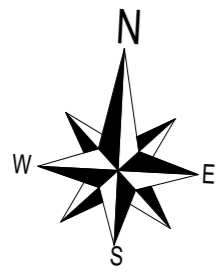


LOT 12



Latitude: 31°48'13"8S Longitude 115°45'01"3E

SEC Dome	Power Pole
Phone Pits	Water Conn.
Water Conn.	Top Pillar/Post
Top Wall	Top Retaining
Top Retaining	Top Fence

**101**

BUILDERS REGISTRATION N° 13521  
9 SANGIORGIO COURT  
OSBORNE PARK WA 6017  
Phone (08) 9208 9100 Fax (08) 9208 9102

CLIENT: **Bethune**

CONTRACT / JOB NO. **2007004R**

MAP REF. **250-12/01**

SITE SURVEY **COASTAL NO**

**LOT 12**

#1 Joyce Court

Suburb **Hillarys**

Loc.Auth. **CITY OF JOONDALUP**

Plan **10109** Volume **1343** Folio **407**

Location **Check Title**

**TERMITE TREATMENT NOTE:**  
TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3.2 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:  
\*CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600  
\*MASONRY IN ACCORDANCE WITH AS3700  
\*PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

**SITE CLASSIFICATION : A**  
FOOTING DETAIL : **A85-CFTW**  
WIND CATEGORY : **N2**  
CORROSION CLASS : **R3**

**CONCRETE NOTE:**  
SET SHOWER RECESS'S DOWN 50mm (25mm BELOW 25mm SET DOWN) & FIT REFLUX VALVE. MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS

**STORMWATER NOTE:**  
STORMWATER DISPOSAL TO BUILDER'S SPECIFICATIONS.

**PRELAY NOTE:**  
PLUMBING PRELAY REQUIRED FOR ISLAND CUPBOARD REFER TO FLOOR PLAN

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

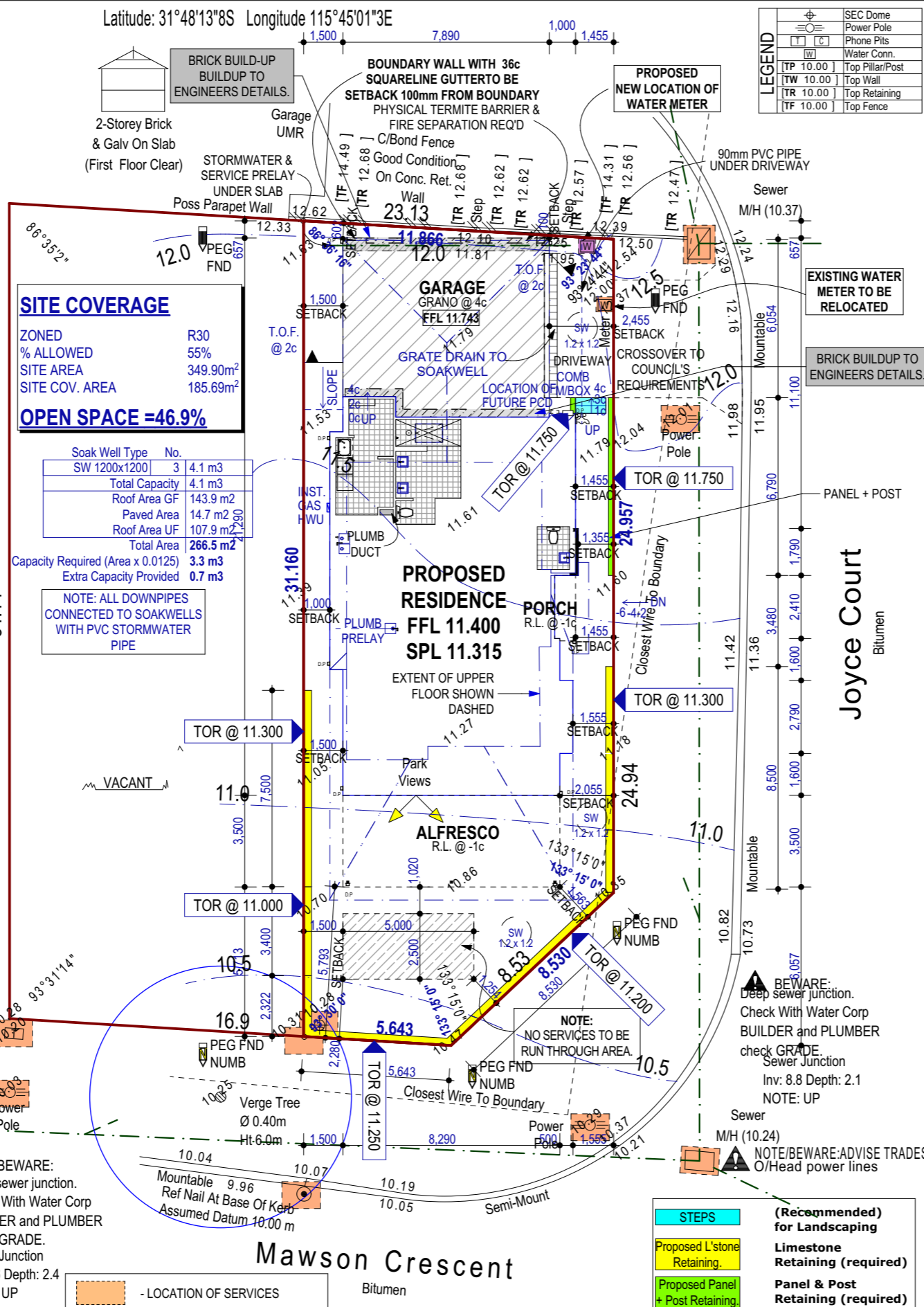
**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**LOT MISCLOSE**  
0.017 m

