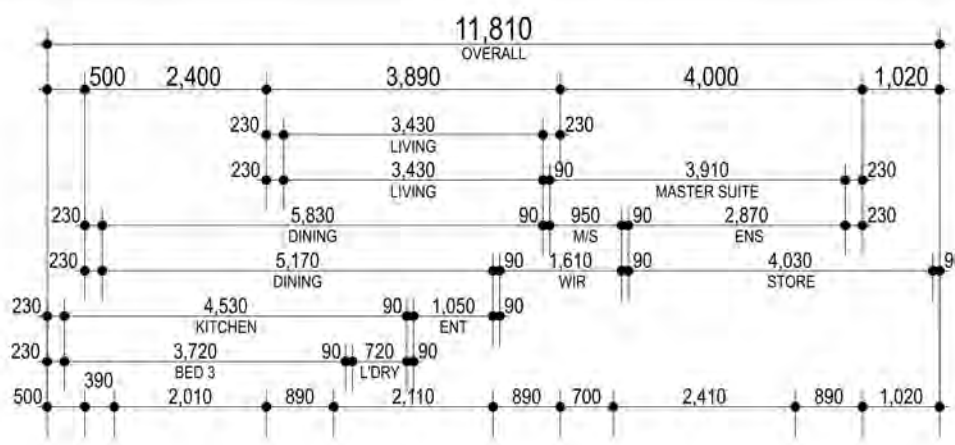
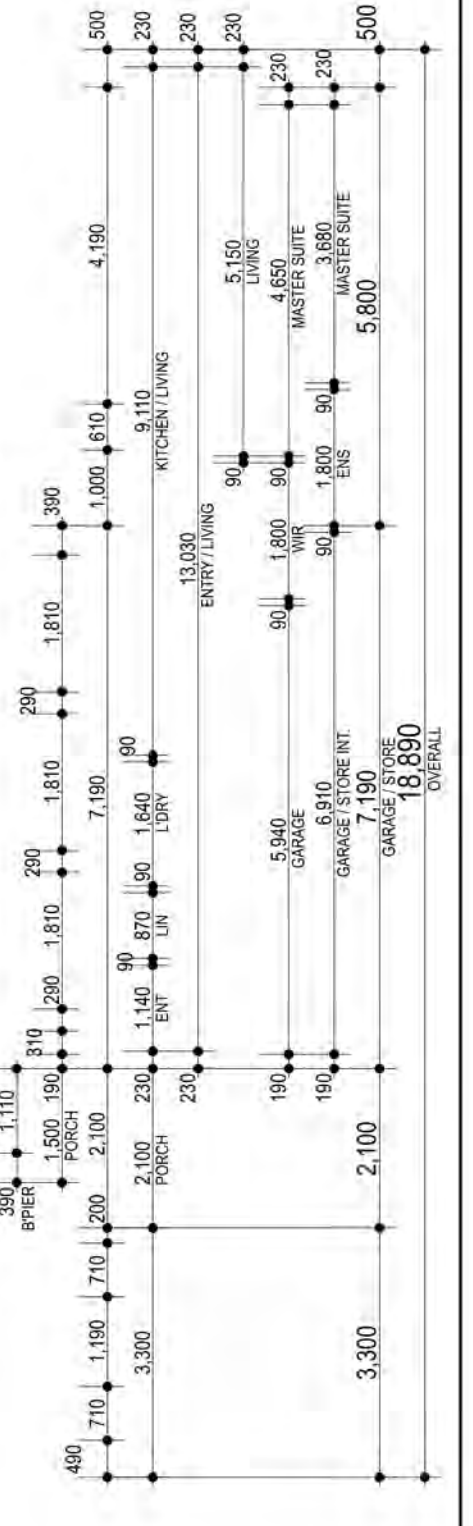
