.01 m²	102.91 m



Ⓢ DENOTES HARD-WIRED INTERCONNECTED SMOKE DETECTOR TO A.S. 3786:2014

FLOOR PLAN
1:100

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		KW	03.06.20	KW

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DATED:...../...../.....
OWNER WITNESS
OWNER WITNESS
BUILDER WITNESS

CLIENT:
D. I. & L. A. COHEN
ADDRESS:
**LOT 628 (#16) S/L2
SETTLER WAY
EDGEWATER**

ONE OFF DESIGN		REVISION 01
MODEL N°	00092	DATE 03.06.20
© COPYRIGHT		
SHEET N°	1 OF 9	+ 2 ANC
JOB N°	40059	

(08) 9202 9200
65 Walters Drive, Osborne Park WA 6017
P.O. Box 55 Westfield Shopping Centre, Innaloo WA 6918
Built by Residential Building WA Pty Ltd. BC 13053. ABN 81 106 262 382

Sub-contractors to verify all dimensions on site.

ONE OFF DESIGN

© COPYRIGHT

MODEL N°
00092



(08) 9202 9200
65 Walters Drive, Osborne Park WA 6017
P.O. Box 55 Westfield Shopping Centre, Innaloo WA 6918
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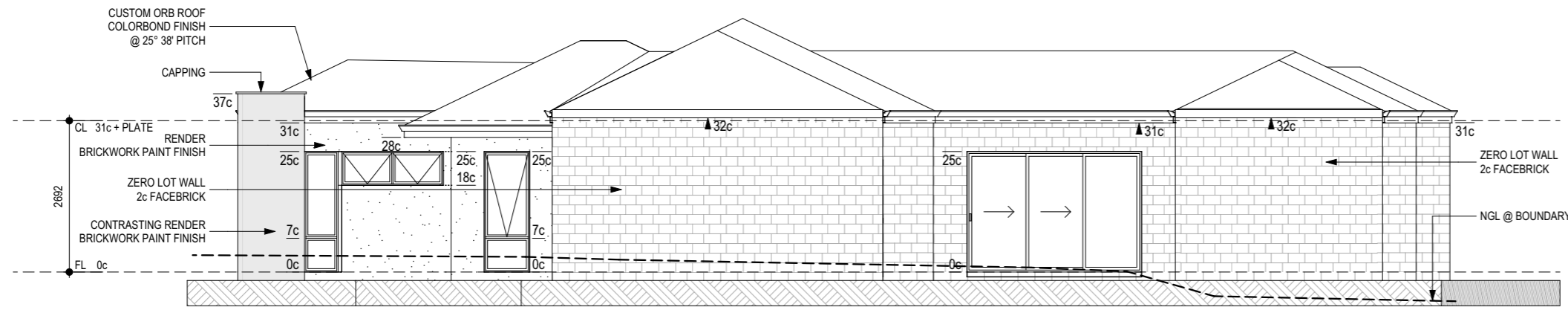
OWNER WITNESS

