

Iluka Local Centre Local Development Plan no. 1

As provided in Part 6 of Schedule 2 - Deemed Provisions of the Planning and Development Regulations 2015, this Local Development Plan (LDP) sets out specific and detailed guidance for future development of the Iluka Local Centre. This LDP amends / replaces / deletes the following 'deemed-to-comply' Residential Design Codes (R-Codes) development provisions, in accordance with clause 7.3.1 & 7.3.2 of the R-Codes as outlined below.

R-Code Design Element	Modification	Local Development Plan 'deemed-to-comply' provision (C)
6.1.1 Building size	Replace	C1 A maximum plot ratio of 1.6 applies. Development should result in a high level of amenity both internally within the site for residents, and externally in terms of its surrounding residential development by having due regard to the design principles and design guidance of SPP 7.3 Residential Design Codes Guidance for multiple dwelling and mixed use developments (Apartment Design)*
6.1.2 Building height	Amend	C2 Three storeys shall be permitted in all areas subject of this LDP. For the purposes of this LDP, the maximum permitted building height for any three storey development shall not exceed 10.5 metres from natural ground level to the satisfaction of the City.
6.1.3 Street setback	Augment	C3.3 To achieve the Active Frontage 'main street' design elements, the O'Mara Boulevard street setback may be reduced to Nil. C3.4 All development shall be setback a minimum of 2 metres from all street boundaries, excluding O'Mara Boulevard and Burns Beach Road.
6.1.4 Lot boundary setbacks	Replace	C4.3 A wall may have a nil setback to internal lot boundaries, if it has a maximum height as set out in this LDP and a maximum length of two-thirds the length of the boundary.
6.1.5 Open Space	Augment	C5 Open space is to be provided at a minimum of 30% of the site area and should comprise communal open space and deep soil areas in accordance with the design guidance of State Planning Policy 7.3 - Residential Design Codes Guidance for multiple-dwelling and mixed use development.
6.3.5 Vehicle Access	Augment	C5.5 Vehicle access points shall be located as marked on the plan.

LDP General Notes	Local Development Plan design detail
Active Frontage	Building Frontage which is designed for ground floor uses that promote activity on the street and is level with the verge. A minimum of 700sqm of non-residential floorspace shall be provided in the LDP area as marked on the plan. The O'Mara Boulevard frontage is to include design elements such as footpaths, weather protection, clear glazing, alfresco dining and on-street parking, where applicable, which will contribute toward activation and the creation of a 'main-street' pedestrian friendly environment.
Staging	The LDP area may be developed in stages or separate lots. Should this occur, the LDP provisions only apply to the extent that they relate to the stage or lot area being developed.
Lot Boundary Walls - Aesthetic Treatments	If constructed in stages, development with exposed lot boundary walls are to be aesthetically treated to minimise their visual impact until such time as the later stages are constructed.
Non-residential Building Street Setbacks	Non-residential buildings may be setback at nil to the O'Mara Boulevard to achieve an active frontage 'main street' design element.

- LEGEND**
- SUBJECT LAND
 - INDICATIVE LOT BOUNDARY
 - ACTIVE FRONTAGE
 - PREFERRED PRIMARY VEHICLE ACCESS POINT
 - PREFERRED SECONDARY VEHICLE ACCESS POINT

This LDP has been approved by the City of Joondalup under clause 52 (1) (a) of Schedule 2 - Deemed Provisions of the Planning and Development (Local Planning Schemes) Regulations 2015, City of Joondalup District Planning Scheme No. 2

Date: 16/07/2018 Signature:



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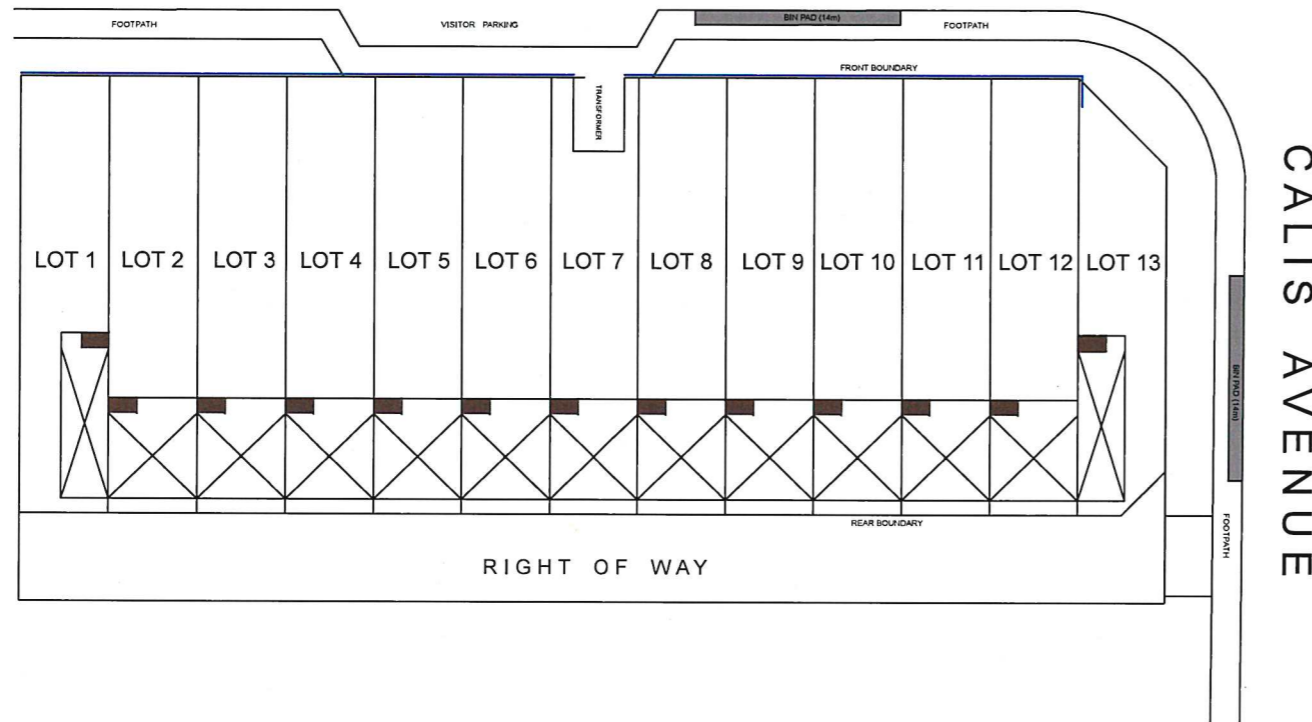
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F	HEIGHT ADJUSTED	171221	ED	RD
E	LEGEND FIX	170721	ED	RD
D	FOR LODGEMENT	170721	ED	RD