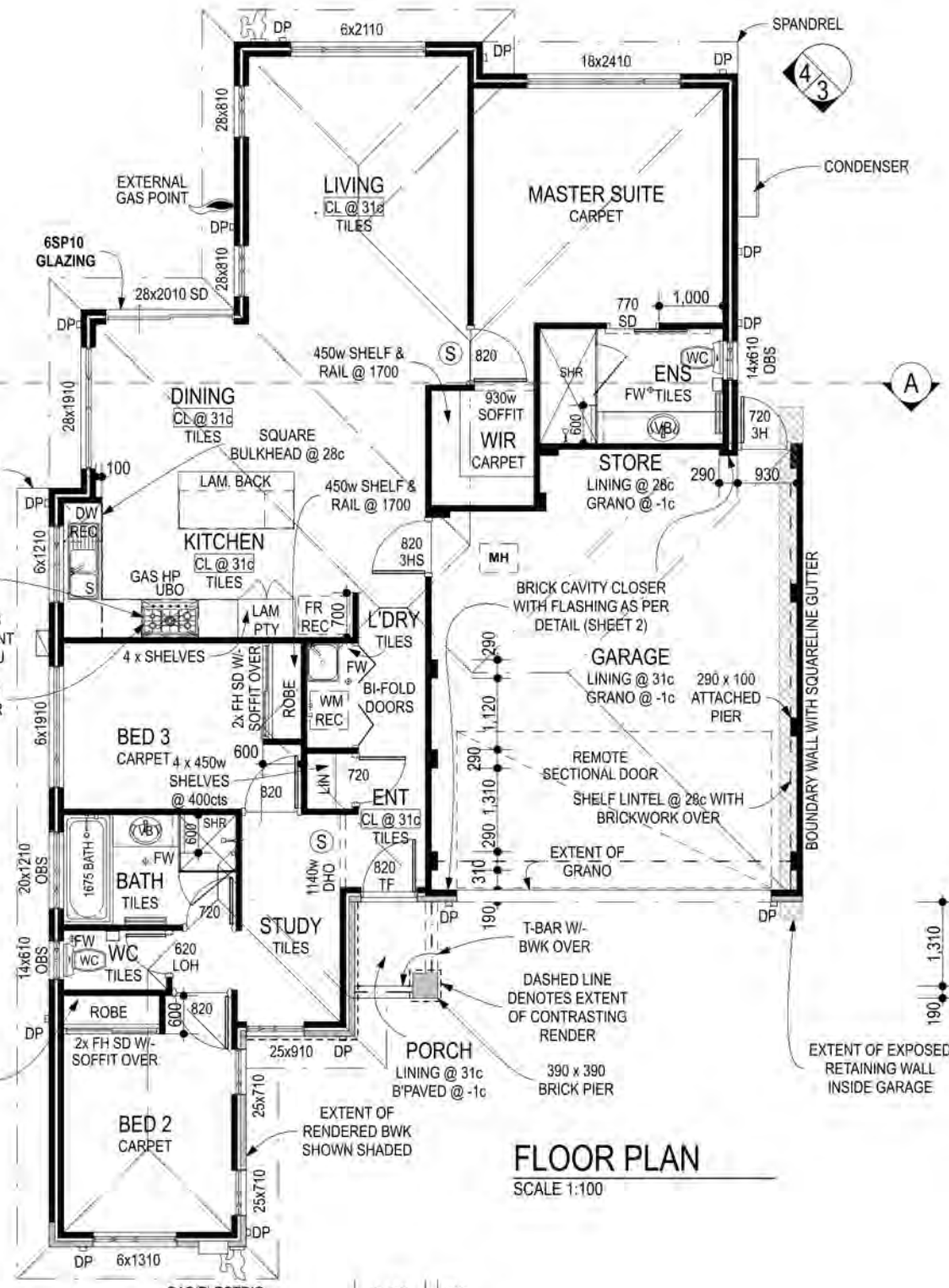
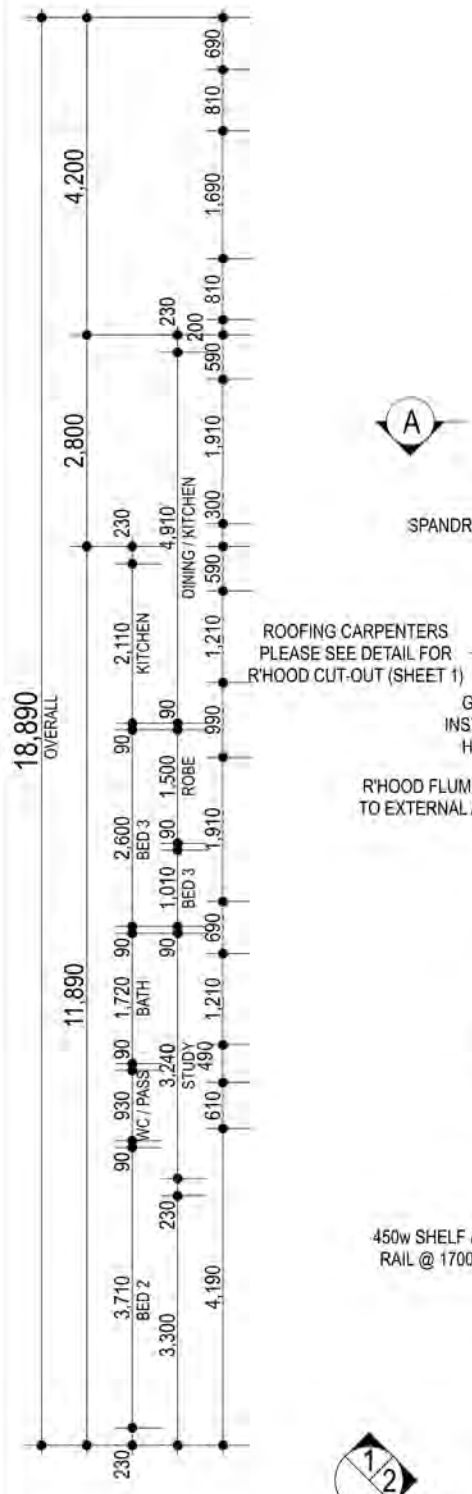