**SOIL DESCRIPTION**  
Sand  
Light Grass Cover

Scale 1:200  
0 2 4 6 8  
Scale 1:200 Date: 31 Jul 20



**SITE COVERAGE**

ZONED	R30
% ALLOWED	55%
SITE AREA	349.90m <sup>2</sup>
SITE COV. AREA	185.69m <sup>2</sup>
<b>OPEN SPACE = 46.9%</b>	

Soak Well Type	No.	Capacity
SW 1200x1200	3	4.1 m3
Total Capacity		4.1 m3
Roof Area GF		143.9 m2
Paved Area		14.7 m2
Roof Area UF		107.9 m2
Total Area		266.5 m2
Capacity Required (Area x 0.0125)		3.3 m3
Extra Capacity Provided		0.7 m3

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

**STEPS**

Proposed L Stone Retaining	(Recommended) for Landscaping
Proposed Panel + Post Retaining	Limestone Retaining (required)
	Panel & Post Retaining (required)

**SECRET CARABELLO**

**SITE PLAN**

DATE: 29/09/2020	SHEET N°: 02 of 10
SCALE: 1:100, 1:200	
REVISION N°: 02	JOB N°: 2007004

VARIATIONS:

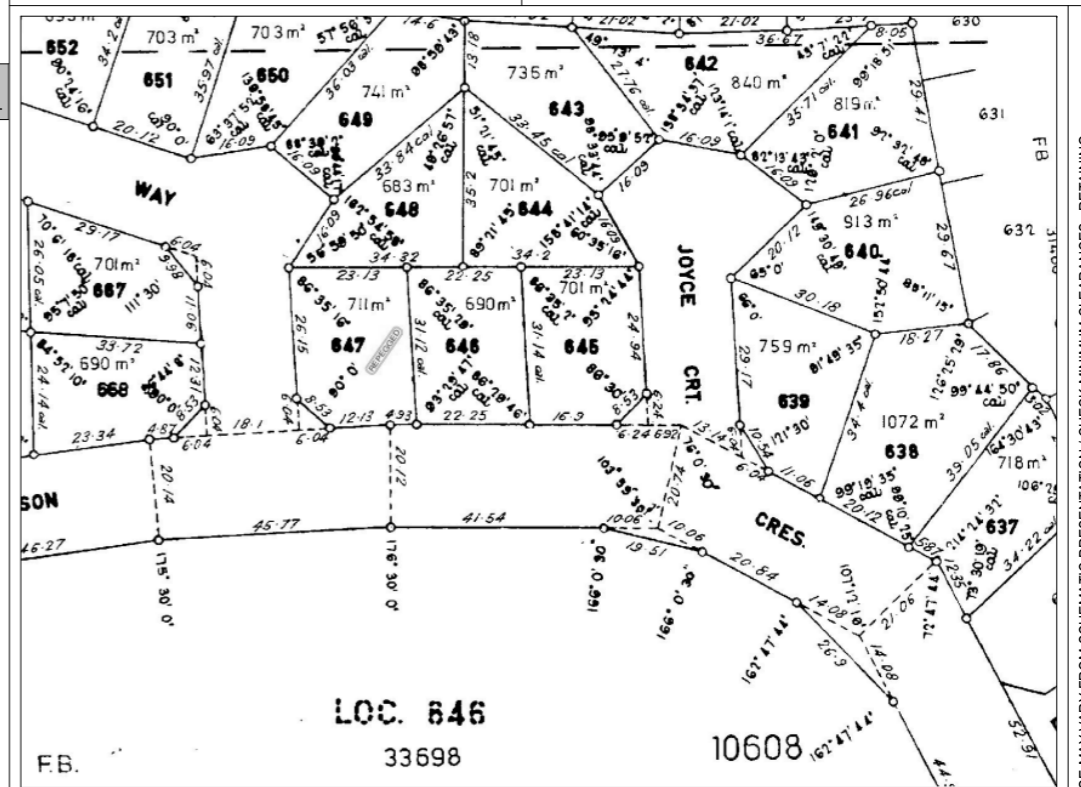
REV.	DESCRIPTION:	INT.	DATE:
1'	CONTRACT (SILVER PLANS)	SR	11.09.20
2'	GARAGE AMENDMENTS	SR	29.09.20

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT:

OWNER ..... DATE.....

OWNER ..... DATE.....

BUILDER ..... DATE.....



Elec	U/Ground / O/Head	Water	Yes	Sewer	Yes
Gas	Check Your Lot With Alinta	Phone Comms	Yes	Footpath	Nil
Road	Bitumen	Kerb	Mountable / Semi-Mount	Drainage	Good



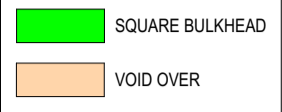
**COTTAGE & ENGINEERING SURVEYS**

87-89 Guthrie Street, Osborne Park, Western Australia  
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998  
Email: perth@cottage.com.au Website: www.cottage.com.au  
J/No: 475230 Drawn: M. Bateman

