

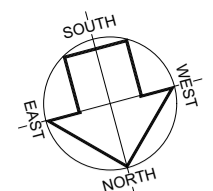
© COPYRIGHT



REVISION	VO #	DRN	DATE	CHK
WDRAW		DBO/BS	20.03.20	AT/SR
VO		AP	11.05.20	AT

CLIENT: _____
 DATE: _____
 CLIENT: _____
 DATE: _____
 BUILDERS REPRESENTATIVE: _____
 DATE: _____

GRANO - AREA	
Top Surface [m2]	Perimeter [m]
32.56 m ²	24.22 m



LOT 368
 770 m²
 SANDY
 GRASS COVER

NOTE:
 DO NOT SCALE FROM THIS DRAWING. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND COMMENCING OF ANY WORK.

SHEET N°
1 OF 17

COMMON LEGEND

- PF PEG FOUND
- Pdist PEG DISTURBED
- PG PEG GONE
- ◆ DATUM / CONTROL
- SV STOP VALVE
- HY (GROUND) HYDRANT
- FP FLUSH POINT
- ⊕ TAP WATER TAP
- ⊕ MC METER CONNECTION
- M WATER METER
- DRAINAGE MANHOLE
- ▣ GRATE
- ▣ SIDE ENTRY PIT
- SEW SEWER MANHOLE
- IS INSPECTION SHAFT
- IO INSPECTION OPENING
- CP CONSUMER POLE
- PP POWER POLE
- LP LAMP POST
- SP STAY POLE
- PD POWER DOME / PILLAR
- TEL / NBN TELSTRA / NBN PIT
- GAS GAS METER
- × G GAS LINE MARKER (PT)

- 99 TOW TOP OF WALL
- 99 TOR TOP OF RETAINER
- 99 STILL STILL DEEPER
- 99 TOB TOP OF BACKING BLOCK
- 99 TOF TOP OF FOOTING
- 99 BOR BOTTOM OF RETAINER
- 99 BOF BOTTOM OF FENCE FRAME

SERVICE INFORMATION

SEWERAGE: YES
 WATER: YES
 PRELAD: YES RIGHT
 GAS: YES
 COMM. YES
 POWER: U/G

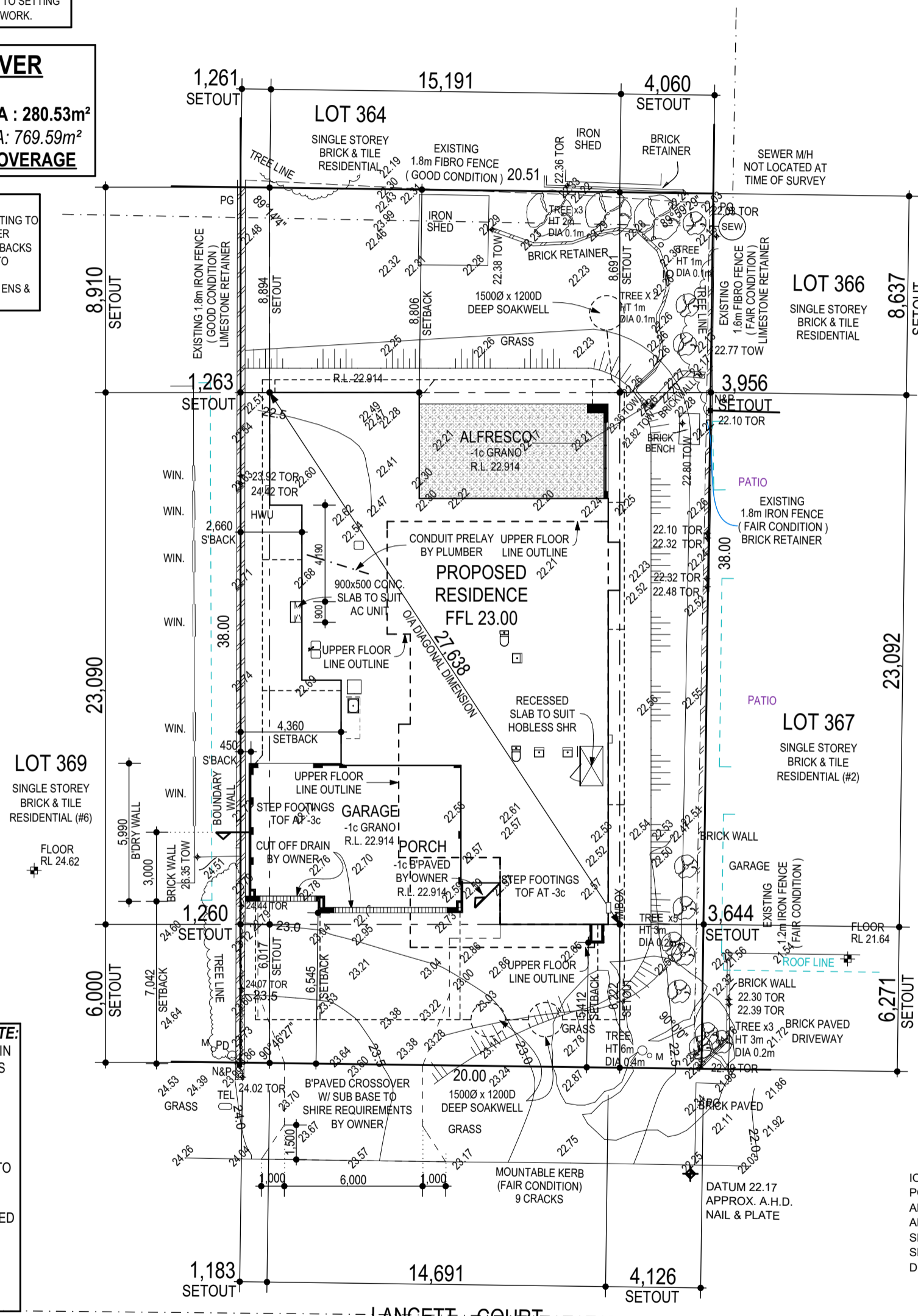
TBE - To Be Establish; BTC - Builder To Confirm
 THE INFORMATION ON THIS DRAWING IS CURRENT AS AT THE DATE OF SURVEY. SERVICES ARE TO BE CONFIRMED WITH RELEVANT AUTHORITIES. THIS INCLUDES WITHOUT LIMITATION: SEWERAGE, WATER SUPPLY, DRAINAGE, POWER SUPPLY, GAS SUPPLY & COMMUNICATIONS. FURTHER INTERESTS / NOTIFICATIONS / ENCUMBRANCES MAY BE LISTED ON THE CERTIFICATE OF TITLE.