RANGEHOOD CUT OUT DETAIL
SCALE 1:50

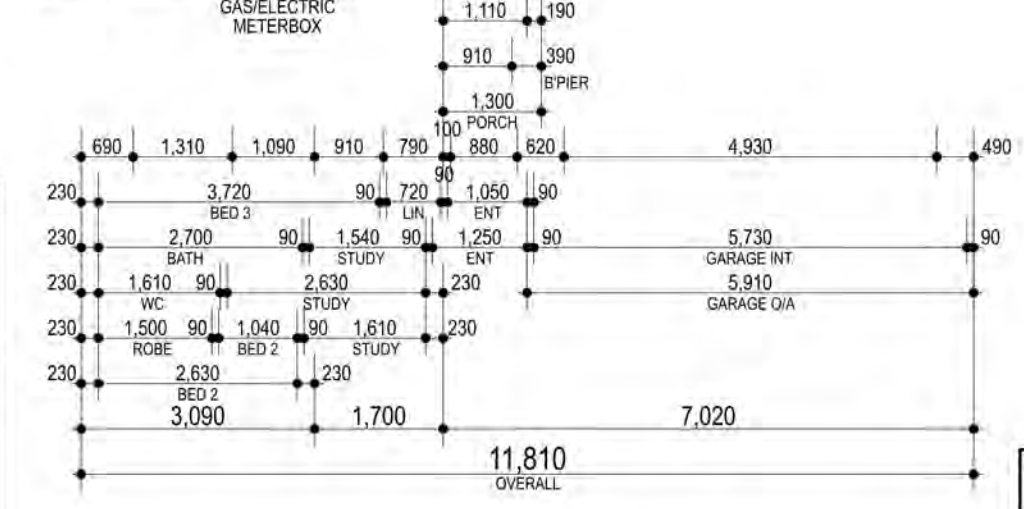


AREAS:		
	PERIM. (m)	AREA (m ²)
HOUSE	59.36	117.80
GARAGE	24.07	35.71
STORE	10.36	4.09
PORCH	5.60	1.95
		159.55 m ²
ROOF QUANTS		
Material Type	Roof	Metal
Surface [m2 on the rake]		197.06
Area [m2 on the flat]		179.42



FLOOR PLAN
SCALE 1:100

- NOTE:**
- PROVIDE REVERSE CYCLE DUCTED AIR CONDITIONING POSITIONS OF VENTS TO BE DETERMINED BY INSTALLER.
- NOTE:**
- DO NOT SCALE FROM DRAWINGS DIMENSIONS MUST BE FOLLOWED AND CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS.
 - ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT INCLUDE PLASTER OR METAL BEADING TO BRICKWORK.
 - DOWN PIPES ARE TO BE LOCATED AT PLUMBERS DISCRETION TO SUIT ROOFWATER VOLUME AND ROOF MEMBERS.
 - FLOOR WASTES/ CEILING VENTS/ MANHOLE SHOWN DIAGRAMMATICALLY ONLY AND MAY BE RELOCATED ON SITE AS REQUIRED.
 - PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS.
 - CL @ 28c THROUGHOUT UNLESS NOTED OTHERWISE.



INSULATION NOTE:

- INSULATION R4.0 TO HOUSE & GARAGE CEILINGS.
- REFLECTIVE FOIL INSULATION TO ALL EXTERNAL CAVITY BRICK WALLS.