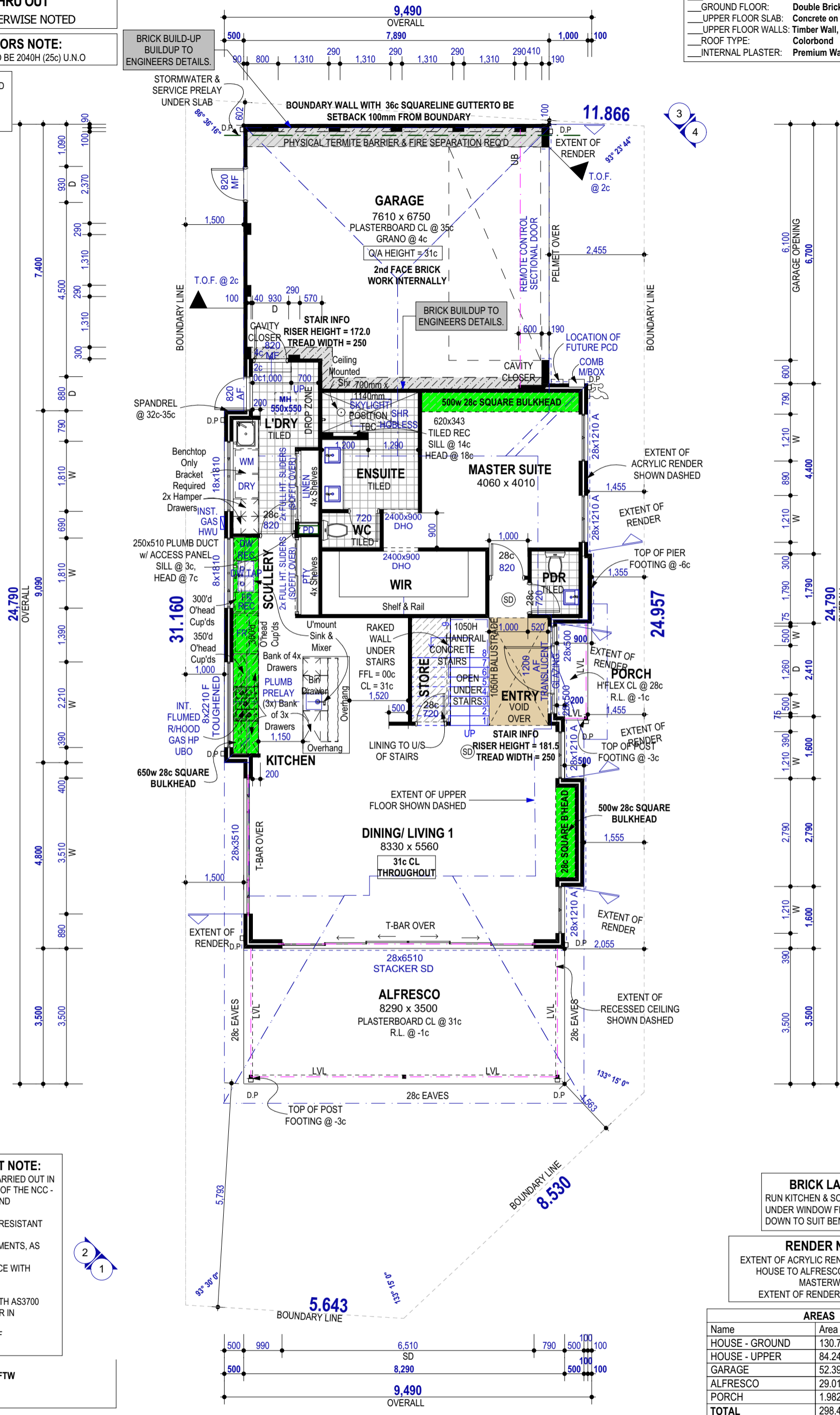
EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES, RETAINING. NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

**CL @ 31c THRU'OUT**  
ALL UNLESS OTHERWISE NOTED

**INTERNAL DOORS NOTE:**  
ALL INTERNAL DOORS TO BE 2040H (25c) U.N.O



**BUILD METHOD:** CFTW  
**GROUND FLOOR:** Double Brick, Slab on Ground  
**UPPER FLOOR SLAB:** Concrete on Metal Truss  
**UPPER FLOOR WALLS:** Timber Wall, Selected Cladding  
**ROOF TYPE:** Colorbond  
**INTERNAL PLASTER:** Premium Wall System



**TERMITE TREATMENT NOTE:**  
TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3.2 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:  
\*CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600  
\*MASONRY IN ACCORDANCE WITH AS3700  
\*PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

SITE CLASSIFICATION : A  
FOOTING DETAIL : A85-CFTW  
WIND CATEGORY : N2  
CORROSION CLASS : R3

**BRICK LAYER NOTE:**  
RUN KITCHEN & SCULLERY BENCHTOP UNDER WINDOW FRAME. CUT BWK DOWN TO SUI BENCHTOP SELECTION.

**RENDER NOTE:**  
EXTENT OF ACRYLIC RENDER TO FRONT OF HOUSE TO ALFRESCO & TO UF VOID MASTERWALL.  
EXTENT OF RENDER AS PER PLAN.