IO POSITION OF SEWERAGE LINE AND SEWERAGE CONNECTION ARE APPROXIMATE ONLY
 SEWER INVERT LEVEL 19.84
 SEWER BROUGHT UP 0.0
 DEPTH TO CONNECTION 2.5

SITE COVER
 RESIDENCE AREA : 280.53m²
 TOTAL SITE AREA: 769.59m²
 = 36.45% SITE COVERAGE

NOTES:
 FINAL POSITION OF A/C DUCTING TO BE CONFIRMED BY INSTALLER
 FINAL HOUSE POSITION/SETBACKS AND DRIVEWAYS SUBJECT TO SHIRE APPROVAL
 PROVIDE REFLUX VALVE TO ENS & BATH SHR RECESS

R20



TERMITE & EHB NOTE:
 TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 AND BCA PART 3.1.3
 H2 TREATED PINE INSTALLED TO TIMBERLINK BLUE RECOMMENDATIONS TO ROOF FRAMING
 ONGOING ANNUAL INSPECTIONS REQUIRED BY OWNER AFTER HANDOVER
 EXTERNAL EXPOSED TIMBER TO BE H3 TREATED TIMBER

SITE PLAN

SCALE 1:200

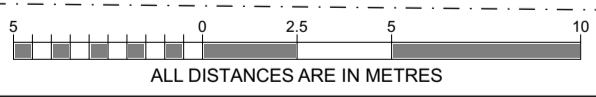
AUTOMATED SURVEYS
 LICENSED SURVEYORS and DEVELOPMENT CONSULTANTS
 3 HASLER RD, OSBORNE PARK, WA 6017
 P.O.Box 1862, Osborne Park DC WA 6916
 Telephone (08) 9214 1777
 www.automatedsurveys.com.au

REV.	DATE OF SURVEY	DESCRIPTION	SURVEYOR	DRAFTER	CHECKED
B	27/03/2020	ALIGNMENT	JMB	ABR	
A	17/10/2019	DETAIL SURVEY	SXC	DEM	

BUILDER: VENTURA HOMES #V3RK
 PLAN: P 15585
 C/T: N/A

H. Grid: LOCAL	A.H.D level: 26.27	A.H.D. value derived from: SEWER M/H T1695	Distance from Datum: 43.49 m
V. Datum: APPROX.	Local level: 26.27		

CLIENT: MICHAEL	PROJECT: LOT 368 (#4) LANCETT COURT, SORRENTO	UBD MAP: 205 / 13 / 77
AUTHORITY: CITY OF JOONDALUP	PACKAGE: D	SCALE: 1: 200 @ A3
PLAN: DETAIL SURVEY	SHEET: 1 of 1	DRAWING No.: 229488-AL
Approx. 1.1 km FROM COAST LINE	distance: 5.0 km FROM LAKE	REV: B