- NOTE:**
- INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH NCC VOL 2 PART 3.7.2 & AS 3786: 2014
 - PIER & POST FOOTINGS @ -2c FROM PAVING LEVEL

NOTE:

THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.

- NOTE:**
- 230 CAVITY RENDERED BRICKWORK AS SHOWN SHADED ON FLOOR PLAN WITH 230 CAVITY FACE BRICKWORK LAID 1/3 BOND TO REMAINDER.
 - THE BUILDER RESERVES THE RIGHT TO ADJUST WINDOW AND SLIDING DOOR SIZES, INTERNAL ROOM SIZES, AND O/ALL LENGTH AND WIDTH OF THE DWELLING, WHICH MAY RESULT IN A CHANGE IN THE O/ALL HOUSE AREA FROM THE ORIGINAL STANDARD HOUSE PLAN.

6 Bennett Street, East Perth, WA 6004
Tel: (08) 6461 5300 Fax: (08) 6461 5304
P.O. Box 131, Mt. Hawthorn, W.A. 6915
Reg. Builder N°: 6415 A.C.N. 009 063 076

REVISION	VO #	DRN	DATE	CHK
		SD	02/04/20	JP
	DAS	SD	02/04/20	JP
SITE SURVEY	1	SD	14/04/20	JP
6* REPORT		SD	14/04/20	SD

CLIENT: MCCANN & PHILLIPS
DATE:
CLIENT:
DATE:
BUILDER:
DATE:

ADDRESS:
S/L 2 OF LOT 20 (286#)
EDDYSTONE AVENUE
HEATHRIDGE


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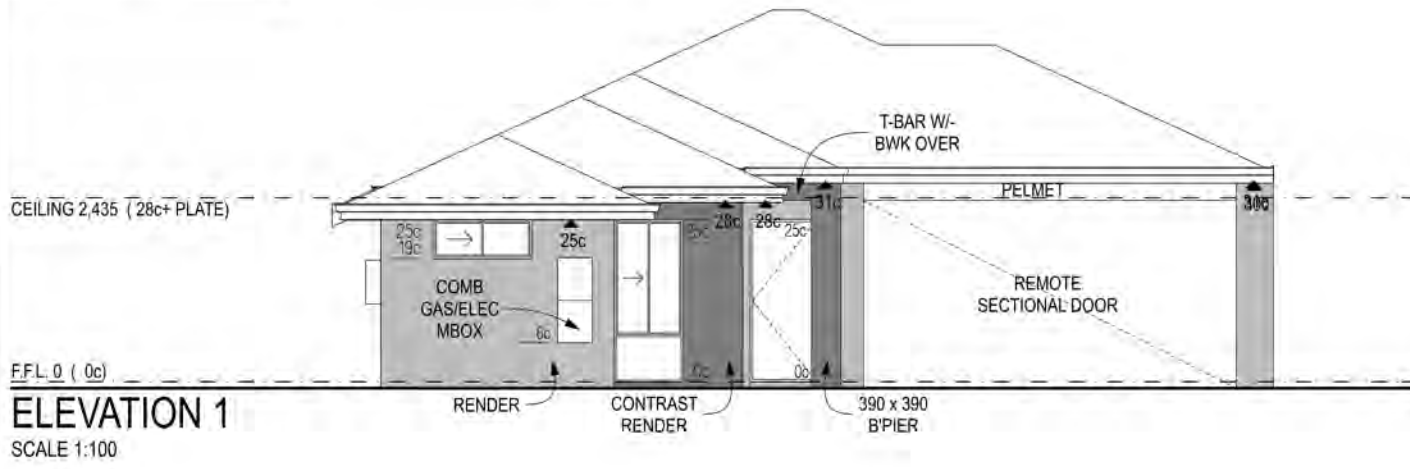
ONE-OFF

DREAMHOME 3 x 2	SUPER PACK
MODEL N°	DATE
92001	14/04/20
MAP REF	WIND RATING
166 15 10	N1
COASTAL CATEGORY	ENGINEERS DETAIL
R3	D10
JOB N°	SHEET N°
93579	1 OF 6