ILUKA LOCAL CENTRE LOCAL DEVELOPMENT PLAN no. 1
the Iluka Local Centre
 City of Joondalup

REF NO. **BEA SUB** DRAW NO. **RD1 401** REV. **G**

DISCLAIMER: ISSUED FOR DESIGN INTENT ONLY. ALL AREAS AND DIMENSIONS ARE SUBJECT TO DETAIL DESIGN AND SURVEY

MYKONOS VIEW



CALIS AVENUE

Local Development Plan No. 1 - Attachment 1

Grouped Dwelling development that complies with the provisions of this LDP shall be exempt from requiring further planning approval.
 As provided in Part 6 of Schedule 2 - Deemed Provisions of the Planning and Development Regulations 2015, this Local Development Plan (LDP) sets out specific and detailed guidance for future development of Lot 648 (No. 3) Mykonos View, Iluka.
 This LDP amends / replaces / deletes the following 'deemed-to-comply' Residential Design Codes (R-Codes) development provisions, in accordance with clause 7.3.1 & 7.3.2 of the R-Codes as outlined below.

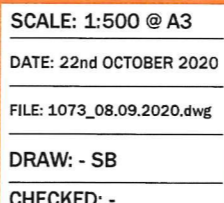
R-Code Design Element	Modification	Local Development Plan 'deemed-to-comply' provision (C)
5.1.2 Street Setback	Replace	C2.1 Primary Street Setback Lots 1 - 5 & 9 - 12 <ul style="list-style-type: none"> Primary street setback minimum shall be 2m. Primary street setback maximum shall be 3m. Lots 6 - 8 <ul style="list-style-type: none"> Primary street setback minimum shall be 2m as measured from the street boundary of Lots 1-5 & 9-12. Primary street setback maximum shall be 13m as measured from the street boundary of Lots 1-5 & 9-12. C2.2 Secondary Street Setback <ul style="list-style-type: none"> Secondary street setback shall be nil. C2.3 Setback from Corner Truncation <ul style="list-style-type: none"> Minimum setback of 1m. Maximum setback of 3m.
5.1.3 Lot boundary setbacks	Replace	C3.1 - Building Setback <ul style="list-style-type: none"> A nil side boundary setback is permitted. C3.2 - Boundary Walls <ul style="list-style-type: none"> Walls may be built up to a side lot boundary for a length of 26m and a height of 7m.
5.1.6 Building Height	Replace	C6 - Building Height <ul style="list-style-type: none"> A minimum building height of two (2) storeys shall be provided. A maximum building height of two (2) storeys and 8.5m shall be provided.
5.2.1 Setbacks of Garages and Carports	Replace	C1.3 - Garage Setbacks <ul style="list-style-type: none"> Garages shall be setback a minimum of 1m from the boundary of the common property access way.
5.2.3 Street Surveillance	Augment	C3.4 - Passive Surveillance <ul style="list-style-type: none"> At least one major opening from a habitable room shall face the secondary street and common property access way.
5.4.4 External Fixtures, Utilities and Facilities	Augment	C4.3 - Other External Fixtures <ul style="list-style-type: none"> On-site bin storage shall be within the applicable garages. C4.5 - Storage <ul style="list-style-type: none"> The required storage area may be reduced to 3sqm and can be provided within the applicable garages. C4.6 - Bins <ul style="list-style-type: none"> Waste collection is to occur in the location illustrated on the plan and in accordance with a waste management plan approved by the City.
LDP General Notes	Local Development Plan Design Detail	
Treatment of Boundary Walls	Boundary walls not abutting an existing or simultaneously constructed boundary walls are required to be finished to a standard of face brick at a minimum.	
Treatment of Transformer	Rendered masonry fencing shall be constructed around the transformer on the southern, eastern and western sides. The proposed fencing is able to be solid to a height of 1.8m.	
Front fencing	Fencing along Mykonos View shall be a combination of masonry and palisade materials.	
Construction within the Transformer Easement	No construction shall occur within the transformer easement area unless the prior written consent of Western Power is obtained to permit an appropriately fire rated building or structure to be constructed.	

This LDP has been approved by the City of Joondalup under clause 52 (1) (a) of Schedule 2 - Deemed Provisions of the Planning and Development (Local Planning Schemes) Regulations 2015, City of Joondalup Local Planning Scheme No. 3

Date: 22/10/2020 Signature: CC

ILUKA LOCAL CENTRE
LOCAL DEVELOPMENT PLAN No. 1 - ATTACHMENT 1
 LOT 648 (No. 3) MYKONOS VIEW
 ILUKA

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 DATE: 22nd OCTOBER 2020
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