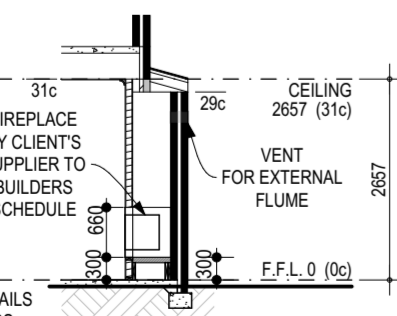
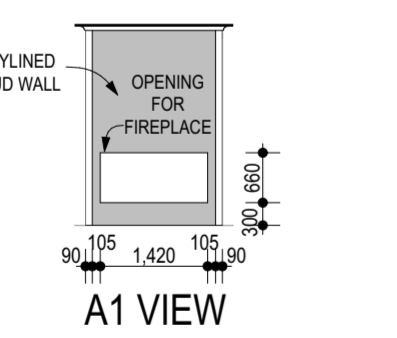
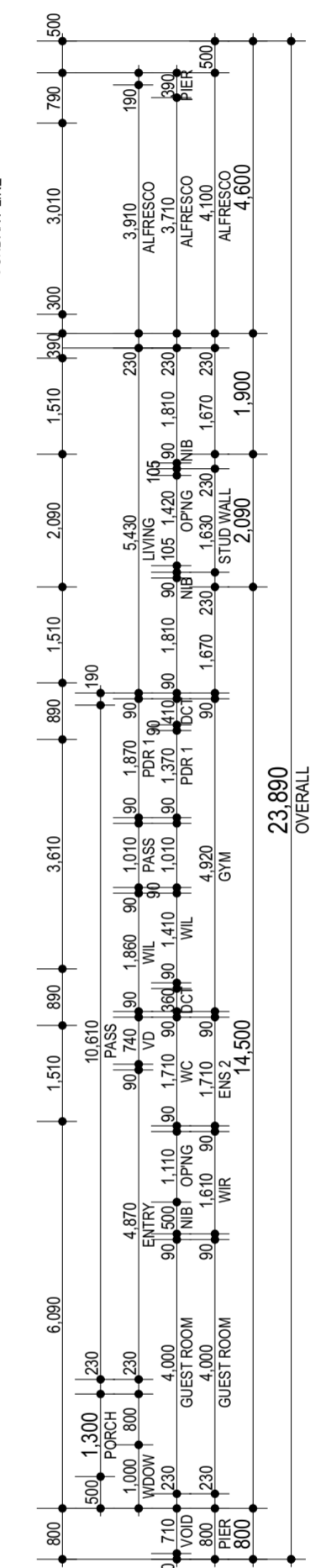
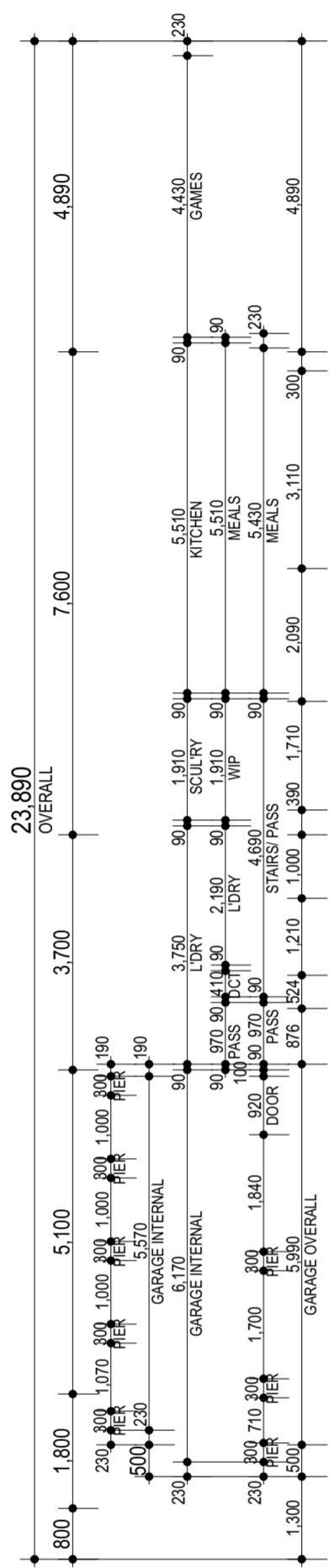
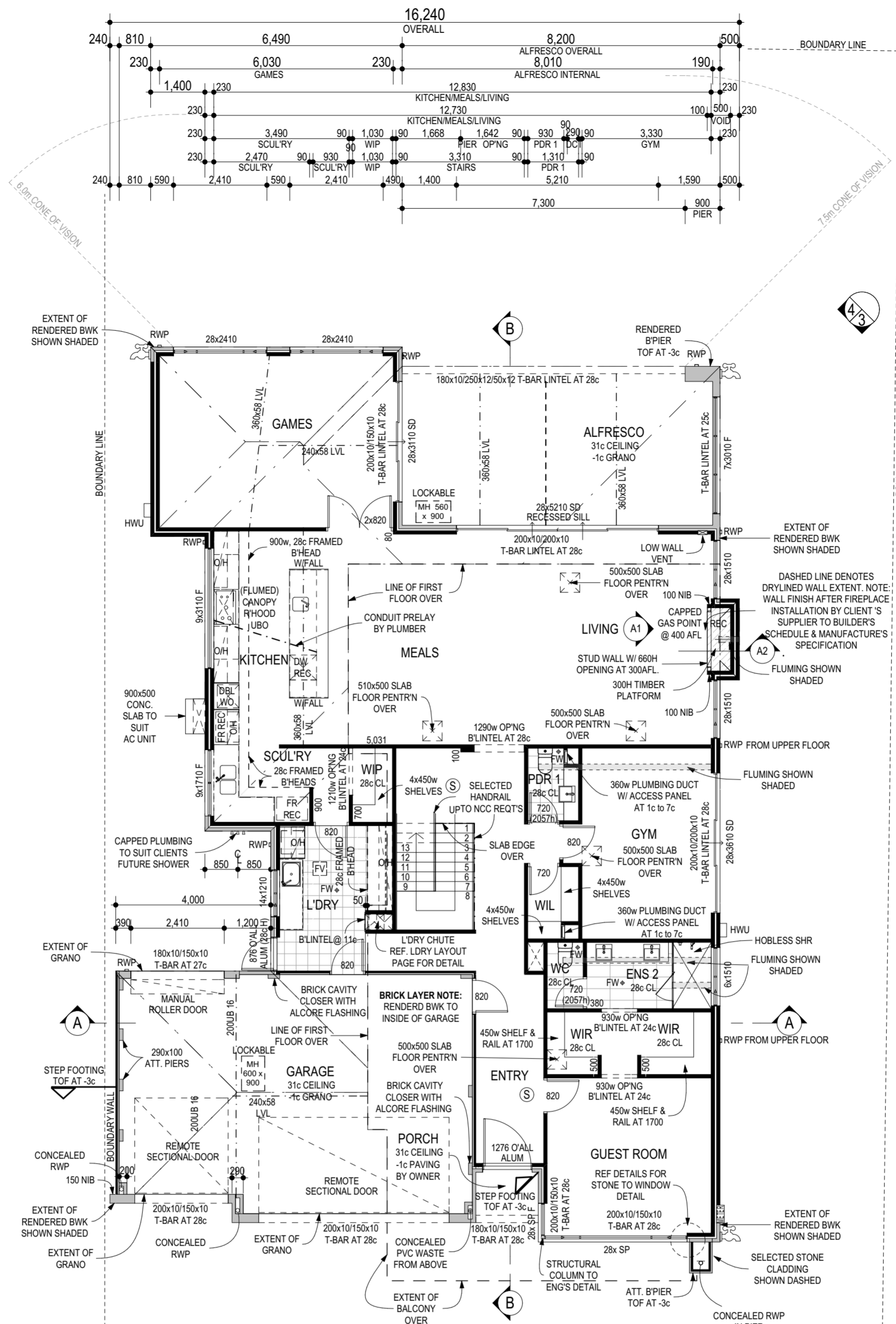
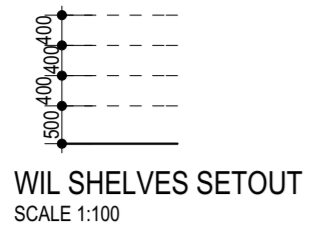