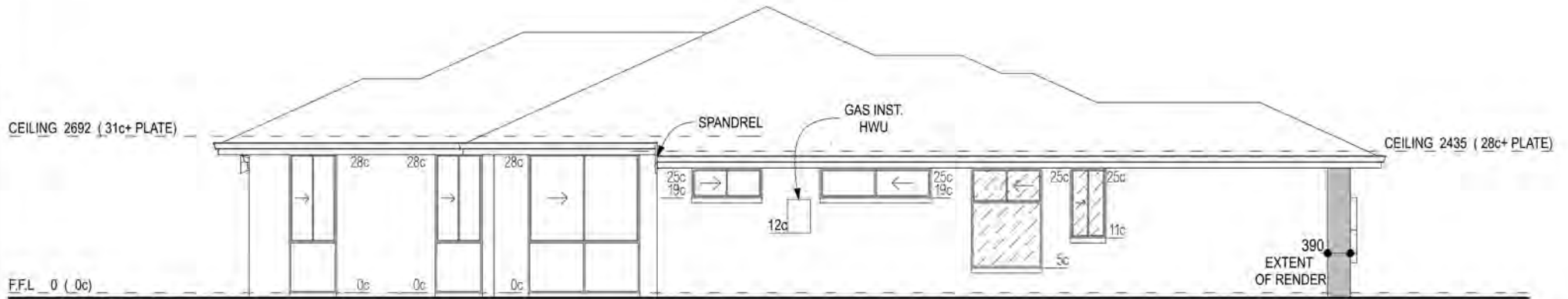
NOTE:
230 CAVITY RENDERED BRICKWORK TO FRONT ELEVATION WITH 230 CAVITY FACE BRICKWORK LAID 1/3 BOND TO REMAINDER.

NOTE:
ROOF TIE DOWN/FIXING STRAPS TO COMPLY WITH NCC CLAUSE 3.3 OR AS PER ENGINEER'S DETAIL.
COLORBOND ROOF ON 24°43'0" (25°) PITCH.

