

SERVICE LEGEND

- POWER**
- CONSUMER POLE ○ CP
- POWER POLE ○ PP
- LIGHT POLE ○ LP
- STAY POLE ○ SP
- S. WIRE ANCHOR ○ SWA
- UNI PILLAR ⊗
- EXPOSED CABLES ○ EC
- GAS**
- PRE-LAID CONN. ○ GPL
- METER □ GM
- SEWERAGE**
- MANHOLE ○ SMH
- INSPECT. SHAFT ○ IS
- INSPECT. OPENING ○ IO
- HOUSE CONNECTION ○ HC
- HOUSE CONN. INDICATOR ○ HCI
- INSPECT. SHAFT CONNECTION ○ ISC
- TELE.**
- PIT □ TEL
- PRE-LAID CONN. ○ TPL
- DRAINAGE**
- MANHOLE ○ DMH
- GULLY PIT □
- LOT PIT ○ LDP
- HOUSE CONN. ○ DHC
- SIDE ENTRY PIT □
- COMBINATION ENTRY PIT □
- WATER**
- STOP VALVE ○ WSV
- RETIC VALVE ○ RV
- FLUSH POINT ○ FP
- WATER TAP ⊕ WTP
- WATER METER ⊕ M
- PRE-LAID CONN. ○ WPL
- SURVEY**
- DATUM NAIL ⊕
- PEG FOUND ○ PF
- PEG DISTURBED ○ PD
- PEG GONE PG
- MARK ON FEATURE ■ MOF

PAVING AREAS	
Paving	Area
DRIVEWAY	57.81
ALFRESCO	14.73
PORCH	1.92
DRIVEWAY	0.00
	74.46 m²
Grano	
Area	
GARAGE	42.24
	42.24 m²

CLIENT NOTE
-FLOOR LEVELS ON PLAN CAN VARY 100mm EITHER WAY

PLUMBER NOTE
-ASSESS SOAKWELL SIZE & LOCATION

RAINWATER DISPERSAL

- SOAKWELLS
- SILT PIT
- BY BUILDER
- BY OWNER

Soak Well Type	No.	
SW 1200x1500	2	3.4 m ³
Total Capacity		3.4 m ³
Roof Area GF		229.4 m ²
Total Area		229.4 m ²
Capacity Required (Area x 0.0125)		2.9 m ³
Extra Capacity Provided		0.5 m ³

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

GROUND COVER
SANDY / GRASS / WEED
NOTE : BOUNDARY SUBJECT TO MATERIAL CHANGE AND WAPC APPROVAL.

SITE COVER CALC'S.

R-CODE:	R20
SITE AREA:	411m ² + 34m ² (COMMON PRTY)
SITE COVER (ENCLOSED AREA)	
HOUSE:	155.11m ²
GARAGE:	38.91m ²
STORE:	5.8m ²
TOTAL:	199.82m², 44.90%
(OPEN SPACE:	245.18m ² , 55.10%)

LOT RECORDS

LOT SERVICE	STATUS	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER	✓				
SEWERAGE	✓				
GAS	✓				
TELE.	✓				
DRAINAGE					✓
POWER	✓				✓

AREA: ESTAB
COASTAL DISTANCE 1.5-10km
LOT: 2
AREA: 412 m²
APPROX. AHD + 34.46m
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.
SEWER CONNECTION POSITION APPROXIMATE ONLY
SEWER INVERT LEVEL 8.36
SEWER BROUGHT UP 0.00
DEPTH TO CONNECTION 2.15

TITLE : FEATURE SURVEY	LOT : PROP. LOT 2 No. 31 NANIKA CR
CLIENT : A P PIETRUSZKO & S KANNAN	SUBURB : JOONDALUP
BUILDER : IDEAL HOMES	SSP : LOT 561 ON PLAN 16807
	AUTHORITY : CITY OF JOONDALUP
	C/T : N/A
	UBD REF : 145 P 9
	GPS : S 31.72917° E 115.75439°
	5 0 2.5 5 10 15
SHEET 1 of 1	BUILDER'S REF I20095
	SURVEYED 25/08/20
	SCALE @ A3 1:200
	DWG No 39444-01-100
	REV A