ALL DISTANCES ARE IN METRES

ROOF AREA(m2 ON THE FLAT)		155.92
AREAS - GROUND		
	PERIM. (m)	AREA (m ²)
HOUSE	76.56	220.08
GARAGE	31.56	57.86
ALFRESCO	24.60	33.62
PORCH	5.82	2.09
		313.65 m ²

TERMITE & EHB NOTE:

- TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 AND BCA PART 3.1.3
- H2 TREATED PINE INSTALLED TO TIMBERLINK BLUE RECOMMENDATIONS TO ROOF FRAMING
- ONGOING ANNUAL INSPECTIONS REQUIRED BY OWNER AFTER HANDOVER
- EXTERNAL EXPOSED TIMBER TO BE H3 TREATED TIMBER



REFER TO ENGINEERS DETAILS FOR CONCRETE FOOTINGS, WATERPROOFING, SLAB & SAND PAD REQUIREMENTS

GROUND FLOOR PLAN
SCALE 1:100

ALL TRADES NOTE:
KEEP AREA 500 OF CENTER LINE OF RANGEHOOD CLEAR OF ALL CHASING, BEAMS AND JOISTS.

NOTE:
31c CEILING FIRST FLOOR UNLESS NOTED OTHERWISE.
31c CEILING GROUND FLOOR THROUGHOUT UNLESS NOTED OTHERWISE.
28c HIGH DOORS THROUGHOUT UNLESS NOTES OTHERWISE

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL ENGINEERS DETAILS, ALL RELEVANT AUSTRALIAN STANDARDS & THE BUILDING CODE OF AUSTRALIA

NOTE:
DO NOT SCALE FROM THIS DRAWING. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND COMMENCING OF ANY WORK.

© COPYRIGHT

REVISION	VO #	DRN	DATE	CHK
WDRAW		DBO/BS	20.03.20	AT/SR
VO		AP	11.05.20	AT

CLIENT: _____
DATE: _____
CLIENT: _____
DATE: _____
BUILDERS REPRESENTATIVE: _____
DATE: _____

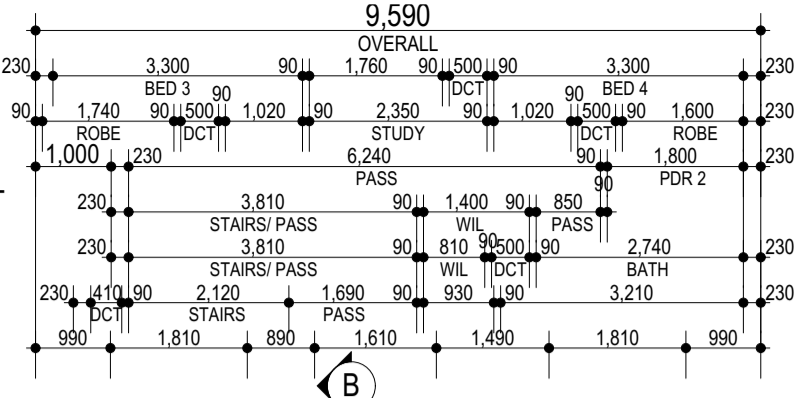
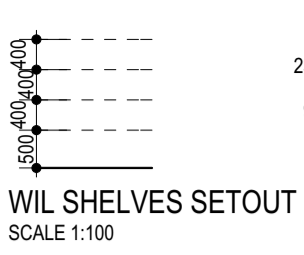
CLIENT: MICHAEL
ADDRESS: LOT 368 (#4) LANCETT COURT SORRENTO

