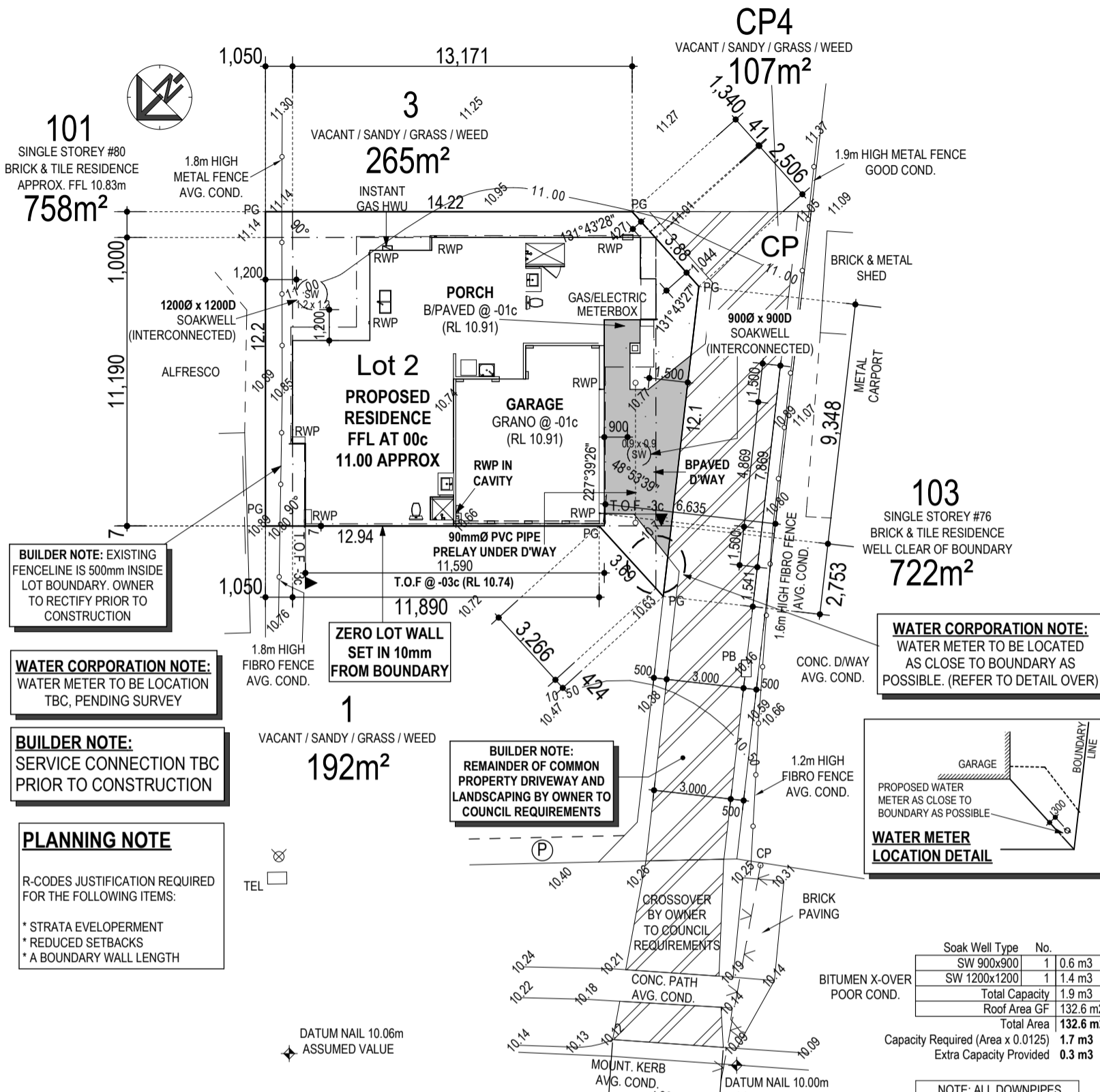




**SERVICE LEGEND**

- POWER**
- CONSUMER POLE ○ CP
- POWER POLE ○ PP
- LIGHT POLE ○ LP
- STAY POLE ○ SP
- S. WIRE ANCHOR ○ SWA
- UNI PILLAR ☒
- BOARD □ PB
- GAS**
- PRE-LAID CONN. ○ GPL
- METER □ GM
- SEWERAGE**
- MANHOLE ○ SMH
- INSPECT. SHAFT ○ IS
- INSPECT. OPENING ○ IO
- HOUSE CONNECTION ○ HC
- HOUSE CONN. INDICATOR ○ HCI
- INSPECT. SHAFT CONNECTION ○ ISC
- TELE.**
- PIT □ TEL
- PRE-LAID CONN. ○ TPL
- DRAINAGE**
- MANHOLE ○ DMH
- GULLY PIT □
- LOT PIT ○ LDP
- HOUSE CONN. ○ DHC
- SIDE ENTRY PIT □
- COMBINATION ENTRY PIT □
- WATER**
- STOP VALVE ○ WSV
- HYDRANT ○ HY
- FLUSH POINT ○ FP
- WATER TAP ⚙ WTP
- WATER METER ⚙ M
- PRE-LAID CONN. ○ WPL
- SURVEY**
- DATUM NAIL ⚡
- PEG FOUND ○ PF
- PEG DISTURBED ○ PD
- PEG GONE PG
- STAKE FOUND ○ STF



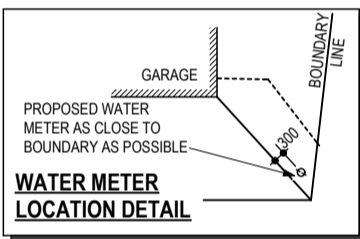
**BUILDER NOTE:** EXISTING FENCELINE IS 500mm INSIDE LOT BOUNDARY. OWNER TO RECTIFY PRIOR TO CONSTRUCTION

**WATER CORPORATION NOTE:** WATER METER TO BE LOCATION TBC, PENDING SURVEY

**BUILDER NOTE:** SERVICE CONNECTION TBC PRIOR TO CONSTRUCTION

**PLANNING NOTE**  
R-CODES JUSTIFICATION REQUIRED FOR THE FOLLOWING ITEMS:  
\* STRATA DEVELOPMENT  
\* REDUCED SETBACKS  
\* A BOUNDARY WALL LENGTH

**WATER CORPORATION NOTE:** WATER METER TO BE LOCATED AS CLOSE TO BOUNDARY AS POSSIBLE. (REFER TO DETAIL OVER)



Soak Well Type	No.	