BUILDER WITNESS

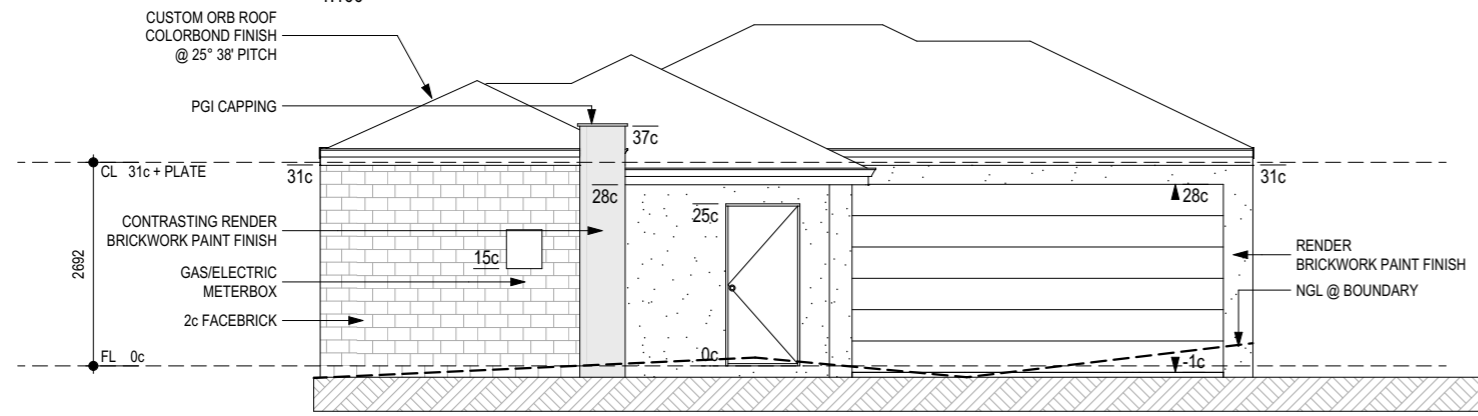
CLIENT:
D. I. & L. A. COHEN

ADDRESS:
LOT 628 (#16) S/L2
SETTLER WAY
EDGEWATER

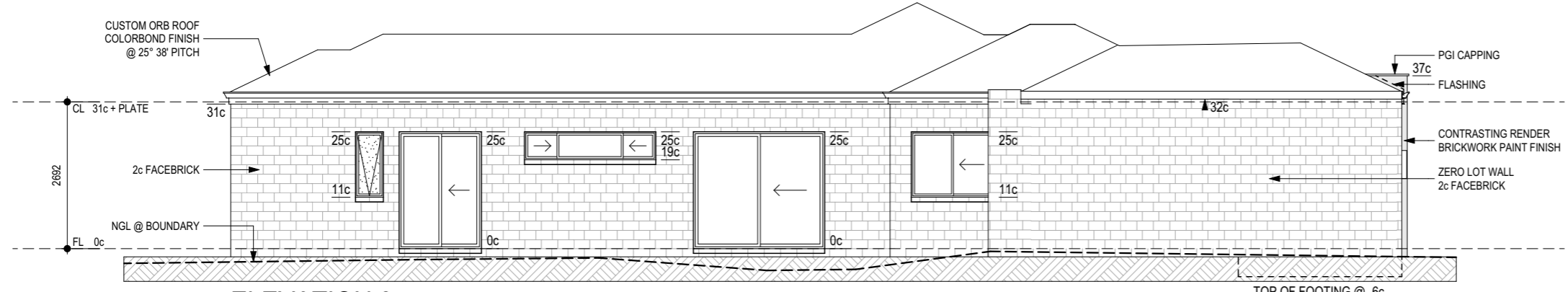
SHEET N°	2 OF 9 + 2 ANG.
JOB N°	40059
REVISION	DATE
01	03.06.20



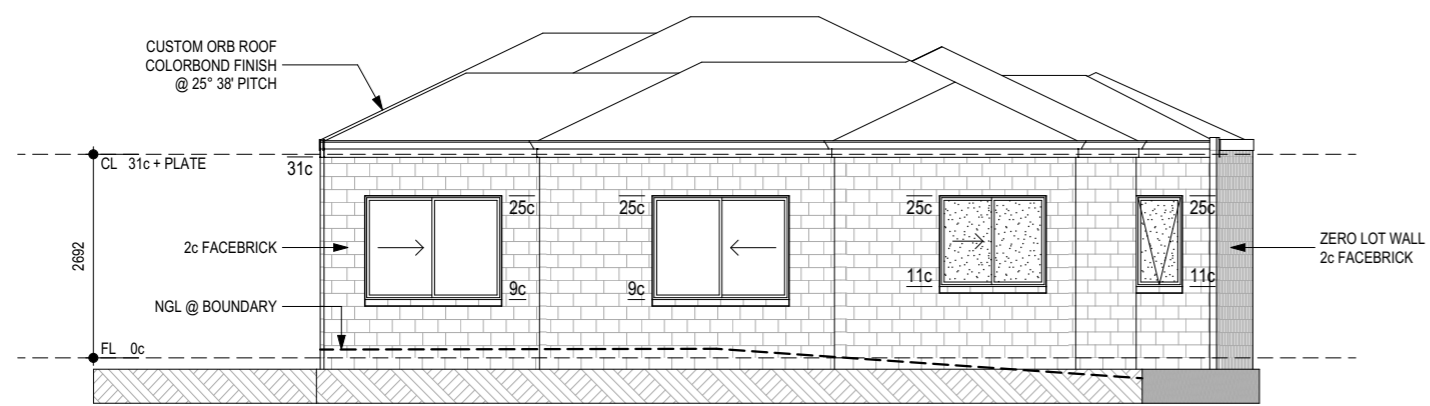
ELEVATION 1
1:100



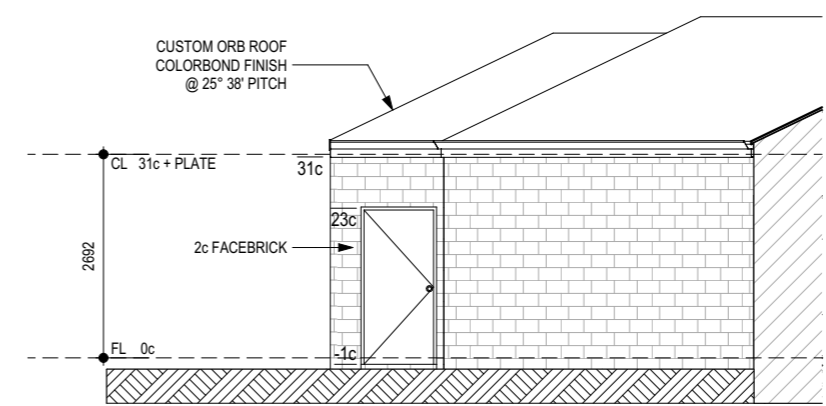
ELEVATION 2
1:100



ELEVATION 3
1:100



ELEVATION 4
1:100



ELEVATION 5
1:100