SPECIAL	
SPEC	VE-SPEC
VISION N°	
MAP REF.	205 13 77
JOB N°	2011148
DATE	20.03.20
WIND RATING	N1
ENGINEERS DETAIL	D10V
SHEET N°	4 OF 17

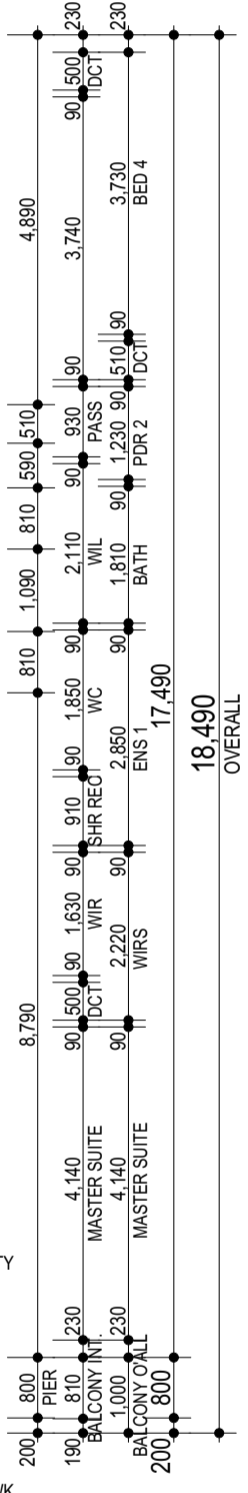
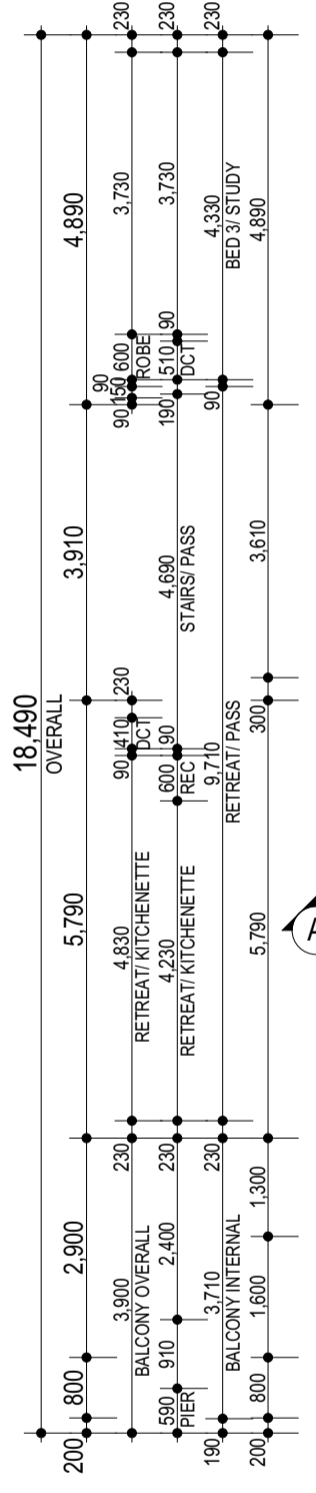
TERMITE & EHB NOTE:
 • TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 AND BCA PART 3.1.3
 • H2 TREATED PINE INSTALLED TO TIMBERLINK BLUE RECOMMENDATIONS TO ROOF FRAMING
 • ONGOING ANNUAL INSPECTIONS REQUIRED BY OWNER AFTER HANDOVER
 • EXTERNAL EXPOSED TIMBER TO BE H3 TREATED TIMBER