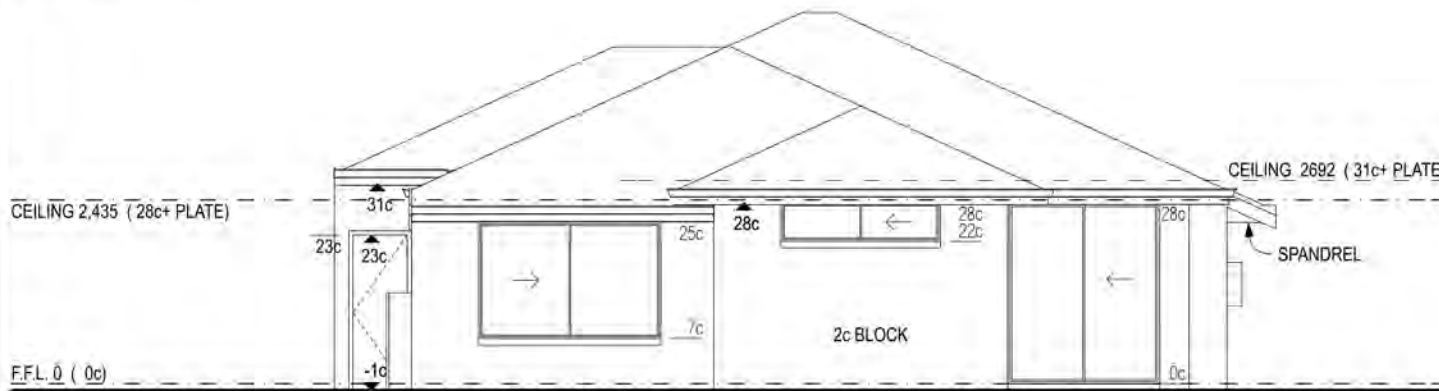
GLAZING NOTE:
OBSCURED GLAZING SHOWN AS 



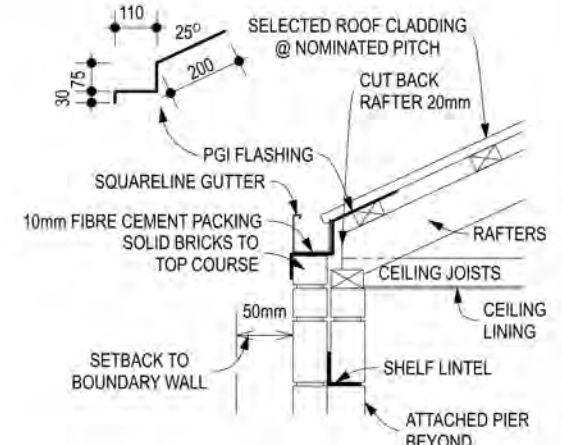
ELEVATION 1
SCALE 1:100



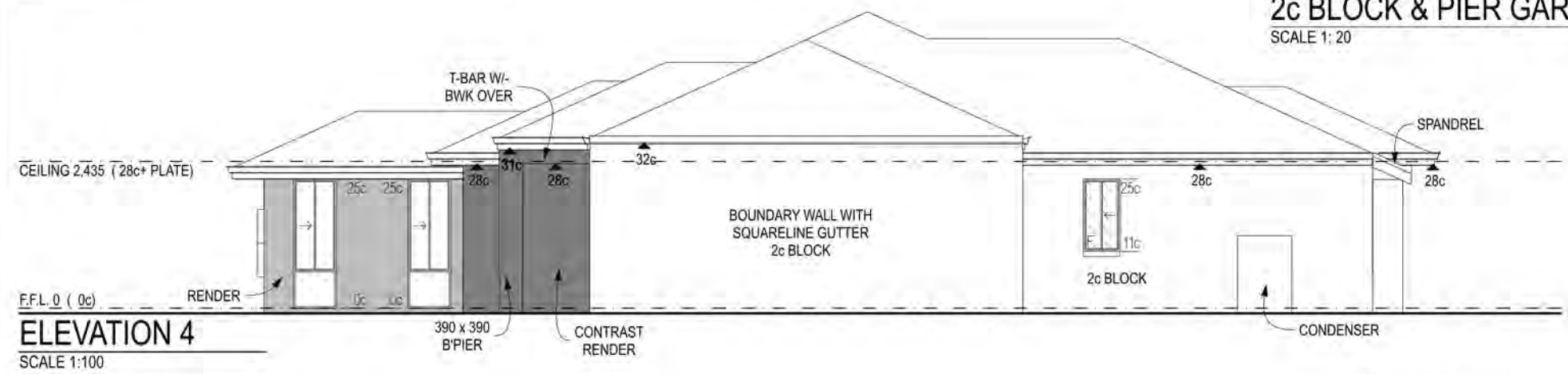
ELEVATION 2
SCALE 1:100



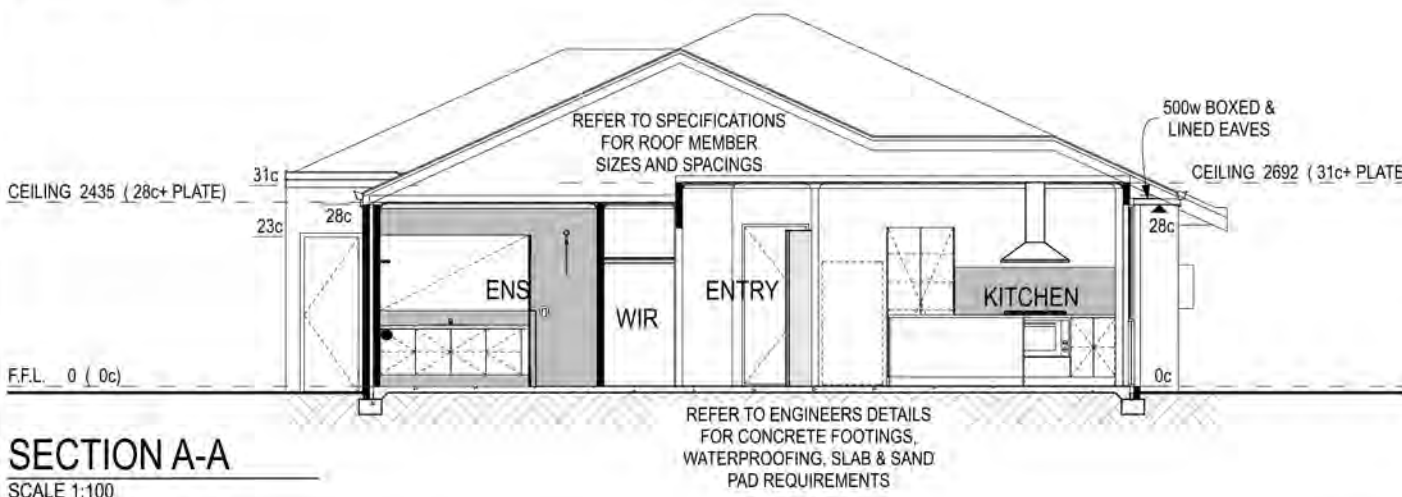
ELEVATION 3
SCALE 1:100



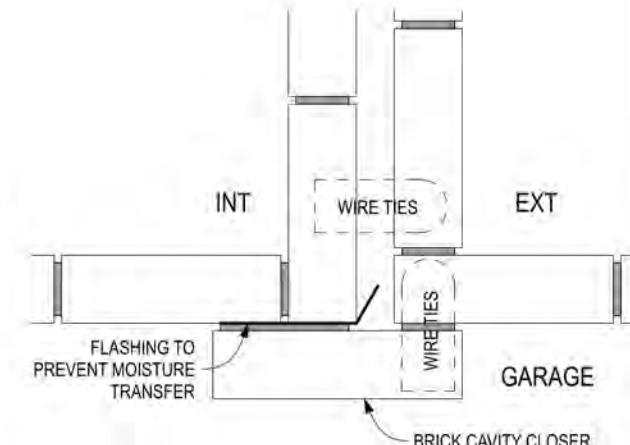
BOUNDARY WALL DETAIL
2c BLOCK & PIER GARAGE
SCALE 1:20



ELEVATION 4
SCALE 1:100



SECTION A-A
SCALE 1:100



BRICK CAVITY CLOSER DETAIL
SCALE 1:10



HomeStart

6 Bennett Street, East Perth, WA 6004
Tel: (08) 6461 5300 Fax: (08) 6461 5304
P.O. Box 131, Mt. Hawthorn, W.A. 6915
Reg. Builder N°: 6415 A.C.N. 009 063 076

REVISION	VO #	DRN	DATE	CHK
		SD	02/04/20	JP
	DAS	SD	02/04/20	JP
SITE SURVEY	1	SD	14/04/20	JP
6* REPORT		SD	14/04/20	SD

Sub-contractors to verify all dimensions on site.

CLIENT:
DATE:
CLIENT:
DATE:
BUILDER:
DATE:

CLIENT:
MCCANN & PHILLIPS

ADDRESS:
**S/L 2 OF LOT 20 (286#)
EDDYSTONE AVENUE
HEATHRIDGE**

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ONE-OFF

DREAMHOME 3 x 2 SUPER PACK	
MODEL N°	DATE