SW 900x900	1	0.6 m3
SW 1200x1200	1	1.4 m3
<b>Total Capacity</b>		<b>1.9 m3</b>
<b>Roof Area GF</b>		<b>132.6 m2</b>
<b>Total Area</b>		<b>132.6 m2</b>
<b>Capacity Required (Area x 0.0125)</b>		<b>1.7 m3</b>
<b>Extra Capacity Provided</b>		<b>0.3 m3</b>

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

HOUSE TYPE: **AXNITE MK2** PROJECT NO: **W20009** SHEET NO: **1 of 6**

CLIENTS NAME: **CARROLL**  
SITE ADDRESS: **SL 2 (78) CAMBERWARRA DRIVE, CRAIGIE**  
V:\DRAWINGS\JOBS\WA BUILDING COMPANY\2020 PLANS\W20009 - Lot 2 - 78 Cambewarra Dr Craige (IQ)\Contract\W20009 - Lot 2 - 78 Cambewarra Dr.pln

No.	DESCRIPTION	DWG	DATE
A	WORKING DRAWINGS	MW	06/03/20
B	SITEPLAN	MP	11/03/20
C	CERTIFICATION	TB	08/04/20
D	PRESTART	TB	16/04/20
E	COUNCIL CHANGES	JG	####
F	####	####	####
G	####	####	####
H	####	####	####
I	####	####	####
J	####	####	####

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**NOTE: BCA REGULATION IN REGARDS TO ENERGY EFFICIENCY REQUIREMENTS TO NEW DWELLINGS MAY ALTER THIS DESIGN**

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**CAMBERWARRA DR**

**SITE PLAN**

1: 200

**STORMWATER DISPOSAL DIRECTED TO SOAKWELLS BY BUILDER**

**SIGNATURES**

CLIENT 1: \_\_\_\_\_ DATE: \_\_\_\_\_

CLIENT 2: \_\_\_\_\_ DATE: \_\_\_\_\_

BUILDERS: \_\_\_\_\_ DATE: \_\_\_\_\_

NO STRUCTURAL CHANGES

NOTE: POWER EASEMENT (P)