BALUSTRADE NOTE:
 BALUSTRADES TO BE IN ACCORDANCE WITH NCC VOL 2 CLAUSE 3.9.2

HANDRAIL NOTE:
 HANDRAILS TO BE IN ACCORDANCE WITH NCC VOL 2 CLAUSE 3.9.2.4

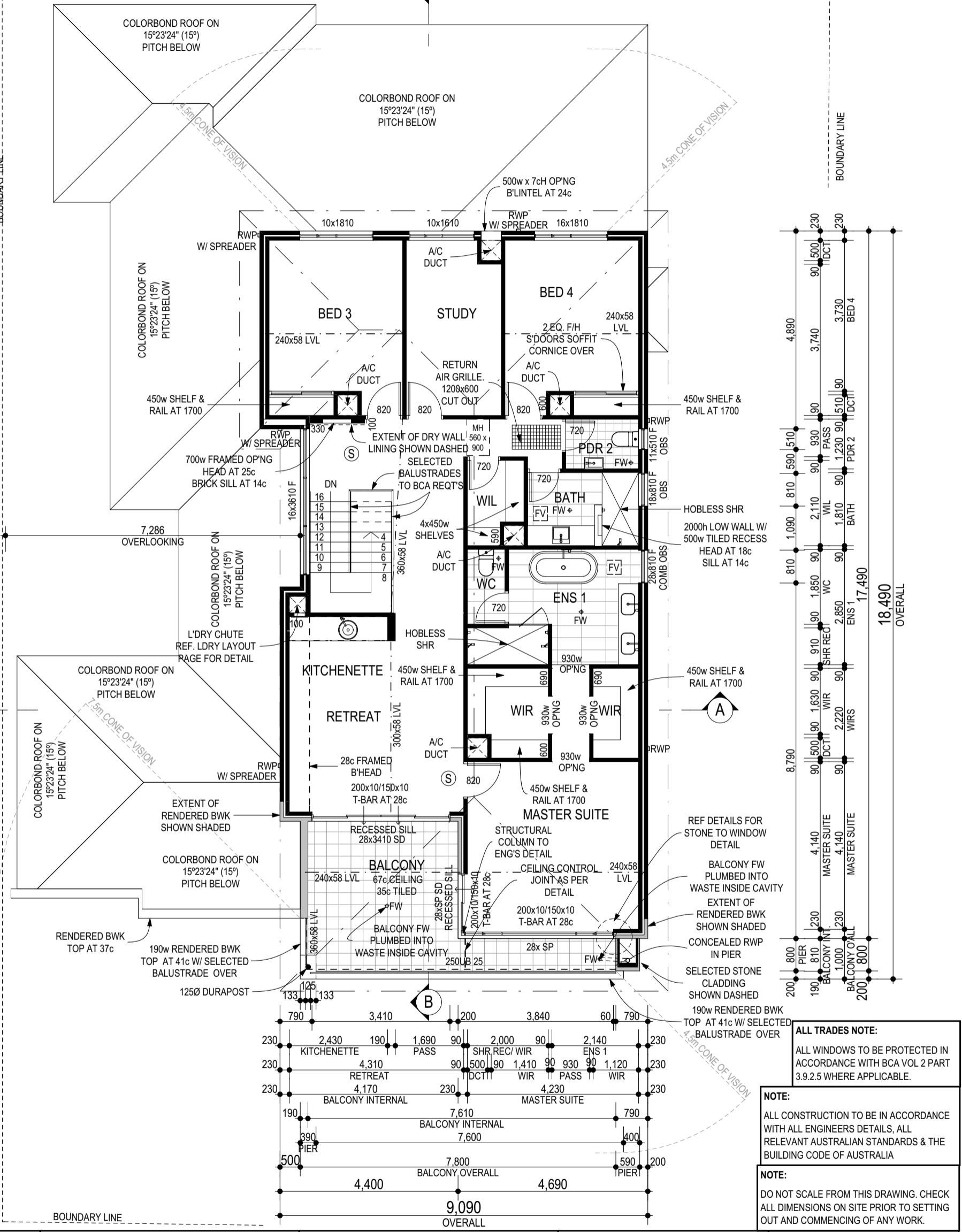


ROOF AREA[m2 ON THE FLAT]		190.87
AREAS - FIRST		
	PERIM. (m)	AREA (m ²)
HOUSE (FIRST)	56.76	147.18
BALCONY	24.58	19.59
		166.77 m ²



FIRST FLOOR PLAN
 SCALE 1:100

NOTE:
 31c CEILING TO FIRST FLOOR UNLESS NOTED OTHERWISE.
 28c HIGH DOORS THROUGHOUT UNLESS NOTES OTHERWISE



ALL TRADES NOTE:
 ALL WINDOWS TO BE PROTECTED IN ACCORDANCE WITH BCA VOL 2 PART 3.9.2.5 WHERE APPLICABLE.

NOTE:
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL ENGINEERS DETAILS, ALL RELEVANT AUSTRALIAN STANDARDS & THE BUILDING CODE OF AUSTRALIA

NOTE:
 DO NOT SCALE FROM THIS DRAWING. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND COMMENCING OF ANY WORK.

REVISION	VO #	DRN	DATE	CHK
W/DRAW		DBO/BS	20.03.20	AT/SR
VO		AP	11.05.20	AT

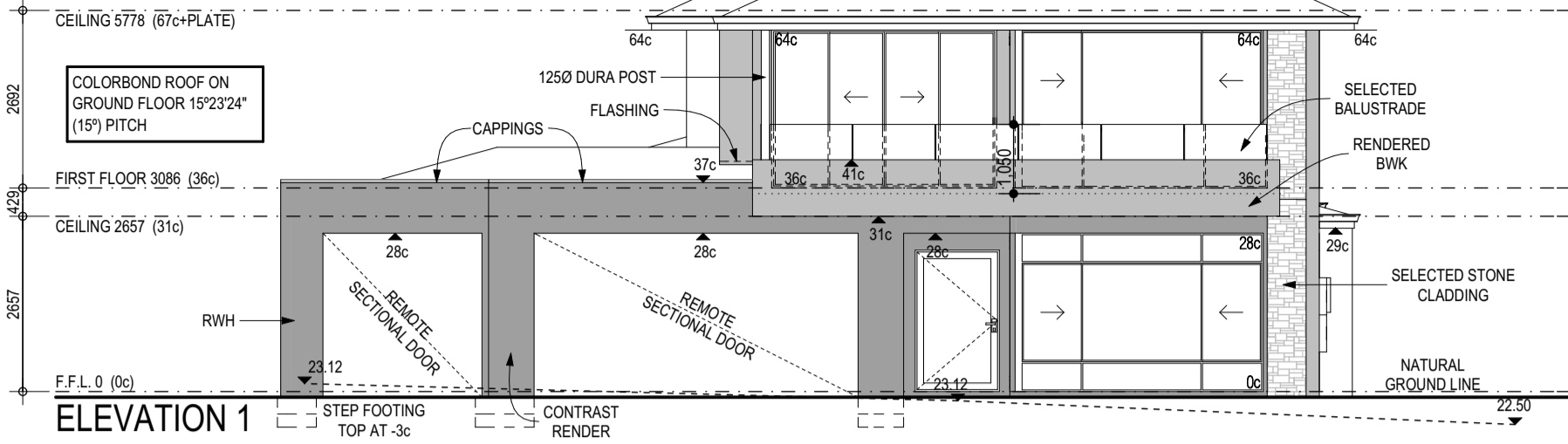
CLIENT: _____
 DATE: _____
 CLIENT: _____
 DATE: _____
 BUILDERS REPRESENTATIVE: _____
 DATE: _____