AREAS		
Name	Area	Perimeter
HOUSE - GROUND	130.773	51.120
HOUSE - UPPER	84.247	38.616
GARAGE	52.392	29.460
ALFRESCO	29.015	23.580
PORCH	1.982	6.600
<b>TOTAL</b>	<b>298.409 m²</b>	

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :  
OWNER .....DATE.....  
OWNER .....DATE.....  
BUILDER .....DATE.....



REV.	DESCRIPTION:	INT.	DATE:
1'	CONTRACT (SILVER PLANS)	SR	11.09.20
2'	GARAGE AMENDMENTS	SR	29.09.20

CLIENT: **BETHUNE HILLARYS**  
SITE ADDRESS: LOT 12 (#1) JOYCE COURT HILLARYS WA 6025  
SALES: CL DRAWN: SR CHECKED: TK

**SECRET CARABELLO**  
**GROUND FLOOR PLAN**  
DATE: 29/09/2020 SHEET N°: 03 of 10  
SCALE: 1:1,100  
REVISION N°: 02 JOB N°: 2007004

**CL @ 31c THRU'OUT**

ALL UNLESS OTHERWISE NOTED

**INTERNAL DOORS NOTE:**

ALL INTERNAL DOORS TO BE 2040H (25c) U.N.O

BUILD METHOD:	CFTW
GROUND FLOOR:	Double Brick, Slab on Ground
UPPER FLOOR SLAB:	Concrete on Metal Truss
UPPER FLOOR WALLS:	Timber Wall, Selected Cladding
ROOF TYPE:	Colorbond
INTERNAL PLASTER:	Premium Wall System

**UPPER FLOOR HEIGHTS**

FFL = 3086mm  
CL = 5778mm  
HEIGHT O/A = 2692mm (31c)