**GROUND COVER**  
SANDY / GRASS / WEED

SEWER CONNECTION POSITION APPROXIMATE ONLY  
SEWER INVERT LEVEL N/A  
SEWER BROUGHT UP N/A  
DEPTH TO CONNECTION N/A

TITLE : FEATURE SURVEY	LOT : 2 No. 78/B CAMBERWARRA DR
CLIENT : N/A	SUBURB : CRAIGIE SSP : 75945
BUILDER : WA BUILDING COMPANY	AUTHORITY : CITY OF JOONDALUP C/T : 2967/599
<p>P: (08) 9354 8511 W: www.linkssurveying.com.au E: info@linkssurveying.com.au</p>	UBD REF : 186 C 6 GPS : S 31.79393° E 115.76280° 
	SHEET 1 of 1 BUILDER'S REF W20009 SURVEYED 25/02/20 SCALE @ A3 1:200 DWG No 38313-01-100 REV A

**NOTE** This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996

**GENERAL NOTES**  
 ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION.  
 ALL INTERNAL DIMENSIONS ARE TO BRICK SIZES, NOT FINISHED SIZES  
 ANY DISCREPANCIES TO BE NOTIFIED TO BUILDER PRIOR TO COMMENCING WORK.  
 DO NOT SCALE FROM DRAWINGS.  
 VENT PIPE LOCATIONS AT PLUMBERS DISCRETION.  
 LOCATION OF RAINWATER PLUMBING IS INDICATIVE ONLY & MAY BE ADJUSTED ON SITE AT BUILDERS DISCRETION  
 ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL ENGINEERING DRAWINGS & REPORTS.  
 WARDROBE SHELVES TO BE 1700 A.F.L. WITH ROD UNDER UNLESS NOTED OTHERWISE  
 LINEN & PANTRY TO HAVE 4 SHELVES FIRST AT 450 A.F.L. REMAINDER TO BE 400mm APART  
 (LF) PROVIDE LIFT-OFF HINGES TO ALL W.C. DOORS

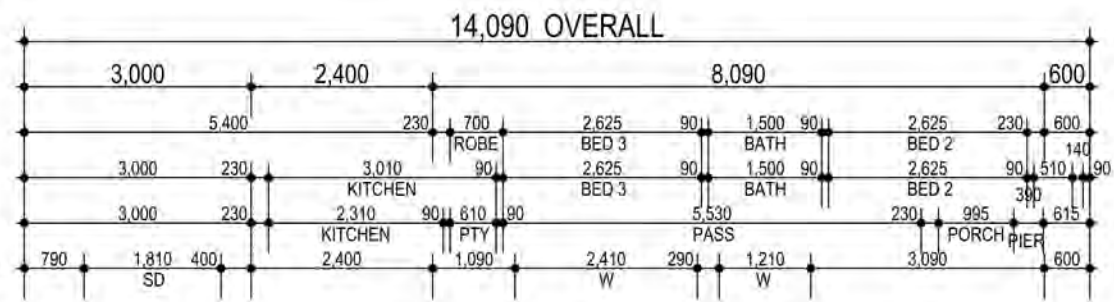
**FACE BRICK NOTE**  
 EXTERNAL FACE BRICKS TO BE 290x162x90 LAID IN THIRD BOND

**AIR CONDITIONING NOTE**  
 EVAPORATIVE DUCTED AIR CONDITIONING SYSTEM INCLUDED. DETAILS TBC AT PRESTART. (FINAL LAYOUT IS TO THE SOLE DISCRETION OF THE INSTALLER FOR THE BEST POSSIBLE PERFORMANCE)

**BUILDER NOTES**  
 WEATHERPROOFING OF MASONRY WILL BE PROVIDED IN ACCORDANCE WITH NCC Part 3.3.4, AS 3700 & AS 4773 (parts 1 & 2).  
 PROTECTION OF OPENABLE WINDOWS WILL PROVIDED IN ACCORDANCE WITH NCC Part 3.9.2.5  
 WATERPROOFING TO WET AREAS WILL BE PROVIDED IN ACCORDANCE WITH NCC Part 3.8.1.2 & AS 3740.