92001	14/04/20
MAP REF.	WIND RATING
166 15 10	N1
COASTAL CATEGORY	ENGINEERS DETAIL
R3	D10
JOB N°	SHEET N°
93579	2 OF 6

STORMWATER DISPOSAL NOTE:

- ALL STORMWATER DISPOSAL TO BE CONTAINED ON SITE TO 2 x 1500Ø x 900D & 1 x 1200Ø x 900D SOAKWELLS AS PER SHIRE REQUIREMENTS.
- SOAKWELL LOCATION MAY BE ADJUSTED AT PLUMBERS DISCRETION.

NOTE:

- ANY REPAIRS/REMOVAL/REINSTATING OF FENCING OR RETAINING WALLS WILL BE THE RESPONSIBILITY OF THE OWNER
- ALL TREES SHOWN HATCHED ARE TO BE REMOVED BY OWNER INCLUDING ALL GRUBBING OUT OF THE ROOTS.

ZONING: R40
SITE AREA + CPA : 271 + 76 m²
SITE ALLOWANCE : 55% 191 m²
SITE COVERAGE : 156m²

NOTE:

N1 WIND CLASSIFICATION. REFER TO ENGINEERS SPECIFICATION.

NOTE:

PROVIDE REFLUX VALVE FOR HOBBLESS SHOWER ENSUITE & BATH.

COASTAL CATEGORY R3

LOT 38

SINGLE STOREY BRICK & IRON RESIDENTIAL (NO ACCESS, WELL CLEAR)

CLIENT:

DATE:

CLIENT:

DATE:

BUILDER:

DATE:

JOB N° 93579 SHEET N° 6 OF 6

REVISION	VO #	DRN	DATE	CHK
SITE SURVEY	1	SD	14/04/20	JP
6* REPORT		SD	14/04/20	SD

Sub-contractors to verify all dimensions on site.

