

Integro Homes

Address: Lot 433 (#65) Macquarie Avenue, Padbury

Single Storey Residence

Job Number: 20054

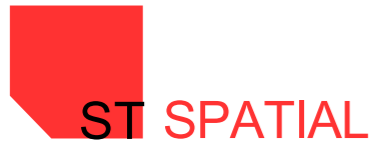
Drawing No	Description
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PD01	Cover Sheet
PD02	Existing Site Survey
PD03	Site Plan
PD04	Floor Plan
PD05	Elevations



Client Integro Homes Project Name Single Storey Residence Project Address Lot 433 (#65) Macquarie Avenue, Padbury	Drawing Title: Cover Sheet		Issue: Concept		
	Scale: as noted	Sheet Size: A3	Rev: 002	Description: Elevation	Drawn: SB
	Project No: 20054	Drawing No.: PD01 of 05	Revision Number: 002	Date: 17/06/2020	
	INTEGRO HOMES				

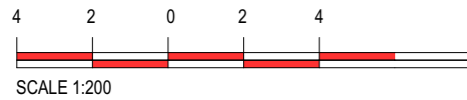
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Balcatta WA 6914
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PROPOSED SUBDIVISION

65 MACQUARIE AVENUE
PADBURY WA 6153
LOT 433 ON PLAN 11259



HORIZONTAL DATUM: ARBITRARY
VERTICAL DATUM: APPROX. AHD

NOTES:

THIS SURVEY MAY ONLY BE USED FOR CONTOUR AND FEATURE PLAN PURPOSES. THE LOT BOUNDARIES SHOWN HEREON WERE NOT MARKED AT THE TIME OF SURVEY AND ARE BASED UPON LANDGATE PLAN DIMENSIONS ONLY.

THIS SURVEY DOES NOT INCLUDE A TITLE SEARCH AND AS SUCH MAY NOT SHOW EASEMENTS OR OTHER INTERESTS. THE TITLE SHOULD BE CHECKED TO VERIFY ALL LOT DETAILS AND FOR ANY EASEMENTS OR OTHER INTERESTS WHICH MAY AFFECT BUILDING ON THE PROPERTY.

THIS SURVEY DOES NOT INCLUDE VERIFICATION OF CADASTRAL BOUNDARIES. THE BOUNDARY HAS BEEN POSITIONED BASED UPON THE ORIENTATION TO EXISTING PEGS, WALLS AND FENCES ONLY WHICH MAY NOT BE ON THE CORRECT BOUNDARY ALIGNMENT. ANY DESIGNS BASED OR DEPENDANT ON THE TRUE LOCATION OF EXISTING FEATURES SHOULD HAVE THOSE FEATURES LOCATION VERIFIED IN RELATION TO THE TRUE BOUNDARY.

THIS SURVEY SHOWS ONLY THE RELEVANT VISIBLE FEATURES THAT ARE LOCATED IN THE FIELD AND WILL NOT SHOW LOCATIONS OF UNDERGROUND PIPES OR CONDUITS FOR INTERNAL AND MAINS SERVICES. VERIFICATION OF THE LOCATION OF ALL INTERNAL AND MAINS SERVICES SHOULD BE CONFIRMED PRIOR TO FINALISATION OF ANY DESIGN WORK AND/OR DEMOLITION, EXCAVATION OR CONSTRUCTION.

SEWER DATA SHOWN ON THIS PLAN IS DERIVED FROM SUPPLIED WATER CORPORATION INFORMATION SHEETS AND IS COMPILED AS A BEST-FIT MODEL. ST SPATIAL CANNOT GUARANTEE THE ACCURACY OF THIS DATA.

ST SPATIAL ACCEPT NO RESPONSIBILITY FOR ANY FEATURES NOT LOCATED NOR ANY PHYSICAL ON SITE CHANGES THAT HAVE OCCURRED AFTER THE DATE OF THIS SURVEY.