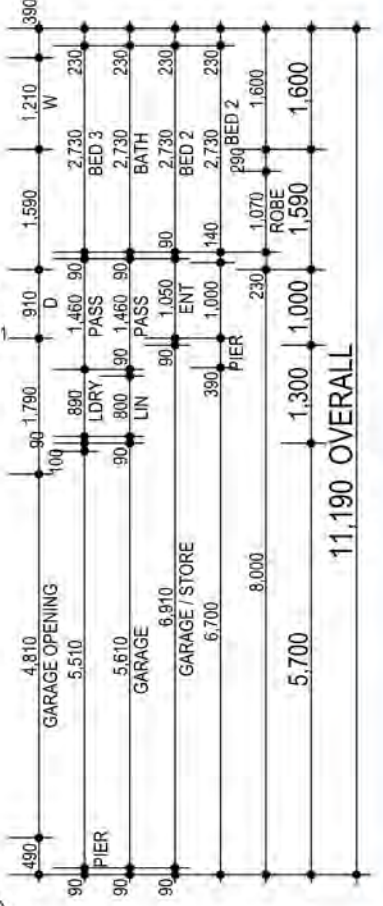
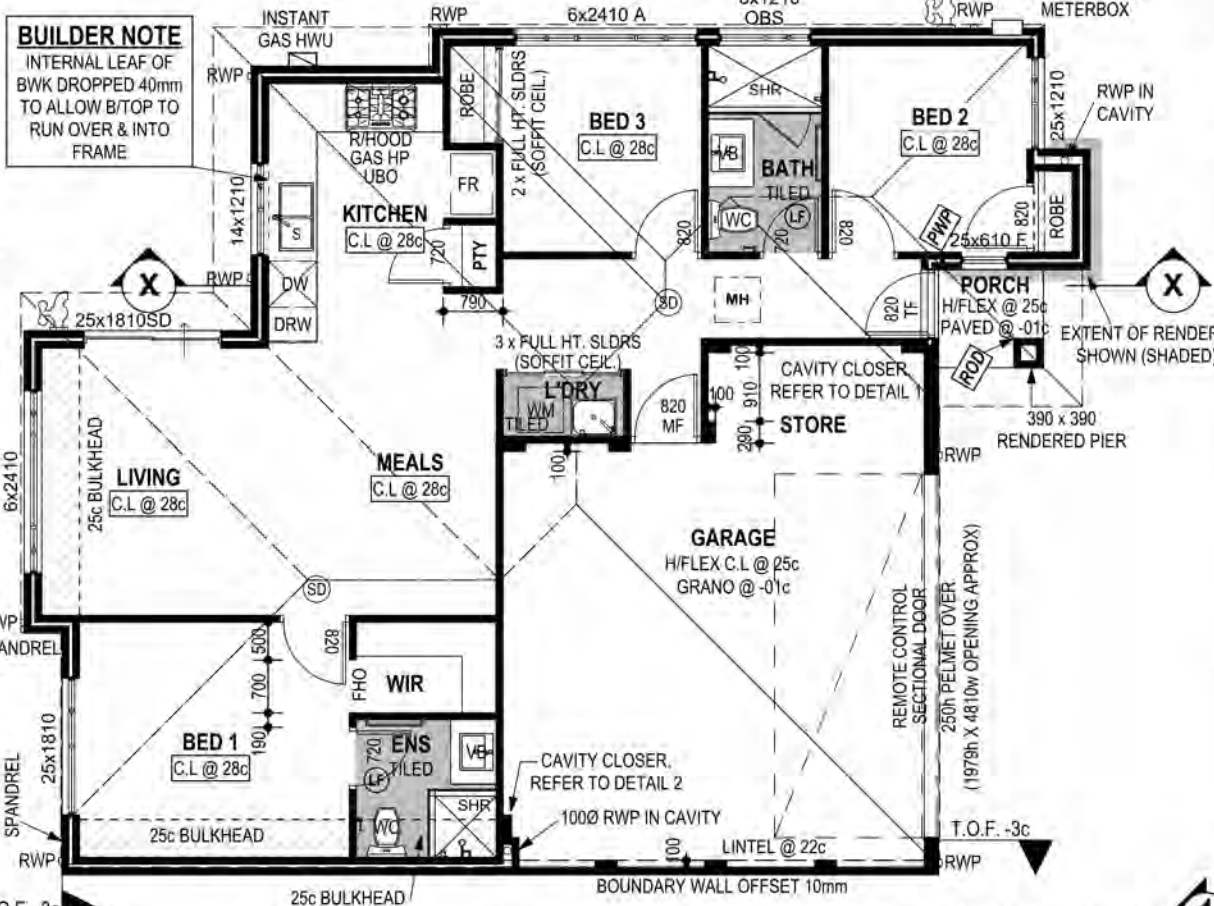
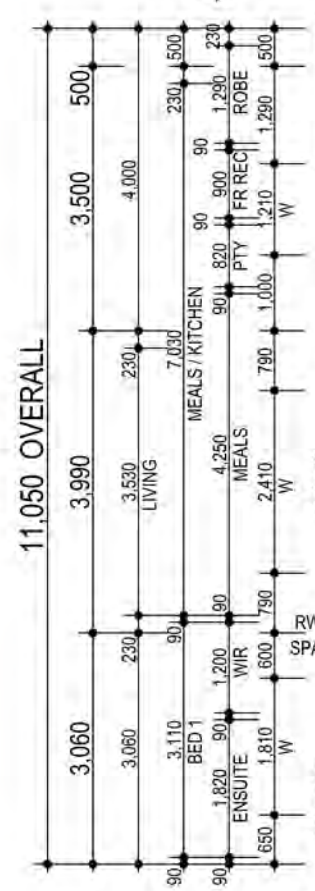
**PLANNING NOTE**  
 R-CODES JUSTIFICATION REQUIRED FOR THE FOLLOWING ITEMS:  
 \* STRATA EVELOPERMENT  
 \* REDUCED SETBACKS  
 \* A BOUNDARY WALL LENGHT