CLIENT: MICHAEL
 ADDRESS: LOT 368 (#4)
 LANCETT COURT
 SORRENTO

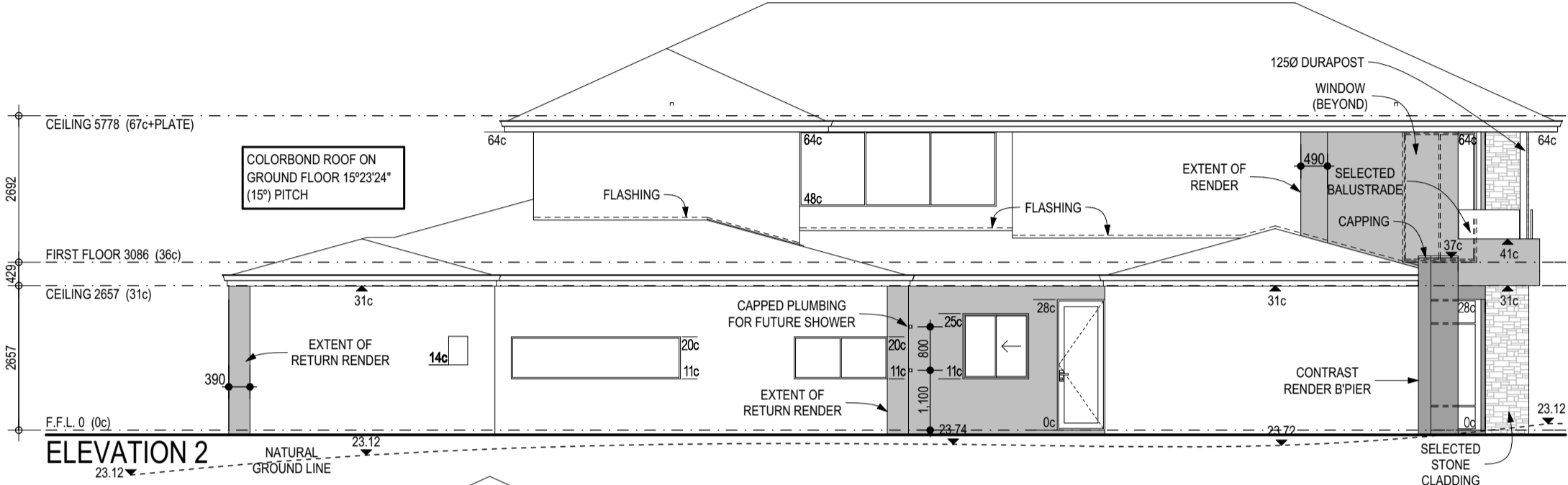
SPECIAL	
SPEC	DATE
VE-SPEC	20.03.20
VERSION N°	WIND RATING
	N1
MAP REF.	ENGINEERS DETAIL
205 13 77	D10V
JOB N°	SHEET N°
2011148	5 OF 17

NOTE:
 EXTENT OF RENDER SHOWN SHADED.
 EXTENT OF ALT. COLOR RENDER SHOWN IN DARKER SHADE.