LINKS SURVEYING

P: (08) 9354 8511
W: www.linkssurveying.com.au
E: info@linkssurveying.com.au

NOTE: This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996

CLIENT: PIETRUSZKO & KANNAN
PROPOSED RESIDENCE
LOT 2 (#31) NANIKA CRESCENT, JOONDALUP.
HOUSE TYPE: INDIVIDUAL

SIGNATURES
CLIENT 1: DATE:
CLIENT 2: DATE:
BUILDERS: DATE:

NO STRUCTURAL CHANGES (PRINTED DATE: 16/09/2020)

DRAWN / AMENDMENTS
17/06/20 FINANCE BCM
28/08/20 WORKING / VO58780 KO/KT
14/09/20 VO 59278 BCM
15/09/20 SITE PLAN KO/KT
16/09/20 PS VO 59246 BCM

WORKING DRAWINGS
© COPYRIGHT IDEAL HOMES
BCA ENERGY EFFICIENCY REQUIREMENTS MAY ALTER THIS DESIGN
Dimensions take preference over scaling & to be checked on site prior to commencing construction

JOB NO: I20095
SCALE: 1:200,
QUOTE NO: Q20131.2
SHEET: 1 of 8

CLIENT NOTE

-DIMENSIONS RELATE TO BRICKWORK SETOUT ONLY.
 NO ALLOWANCE IS MADE FOR PLASTER OR WALL FINISH
 WHERE THESE APPLY.
 -FIXTURES ARE DIAGRAMMATIC, SIZE MAY VARY
 DUE TO MANUFACTURERS SPECIFICATIONS.

CONCRETOR/BK LAYER NOTE

-TOP OF ISOLATED PIER FOOTINGS AT -4c

CONCRETOR/PLUMBER NOTE

-ELEC PRE-LAY FOR GPO TO KITCHEN ISLAND BENCH

BRICKLAYER NOTE

2c FACE BRICKWORK

-RENDER TO FRONT ELEVATION ONLY
 -290 x 90 x 162 BRICKWORK LAID 1/3 BOND
 -1st COURSE OF BRICKWORK TO FOOTING AND SLAB TO BE 2c CORED BRICK
 -2c FACE BKWK TO BOUNDARY WALL & INSIDE OF GARAGE
 -PHYSICAL TERMITE BARRIER TO BOUNDARY WALL AT 0c
 -10c INTERNAL LEAF TO KITCHEN WINDOW

**BRICKLAYER/
 WINDOW SUPPLIER NOTE**

-TIMBER DOOR FRAMES MARKED TF

PLUMBER NOTE

-LOCATION OF FLOOR WASTES TO WET AREAS TO BE DETERMINED ON SITE AT PLUMBERS DISCRETION
 -LOCATION OF DOWNPIPES ARE INDICATIVE AND MAY BE CHANGED ON SITE AT PLUMBERS DISCRETION