**CLIENT NOTE**  
 NO FURTHER STRUCTURAL CHANGES ARE PERMITTED

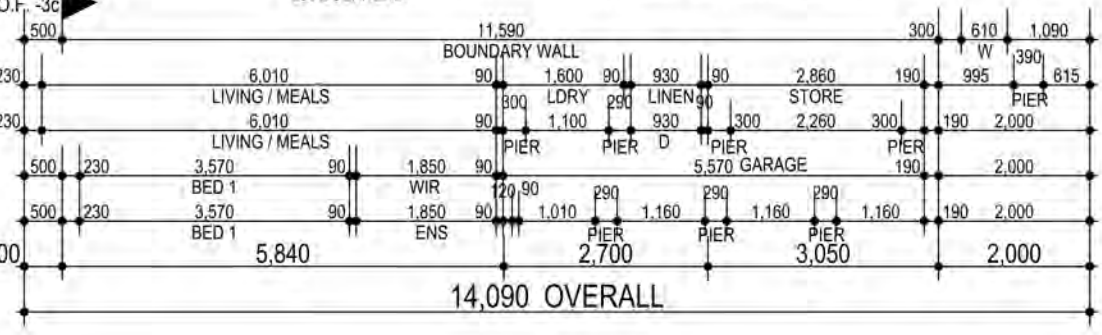


**BUILDER NOTE**  
 DENOTES WIND POST AS PER ENGINEER'S DETAIL

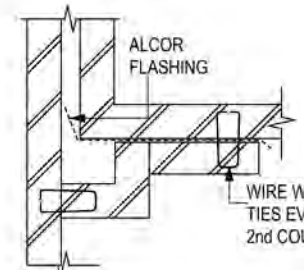
**BUILDER NOTE**  
 DENOTES ROD TO PIER AS PER ENGINEER'S DETAIL



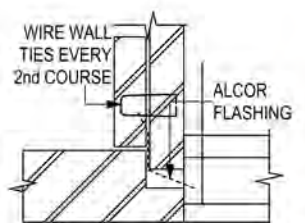
**FLOOR PLAN**  
 1:100



FLOOR AREA	
NAME	Area
GARAGE / STORE	37.31
HOUSE	88.60
PORCH	1.80
	127.71 m <sup>2</sup>
Roof Area	
ROOF	132.54
	132.54 m <sup>2</sup>
PERIMETER	
	Perimeter
GARAGE / STORE	25,700
HOUSE	50,560
	76,260 mm



**CAVITY CLOSER DETAIL 2**  
 1: 20



**CAVITY CLOSER DETAIL 1**  
 1: 20

HOUSE TYPE:  
**AXNITE MK2**  
 CLIENTS NAME:  
**CARROLL**  
 SITE ADDRESS:  
**SL 2 (78) CAMBERWARRA DRIVE, CRAIGIE**

SIGNATURES  
 CLIENT 1: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CLIENT 2: \_\_\_\_\_ DATE: \_\_\_\_\_  
 BUILDERS: \_\_\_\_\_ DATE: \_\_\_\_\_  
 NO STRUCTURAL CHANGES