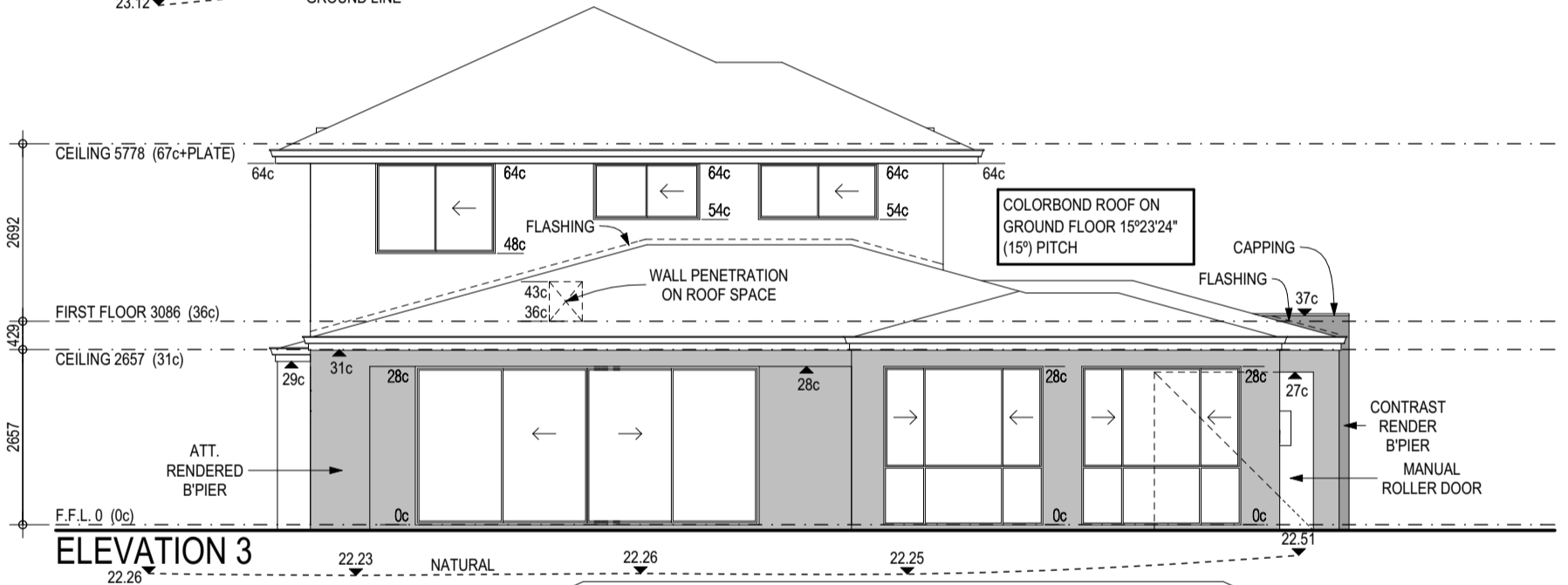
COLORBOND ROOF ON
 FIRST FLOOR 24°43'0"
 (25°) PITCH



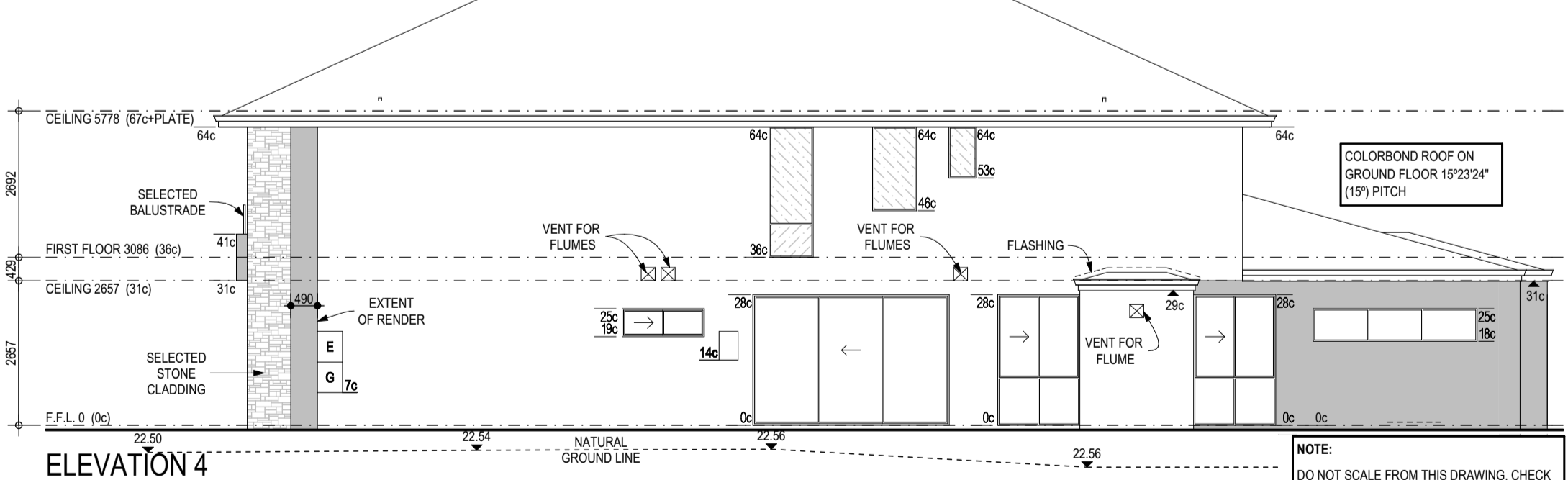
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

NOTE:
 DO NOT SCALE FROM THIS DRAWING. CHECK
 ALL DIMENSIONS ON SITE PRIOR TO SETTING
 OUT AND COMMENCING OF ANY WORK.



REVISION	VO #	DRN	DATE	CHK
WDRAW		DBO/BS	20.03.20	AT/SR
VO		AP	11.05.20	AT

CLIENT: _____
 DATE: _____
 CLIENT: _____
 DATE: _____
 BUILDERS REPRESENTATIVE: _____
 DATE: _____

CLIENT:
MICHAEL
 ADDRESS:
**LOT 368 (#4)
 LANCETT COURT
 SORRENTO**

SPECIAL	
SPEC	DATE
VE-SPEC	20.03.20
VERSION N°	WIND RATING
	N1
MAP REF.	ENGINEERS DETAIL
205 13 77	D10V
JOB N°	SHEET N°
2011148	6 OF 17