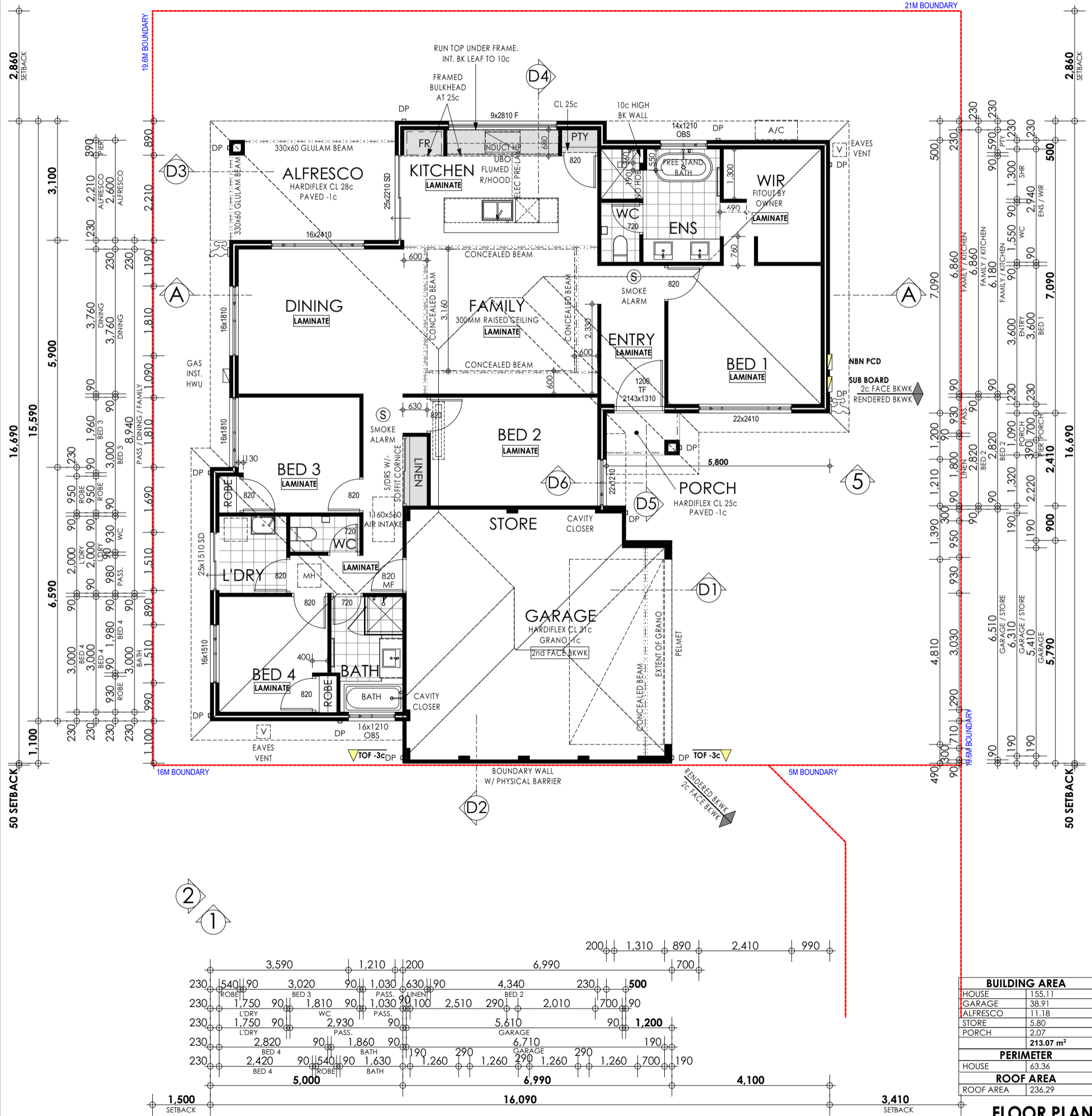
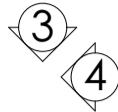
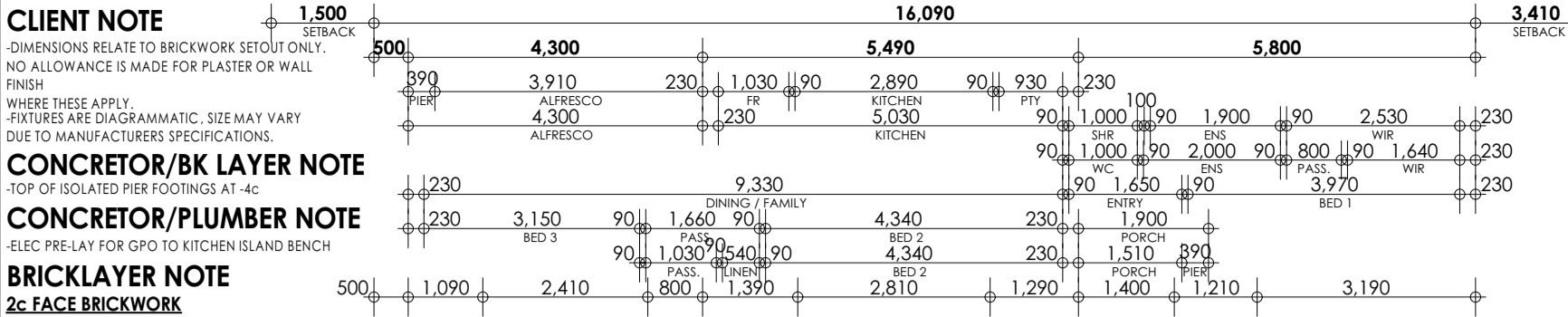
FIXING CARPENTER NOTE

-WEATHERDRAFT SEALS TO EXTERNAL DOORS
 -SHELF & RAIL TO ROBES AT 1700AFL U.O.N.
 -4x SHELVES TO LINENS, STORE & PANTRY AT 500/400/400/400 CTS U.O.N.