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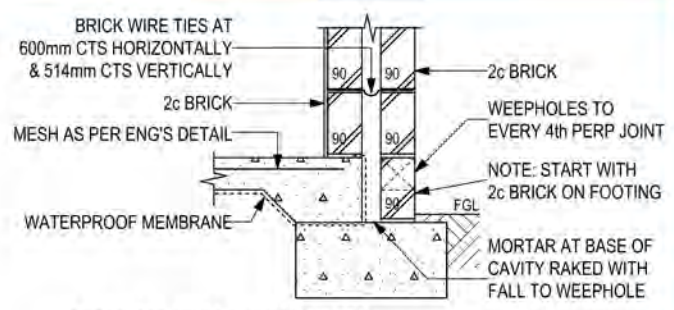
No.	DESCRIPTION	DWG	DATE
A	WORKING DRAWINGS	MW	06/03/20
B	SITEPLAN	MP	12/03/20
C	CERTIFICATION	TB	08/04/20
D	####	####	####
E	####	####	####
F	####	####	####
G	####	####	####
H	####	####	####
I	####	####	####
J	####	####	####

PROJECT NO:  
**W20009**  
 DESIGN BY:  
**WABC**  
 SHEET NO:  
**2 of 6**

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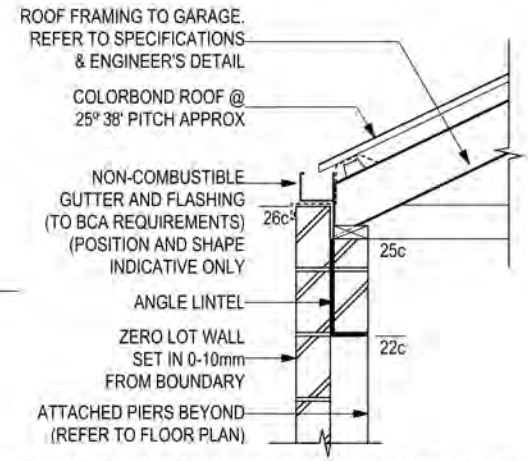
**FACE BRICK NOTE**