**UPPER FLOOR GLAZING**

UPPER FLOOR WINDOWS TO COMPLY WITH BCA 3.9.2.5

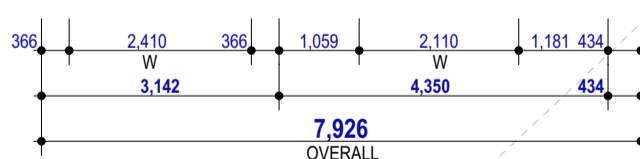
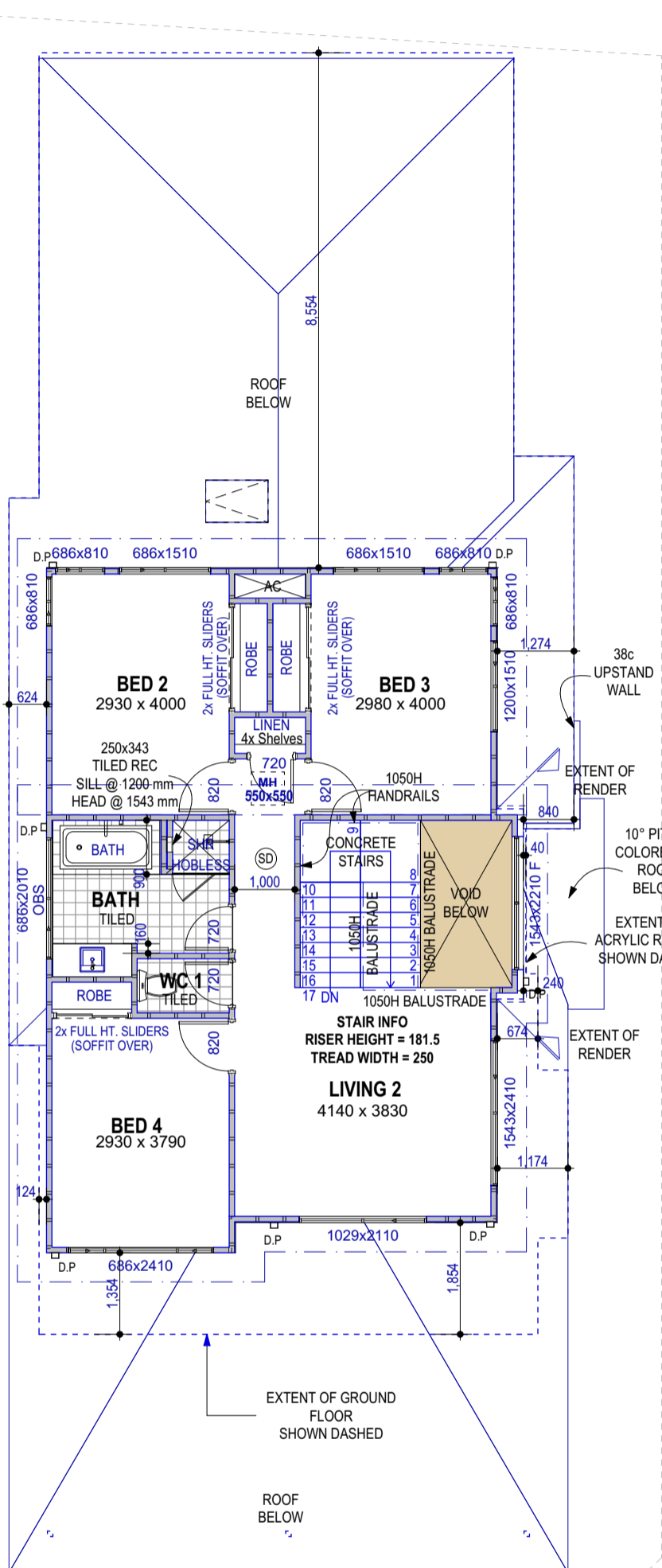
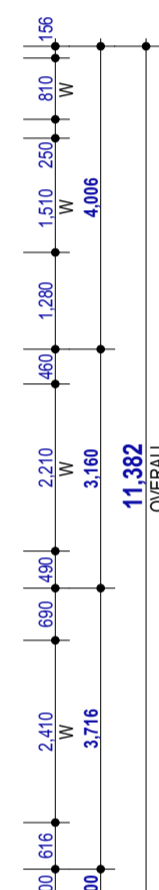
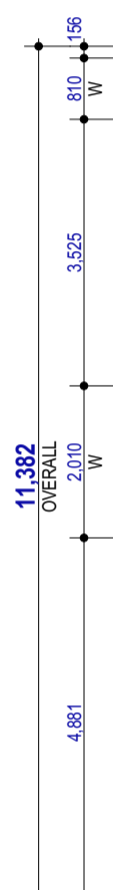
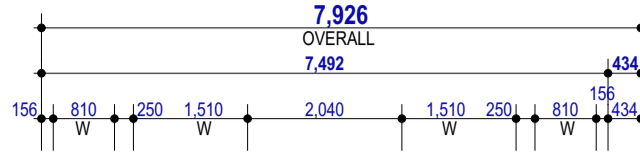


**RENDER NOTE:**

EXTENT OF ACRYLIC RENDER TO FRONT OF HOUSE TO ALFRESCO & TO UF VOID MASTERWALL.  
EXTENT OF RENDER AS PER PLAN.