INSULATION NOTE


-R4.1 CEILING INSULATION TO HOUSE & GARAGE

BAL - 12.5
 -CONSTRUCTION AS PER AS 3959-2009
 REFER TO BUSHFIRE ADDENDA



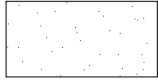
BUILDING AREA	
HOUSE	155.11
GARAGE	38.91
ALFRESCO	11.18
STORE	5.80
PORCH	2.07
TOTAL	213.07 m²
PERIMETER	
HOUSE	63.36
ROOF AREA	
ROOF AREA	236.29

FLOOR PLAN

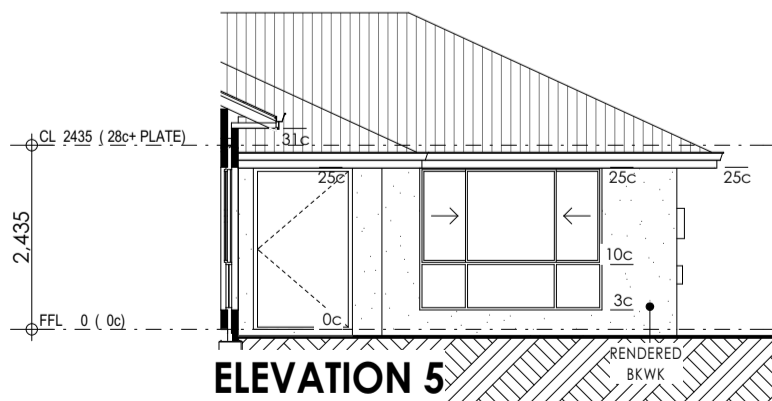
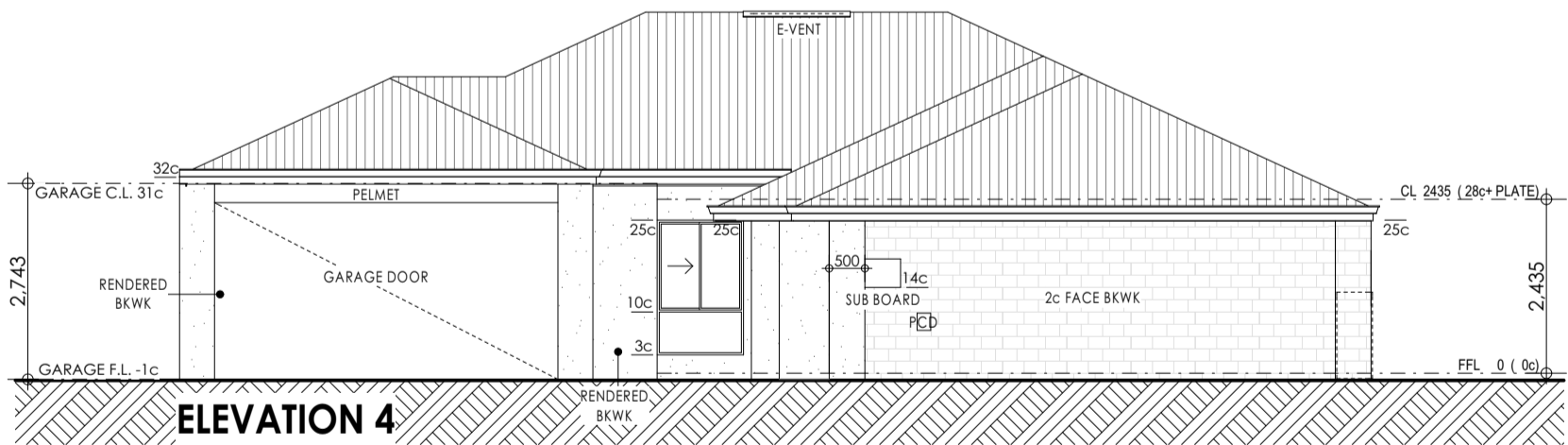
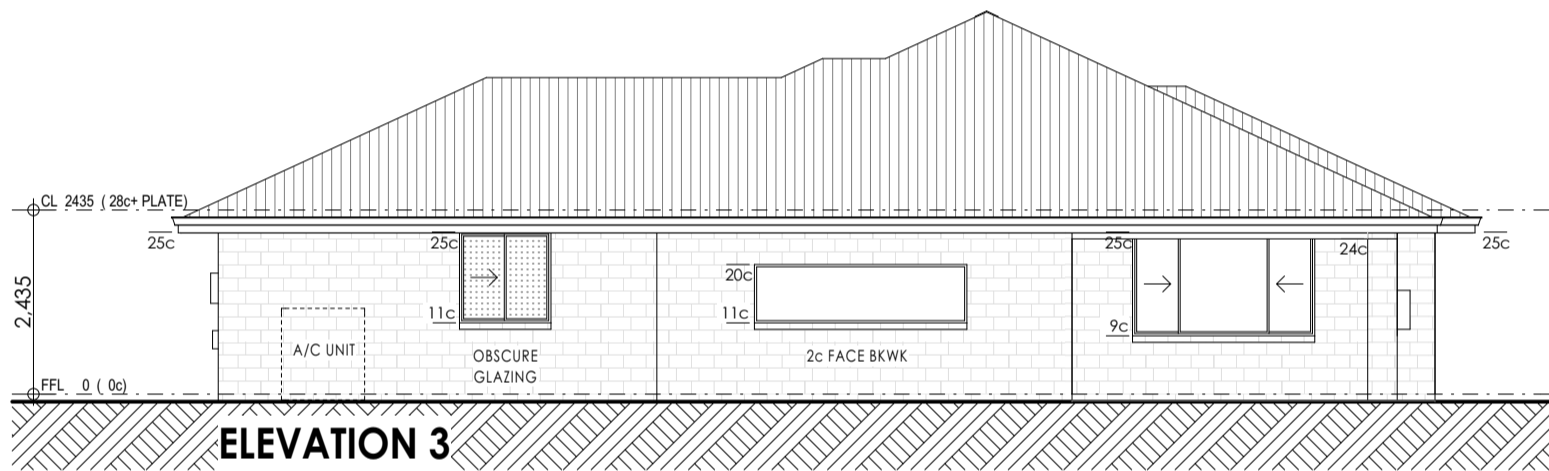
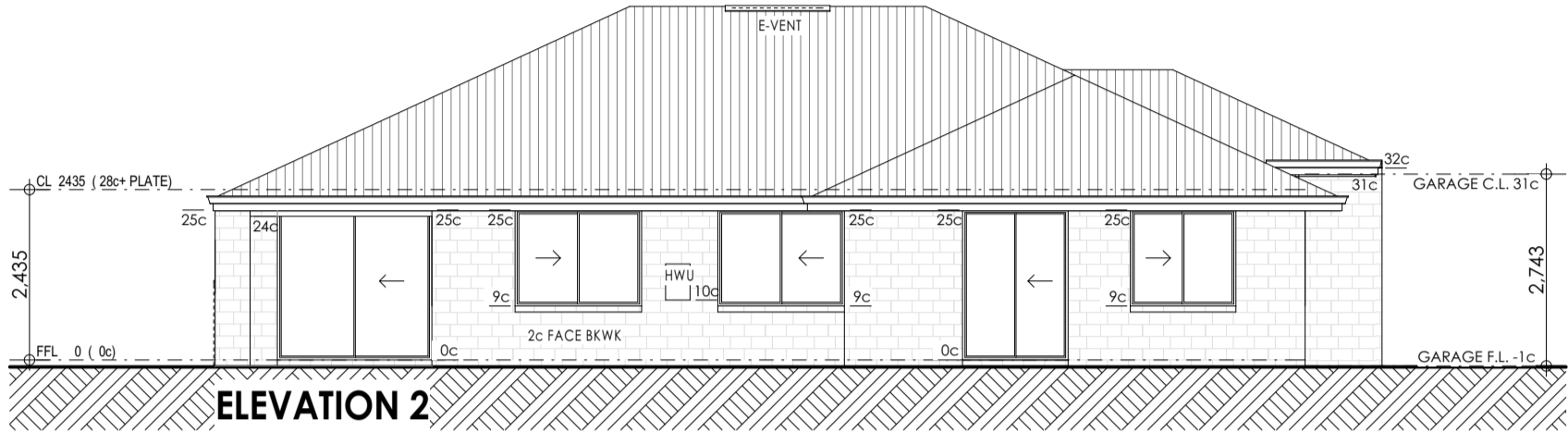
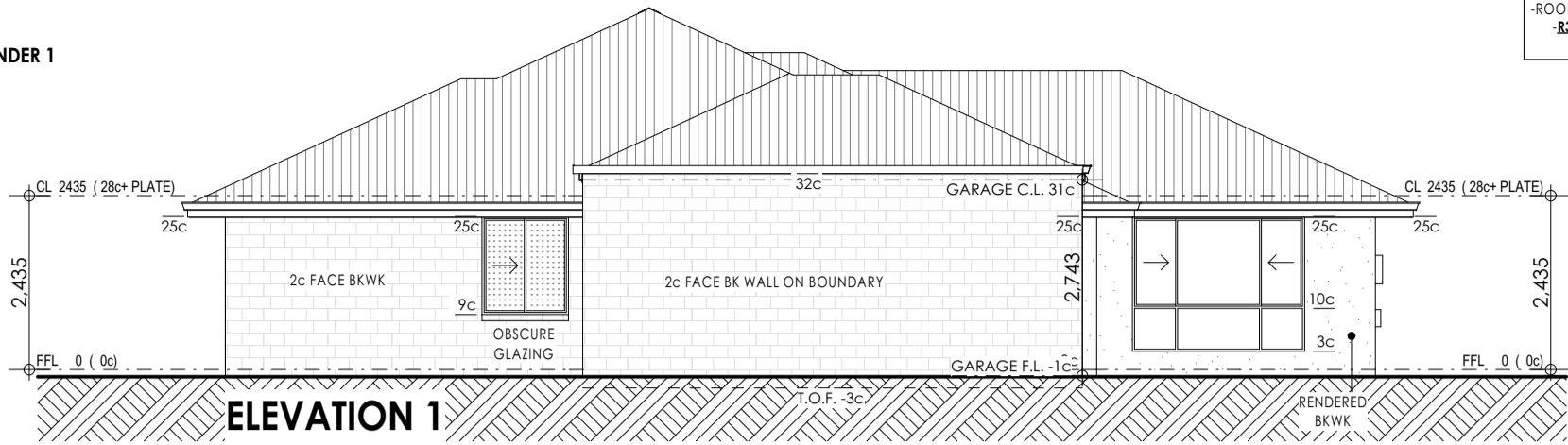