EXISTING BOUNDARY _____

PROPOSED BOUNDARY _____

No. OF LOTS = 1

LOT 433 AREA = 690m²

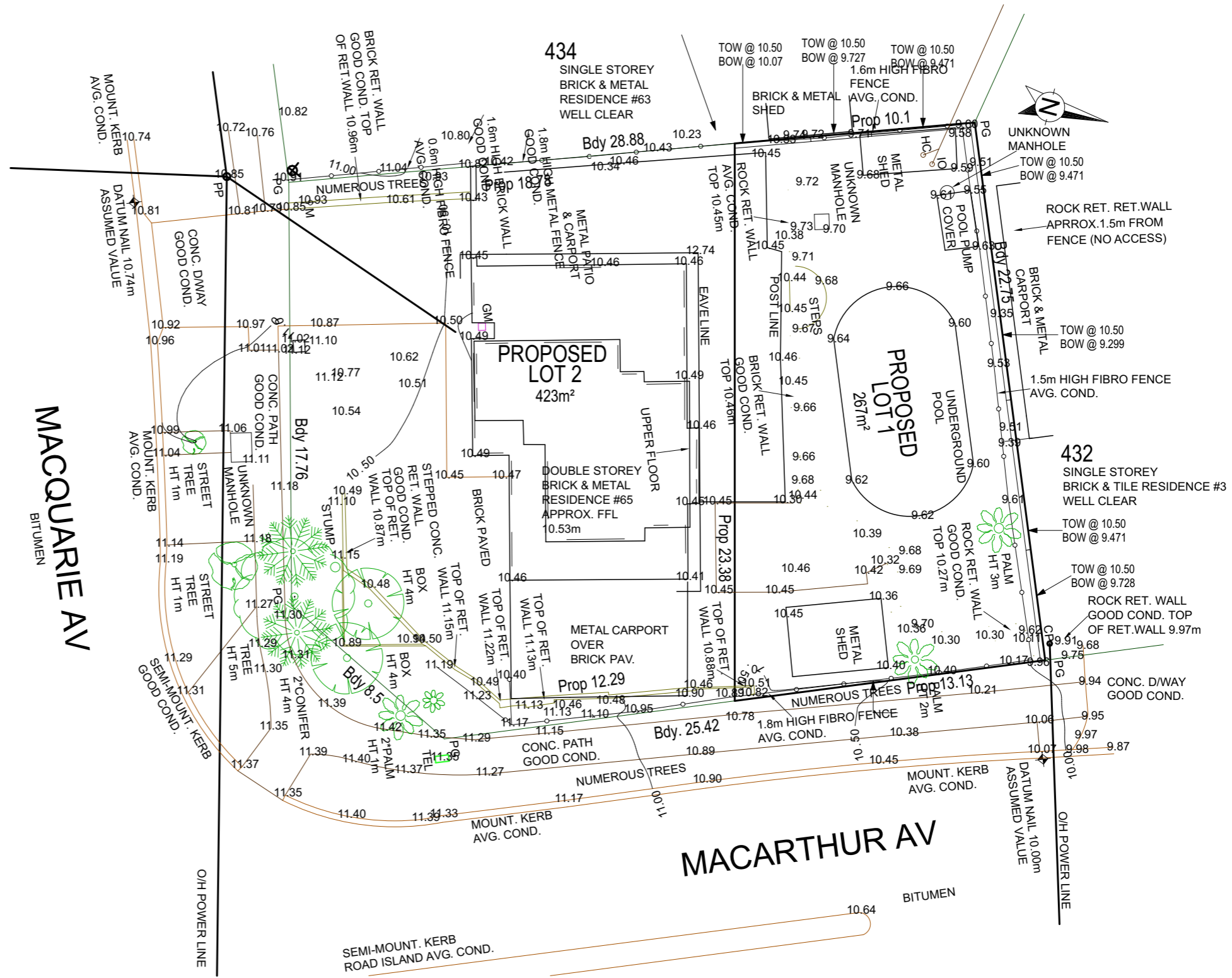
No. OF PROPOSED LOTS = 2

PROPOSED LOT 1 AREA = 267m²

PROPOSED LOT 2 AREA = 423m²

LOCAL AUTHORITY = CITY OF JOONDALUP

ALL DIMENSIONS AND AREAS
ARE SUBJECT TO SURVEY



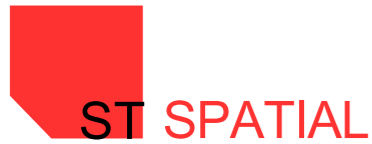
Existing Site Survey

1:200

No.	DATE	REVISION	CLIENT	DRAWING NUMBER	REV	SIZE
0	03/12/2019	APPROVED AND ISSUED TO CLIENT	INTEGRO HOMES	19271-01	0	A3
Client Integro Homes		Drawing Title: Existing Site Survey	Issue: Concept			
Project Name Single Storey Residence		Scale: as noted	Sheet Size: A3	Rev: 002	Description: Elevation	Drawn: SB
Project Address Lot 433 (#65) Macquarie Avenue, Padbury		Project No: 20054	Drawing No.: PD02 of 05	Revision Number: 002	Date: 17/06/2020	