AUTOMATED SURVEYS
 LICENSED SURVEYORS and DEVELOPMENT CONSULTANTS
 3 HASLER RD, OSBORNE PARK, WA 6017
 P.O.Box 1862, Osborne Park DC WA 6916
 Telephone (08) 9214 1777
 www.automatedsurveys.com.au

B					
A	27/03/2020	SITE SURVEY	RDP	ABR	
REV.	DATE OF SURVEY	DESCRIPTION	SURVEYOR	DRAFTER	CHECKED
BUILDER:	HOMESTART		PLAN:	SP 81428	
REF.:	H 93579		C/T.:	2978/464	
H. Grid:	LOCAL	A.H.D level:	13.55	A.H.D. value	S.S.M.
V. Datum:	APPROX.	Local level:	13.55	derived from:	MULL 271
Distance	from Datum:		290.43 m		

CLIENT:	MCCANN / PHILLIPS	
PROJECT:	LOT 2 (#286A) EDDYSTONE AVENUE, HEATHRIDGE	
AUTHORITY:	CITY OF JOONDALUP	UBD MAP: 166 / 15 / 10
PLAN:	SITE SURVEY	PACKAGE: A SCALE: 1:200 @ A3
Approx. distance:	3.7 km FROM COAST LINE	SHEET: 1 of 1
distance:	1.8 km FROM LAKE	DRAWING No.: 231694
		REV: A

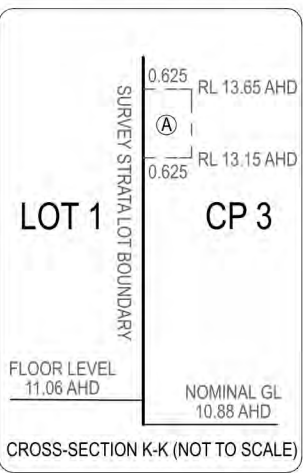
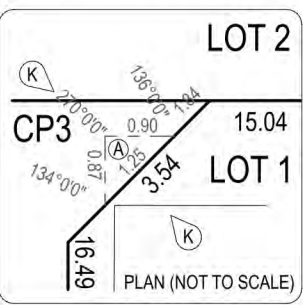
TBE - To Be Establish; BTC - Builder To Confirm

THE INFORMATION ON THIS DRAWING IS CURRENT AS AT THE DATE OF SURVEY. SERVICES ARE TO BE CONFIRMED WITH RELEVANT AUTHORITIES. THIS INCLUDES WITHOUT LIMITATION; SEWERAGE, WATER SUPPLY, DRAINAGE, POWER SUPPLY, GAS SUPPLY & COMMUNICATIONS. FURTHER INTERESTS / NOTIFICATIONS / ENCUMBRANCES MAY BE LISTED ON THE CERTIFICATE OF TITLE.

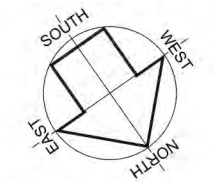
NOTE: BOUNDARY POSITION AS PER ALIGNMENT

WARNING: BOUNDARY RE-PEG SURVEY WILL BE REQUIRED TO CONFIRM, REPLACE AND/OR ADJUST BOUNDARY MARKS TO THE CORRECT POSITIONS.

(A) EASEMENT: (INTRUSION)
 REG 14H OF THE STGR 1996
 LAND BURDENED: CP 3
 BENEFIT TO: LOT 1
 EAVES & GUTTERS



NOTE: AHD LEVELS DERIVED FROM SSM MULL 271 RL 13.55 AHD USING DATA SUPPLIED BY LANDGATE



LOT 2

271 m²
 SANDY
 WEED COVER

COMMON LEGEND

- PF PEG FOUND
- Pdist PEG DISTURBED
- PG PEG GONE
- ◆ DATUM / CONTROL
- SV STOP VALVE
- HY (GROUND) HYDRANT
- FP FLUSH POINT
- ⊕ TAP WATER TAP
- ⊕ MC METER CONNECTION
- M WATER METER
- DRAINAGE MANHOLE
- ▨ GRATE
- ▭ SIDE ENTRY PIT
- SEW SEWER MANHOLE
- IS INSPECTION SHAFT
- IO INSPECTION OPENING
- CP CONSUMER POLE
- PP POWER POLE
- LP LAMP POST
- SP STAY POLE
- PD POWER DOME / PILLAR
- TEL / NBN TELSTRA / NBN PIT
- GAS GAS METER
- ⊗ G GAS LINE MARKER (PT)

- 99 TOW TOP OF WALL
- 99 TOR TOP OF RETAINER
- 99 STILL STILL DEEPER
- 99 TOB TOP OF BACKING BLOCK
- 99 TOF TOP OF FOOTING
- 99 BOR BOTTOM OF RETAINER
- 99 BOF BOTTOM OF FENCE FRAME

SERVICE INFORMATION

SEWERAGE: YES
 WATER: YES BTC
 PRELAD:
 GAS: YES
 COMM: YES
 POWER: U/G

FILE PATH: \\Volumes\Share\hsh\dl\jose93579-53999\93579_V2023579.dwg