 <p>14 LUISINI ROAD WANGARA 6065 PH: 6200 2022 E: info@idealthomes.com.au</p>	<p>CLIENT PIETRUSZKO & KANNAN PROPOSED RESIDENCE LOT 2 (#31) NANIKA CRESCENT, JOONDAUP.</p> <p>HOUSE TYPE: INDIVIDUAL</p>	<p>SIGNATURES</p> <p>CLIENT 1: DATE:</p> <p>CLIENT 2: DATE:</p> <p>BUILDERS: DATE:</p> <p>NO STRUCTURAL CHANGES (PRINTED DATE: 16/09/2020)</p>	<p>DRAWN / AMENDMENTS</p> <p>17/06/20 FINANCE BCM 28/08/20 WORKING / VO58780 KO/KT 14/09/20 VO 59278 BCM 15/09/20 SITE PLAN KO/KT 16/09/20 PS VO 59246 BCM</p>	<p>WORKING DRAWINGS</p> <p>© COPYRIGHT IDEAL HOMES</p> <p>BCA ENERGY EFFICIENCY REQUIREMENTS MAY ALTER THIS DESIGN</p> <p>Dimensions take preference over scaling & to be checked on site prior to commencing construction</p>	<p>JOB NO: I20095</p> <p>SCALE: 1:100,</p> <p>QUOTE NO: Q20131.2</p> <p>SHEET: 3 of 8</p>
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1c SOLID RECESSED SILLS TO FACE BRICKWORK

**25° PITCH
METALDECK ROOF**
-ROOF FRAME TO COMPLY WITH AS1684
R3 CORROSION CLASSIFICATION
N1 WIND CLASSIFICATION



RENDER 1



ELEVATIONS



CLIENT
PIETRUSZKO & KANNAN
PROPOSED RESIDENCE
**LOT 2 (#31) NANIKA CRESCENT,
JOONDALUP.**
HOUSE TYPE: **INDIVIDUAL**

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JOB NO: **I20095**
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