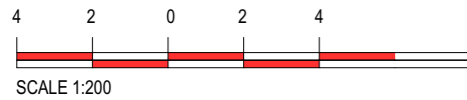
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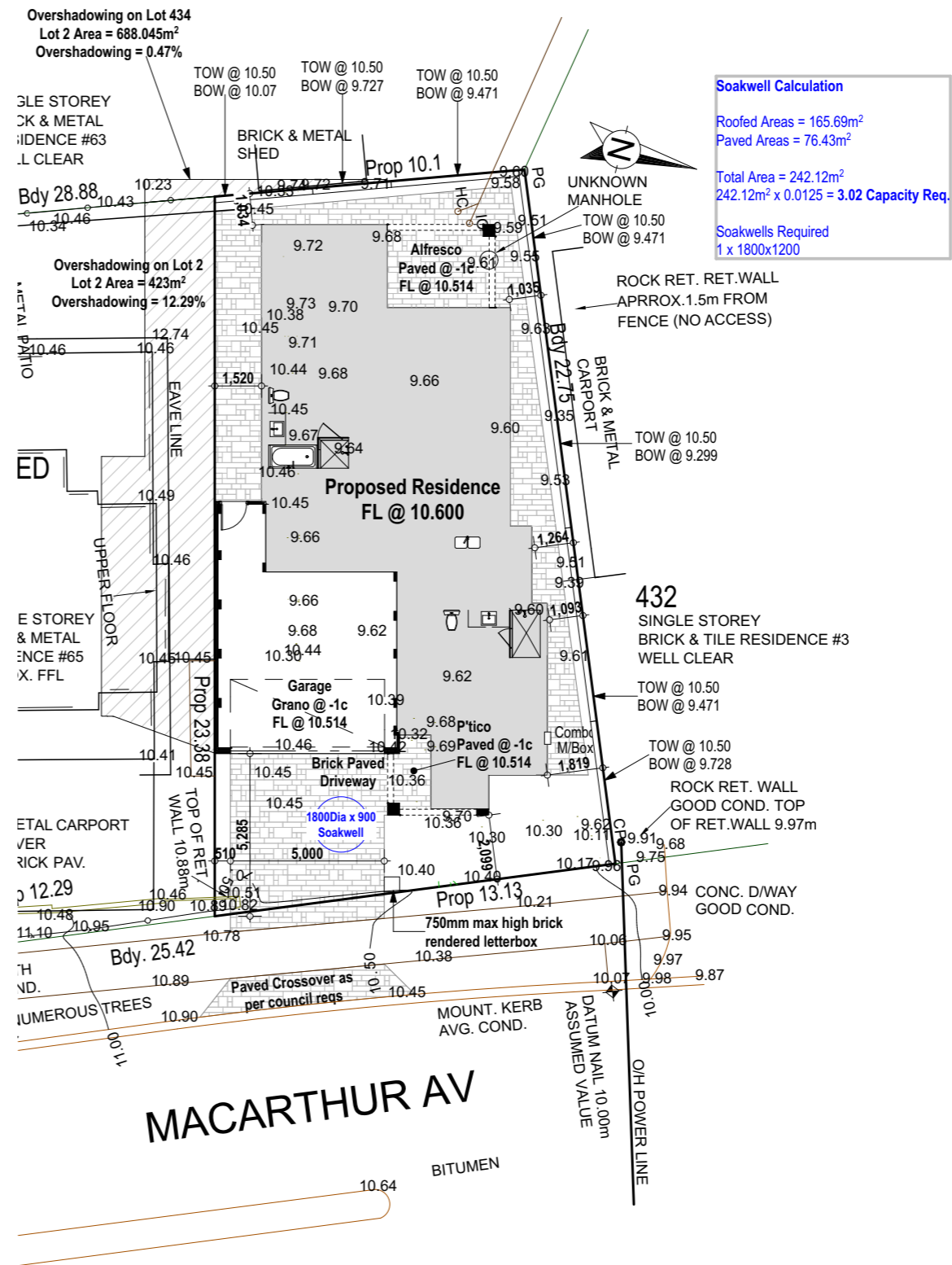
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ALL DIMENSIONS AND AREAS
ARE SUBJECT TO SURVEY