EXTERNAL FACE BRICKS TO BE 290x162x90 LAID IN THIRD BOND



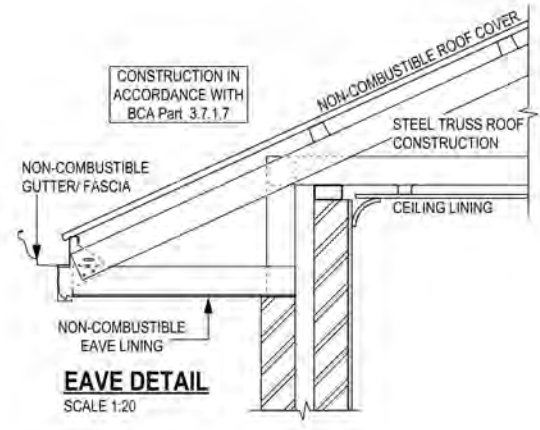
**CAVITY WALL FOOTING**

1: 20 BRICKLAYER SETOUT & SLAB WATERPROOFING DETAIL



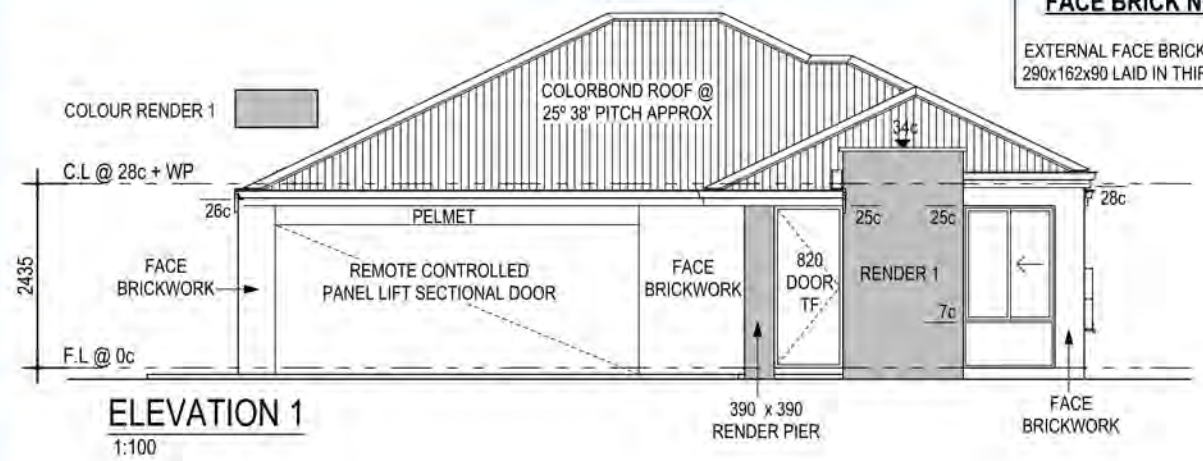
**GARAGE BOUNDARY WALL DETAIL**

1: 20



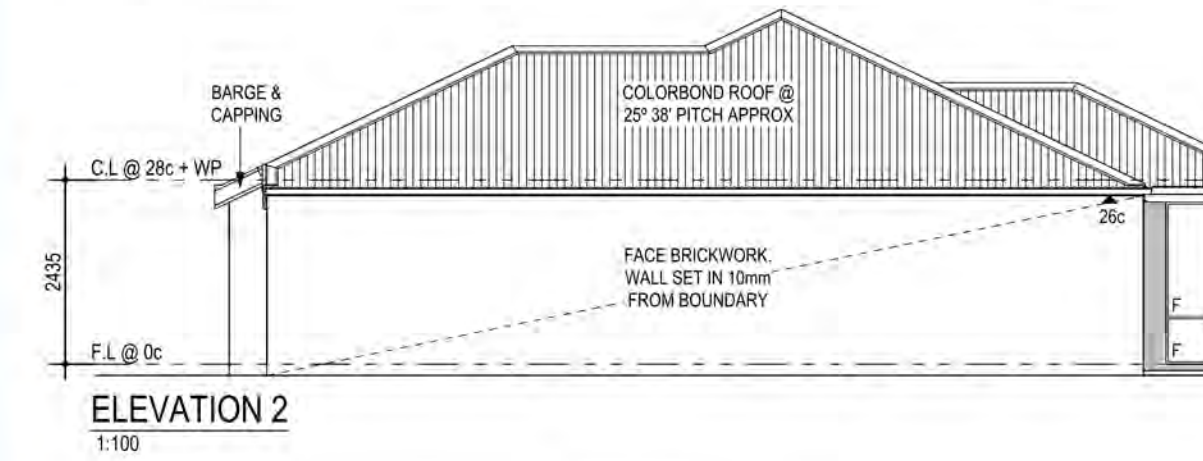
**EAVE DETAIL**

SCALE 1:20



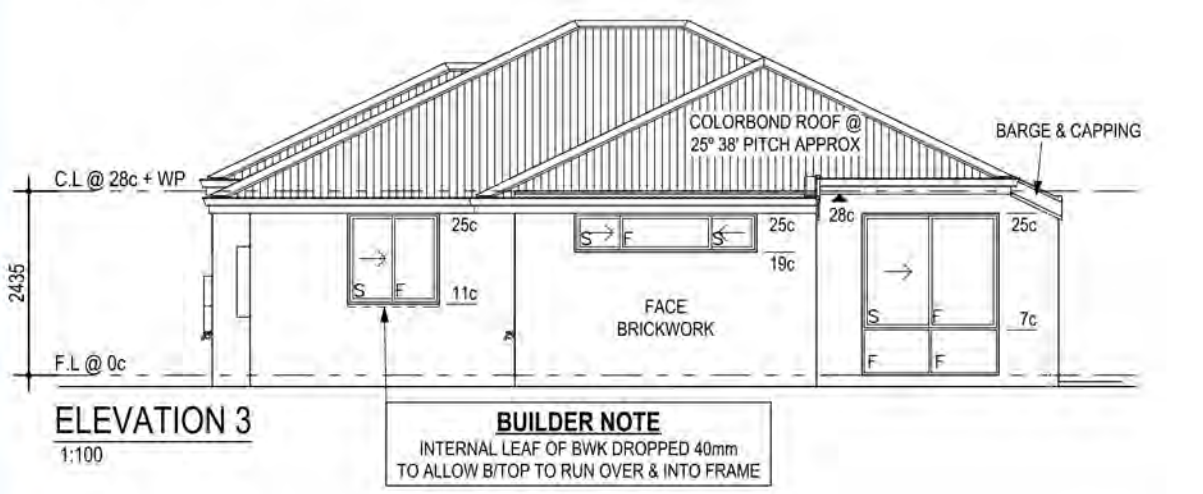
**ELEVATION 1**

1:100



**ELEVATION 2**

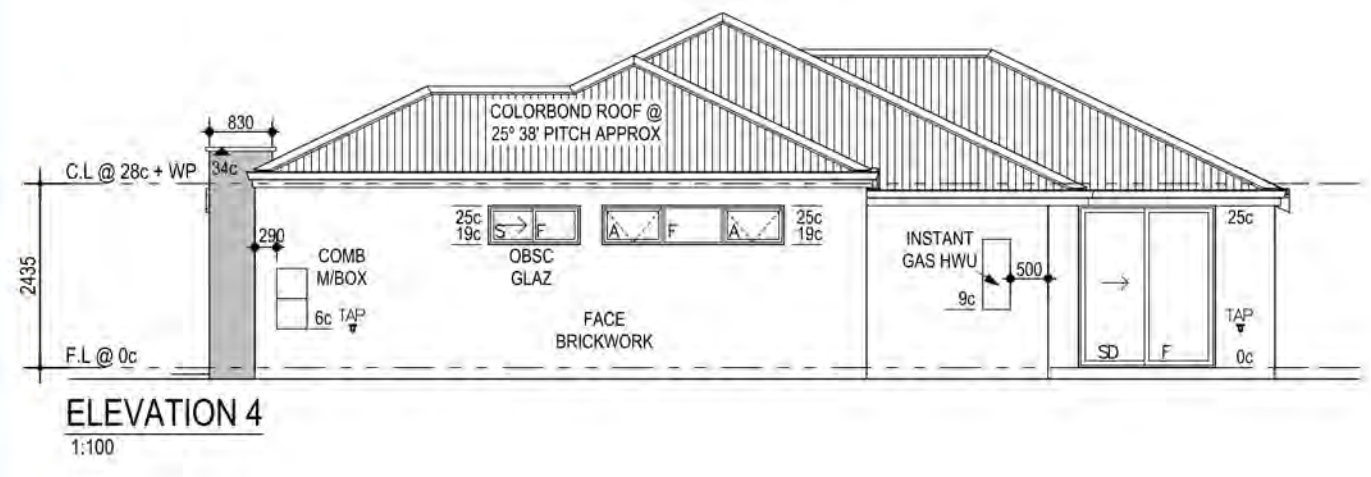
1:100



**ELEVATION 3**

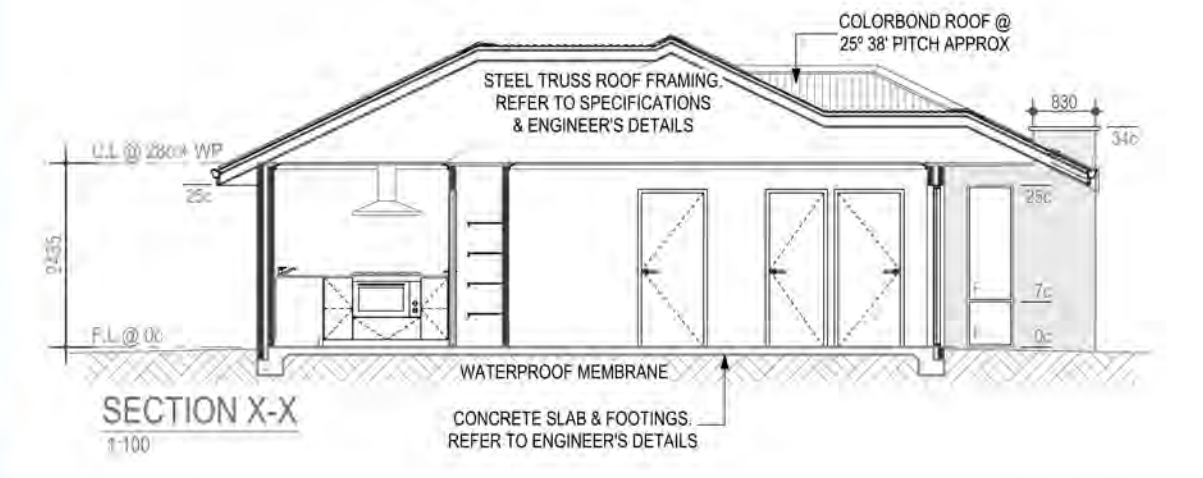
1:100

**BUILDER NOTE**  
 INTERNAL LEAF OF BWK DROPPED 40mm TO ALLOW B/TOP TO RUN OVER & INTO FRAME



**ELEVATION 4**

1:100



**SECTION X-X**

1:100

HOUSE TYPE:  
**AXNITE MK2**  
 CLIENTS NAME:  
**CARROLL**  
 SITE ADDRESS:  
**SL 2 (78) CAMBERWARRA DRIVE, CRAIGIE**

SIGNATURES  
 CLIENT 1: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CLIENT 2: \_\_\_\_\_ DATE: \_\_\_\_\_  
 BUILDERS: \_\_\_\_\_ DATE: \_\_\_\_\_  
 NO STRUCTURAL CHANGES

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PROJECT NO:  
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