Site Plan
1:200

Building Areas

Ground Floor	113.68
Garage	38.62
Alfresco	9.45
Portico	3.41
Total	165.16 m²

Site Calculations

Zoning	R20/40
Area of Site	350.68m ²
Building Footprint	152.91m ²
Site Coverage	43.60%
Allowable Coverage	55%

0	03/12/2019	APPROVED AND ISSUED TO CLIENT	INTEGRO HOMES	DRAWING NUMBER	REV	SIZE
No.	DATE	REVISION	CLIENT	19271-01	0	A3
Client Integro Homes		Drawing Title: Site Plan		Issue: Concept		
Project Name Single Storey Residence		Scale: as noted	Sheet Size: A3	Rev: 002	Description: Elevation	Drawn: SB
Project Address Lot 433 (#65) Macquarie Avenue, Padbury		Project No: 20054	Drawing No.: PD03 of 05	Revision Number: 002	Date: 17/06/2020	

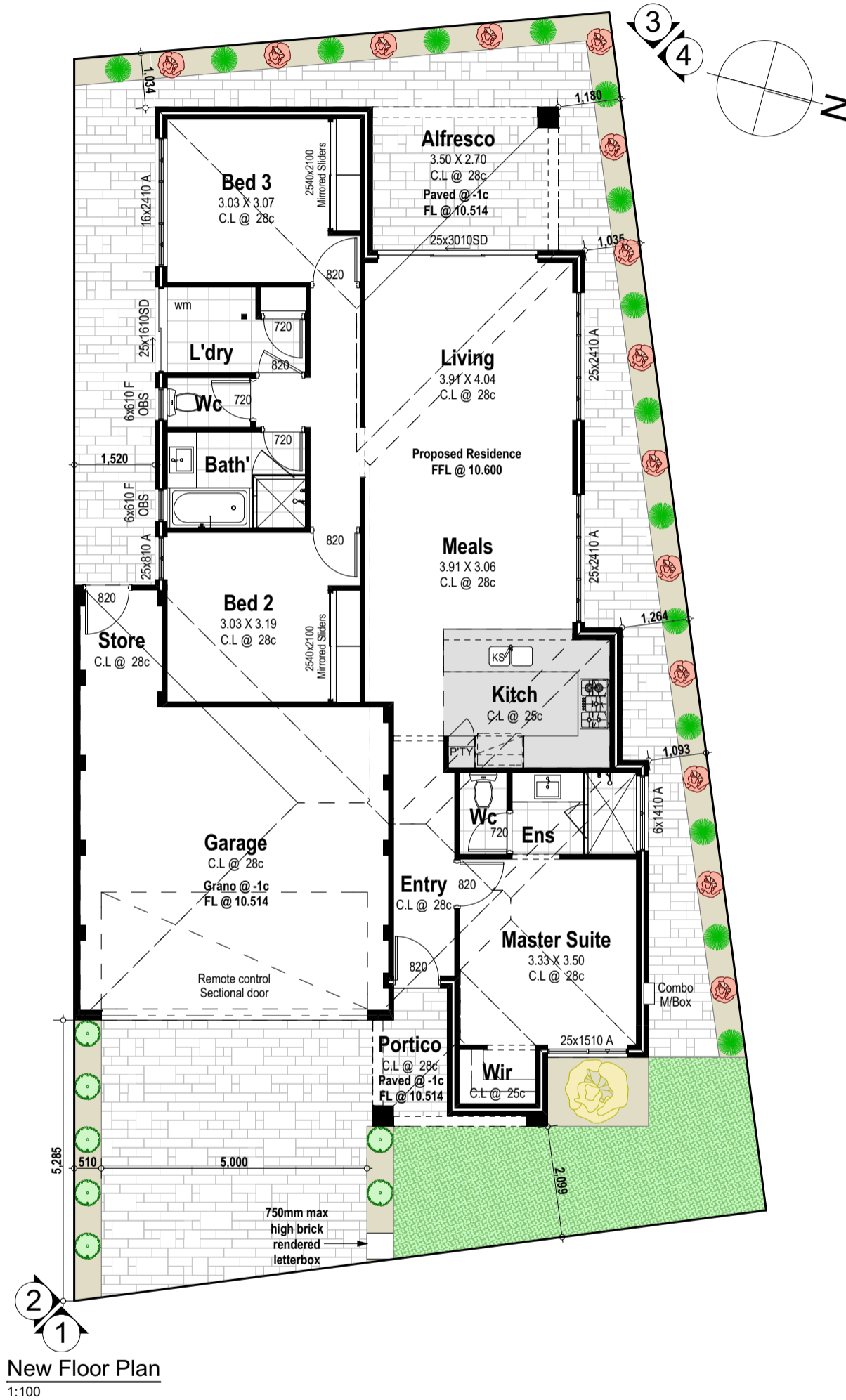
INTEGRO
HOMES

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Client
Integro Homes

Project Name
Single Storey Residence

Project Address
Lot 433 (#65) Macquarie Avenue, Padbury

Drawing Title:
Floor Plan

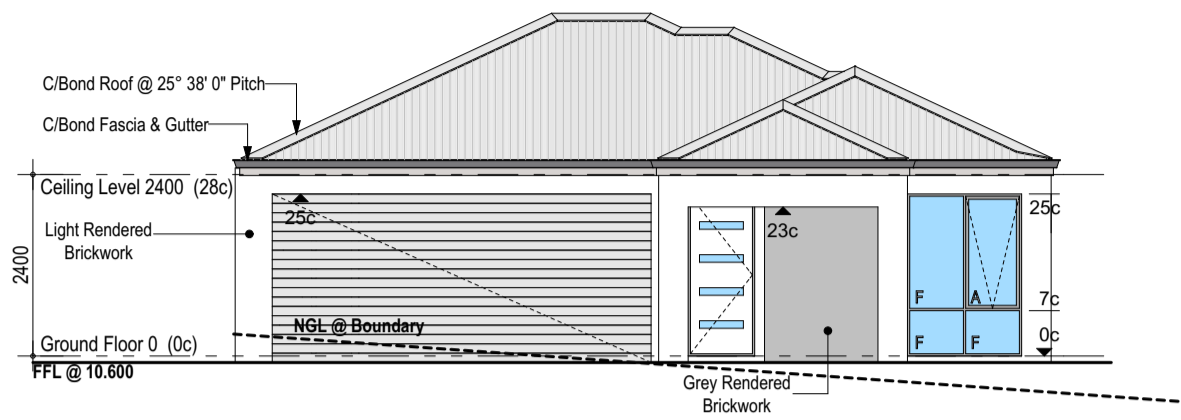
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Project No: 20054 Drawing No.: PD04 of 05

Issue:
Concept

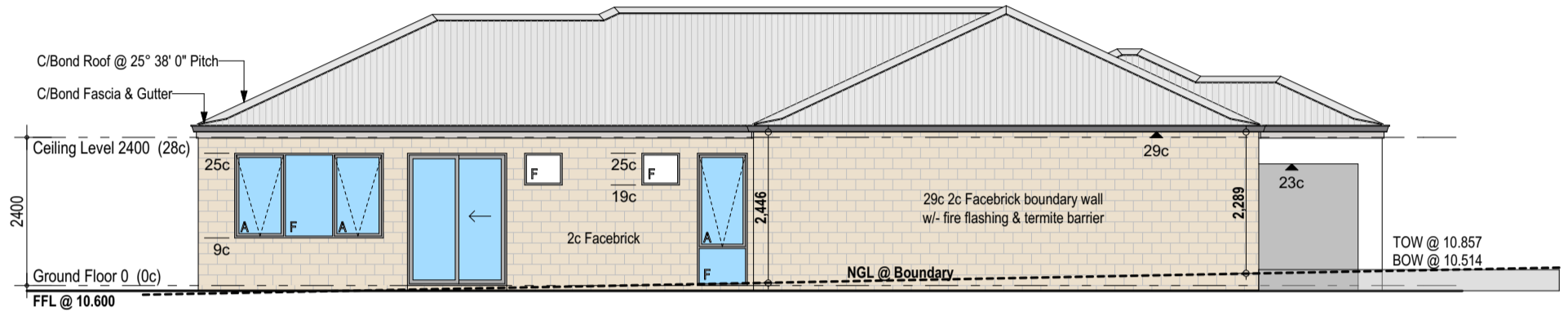
Rev:	Description:	Drawn:
002	Elevation	SB
Revision Number:	Date:	
002	17/06/2020	





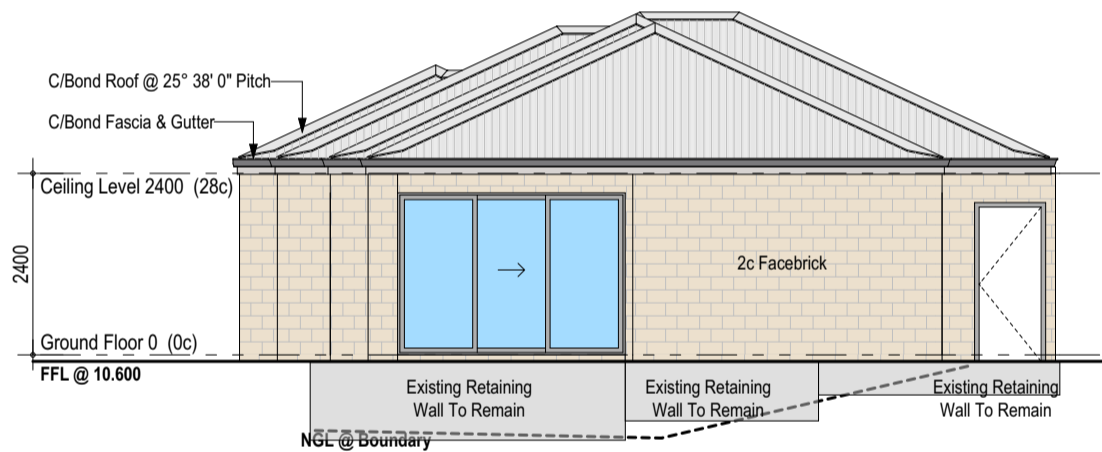
1 Elevation

1:100



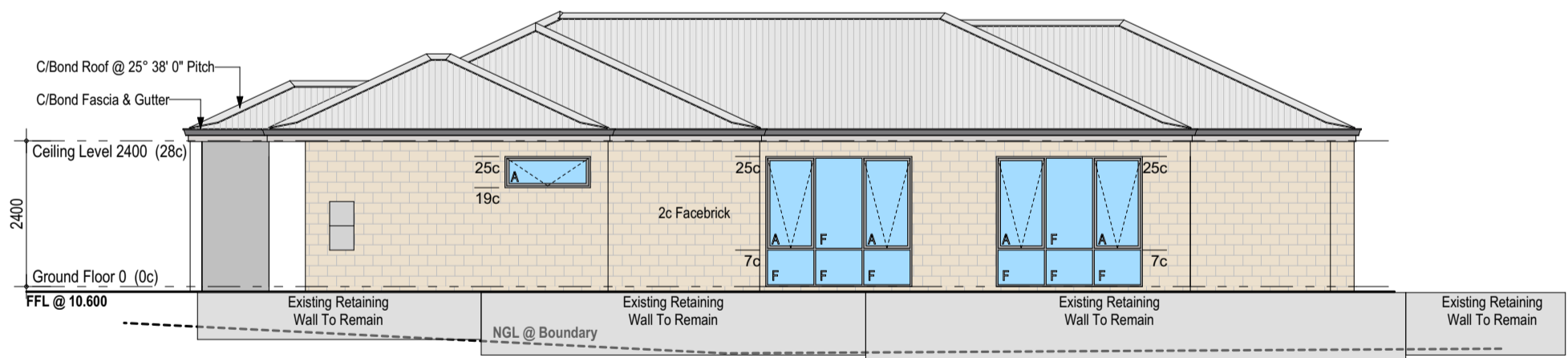
2 Elevation

1:100



3 Elevation

1:100



4 Elevation

1:100

Client
Integro Homes

Project Name
Single Storey Residence

Project Address
Lot 433 (#65) Macquarie Avenue, Padbury

Drawing Title: Elevations		Issue: Concept	
Scale: as noted	Sheet Size: A3	Rev: 002	Description: Elevation
Project No: 20054	Drawing No.: PD05 of 05	Revision Number: 002	Date: 17/06/2020
		Drawn: SB	

INTEGRO
HOMES