**NOTE:**

- HARDIPLANK TO ENTIRE UPPER FLOOR, (PROFILE TO BE CONFIRMED)
- WINDOW MOULDING - 50mm
- 50mm x 50mm CORNER EDGING TO UPPER FLOOR.
- HARDIE WEATHER WRAP UNDER SHEETING.
- HARDIE SLIMLINE ALUMINUM BOXED CORNER MOULDING.
- HARDIES WINDOW MOULDINGS/TRIM TO SUIT MANUFACTURERS DETAILS



AREAS		
Name	Area	Perimeter
HOUSE - GROUND	130.773	51.120
HOUSE - UPPER	84.247	38.616
GARAGE	52.392	29.460
ALFRESCO	29.015	23.580
PORCH	1.982	6.600
<b>TOTAL</b>	<b>298.409 m²</b>	

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

OWNER .....DATE.....

OWNER .....DATE.....

BUILDER .....DATE.....



9 SANGIORGIO COURT  
OSBORNE PARK WA 6017  
Phone (08) 9208 9100. Fax (08) 9208 9102

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**VARIATIONS:**

REV:	DESCRIPTION:	INT:	DATE:
'1'	CONTRACT (SILVER PLANS)	SR	11.09.20
'2'	GARAGE AMENDMENTS	SR	29.09.20
'3'			
'4'			
'5'			
'6'			
'7'			
'8'			
'9'			

CLIENT:

**BETHUNE**

SITE ADDRESS:  
**LOT 12 (#1) JOYCE COURT  
HILLARYS WA 6025**

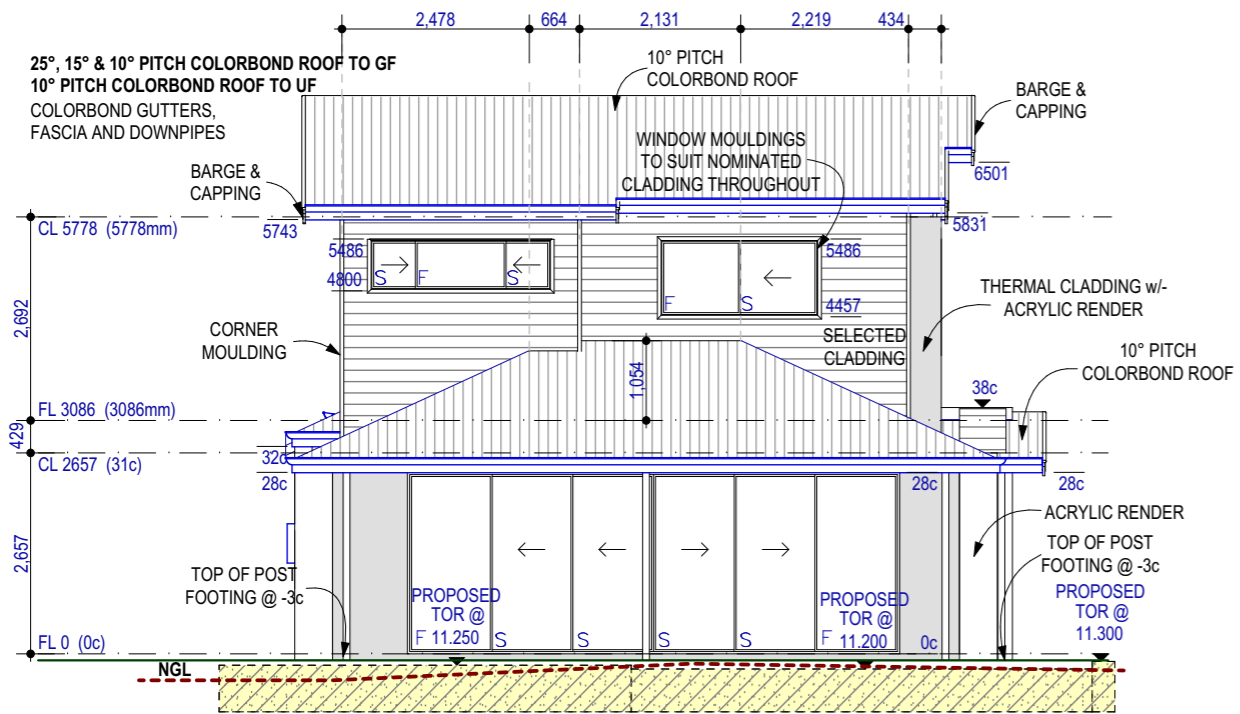
SALES: CL DRAWN: SR CHECKED: TK

**SECRET CARABELLO**

**UPPER FLOOR PLAN**

DATE: 29/09/2020 SHEET N°: 04 of 10  
SCALE: 1:100, 1:1

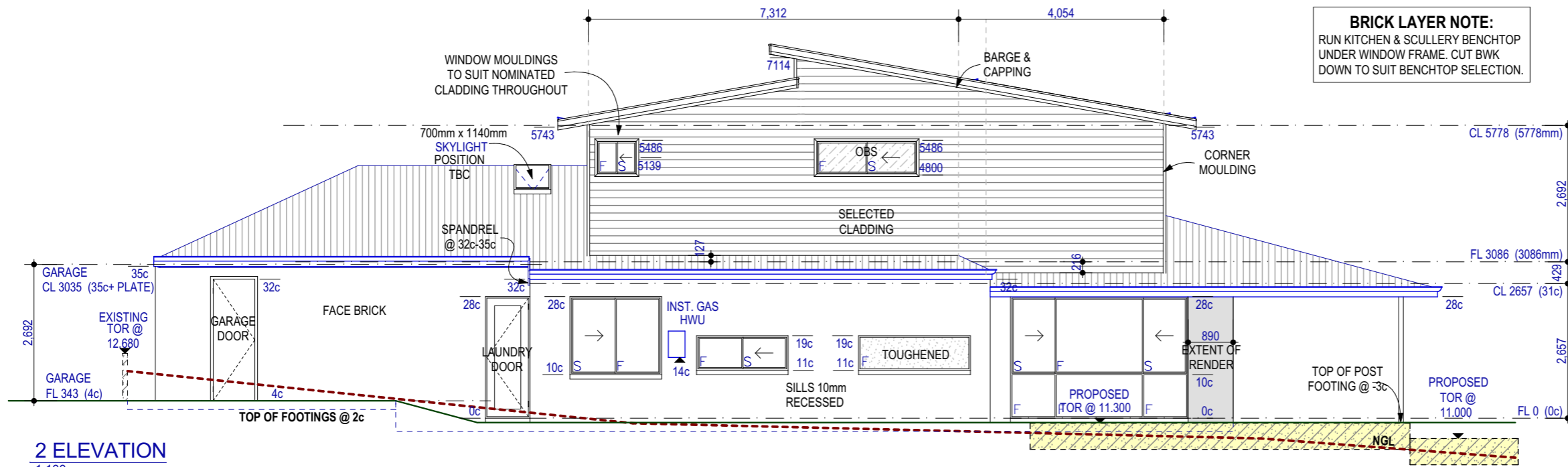
REVISION N°: 02 JOB N°: 2007004



**NOTE:**  
UPPER FLOOR  
WINDOWS TO COMPLY  
WITH BCA 3.9.2.5

**RENDER NOTE:**  
EXTENT OF ACRYLIC RENDER TO FRONT OF  
HOUSE TO ALFRESCO & TO UF VOID  
MASTERWALL.

**1 ELEVATION**  
1:100



**BRICK LAYER NOTE:**  
RUN KITCHEN & SCULLERY BENCHTOP  
UNDER WINDOW FRAME. CUT BWK  
DOWN TO SUIT BENCHTOP SELECTION.

**2 ELEVATION**  
1:100

**SECRET CARABELLO**  
**ELEVATIONS 01**

DATE: 29/09/2020  
SCALE: 1:100  
REVISION N°: 02

CLIENT: **BETHUNE**  
SITE ADDRESS: **LOT 12 (#1) JOYCE COURT HILLARYS WA 6025**

DATE: 11.09.20  
INT: SR  
DESCRIPTION: CONTRACT (SILVER PLANS) GARAGE AMENDMENTS

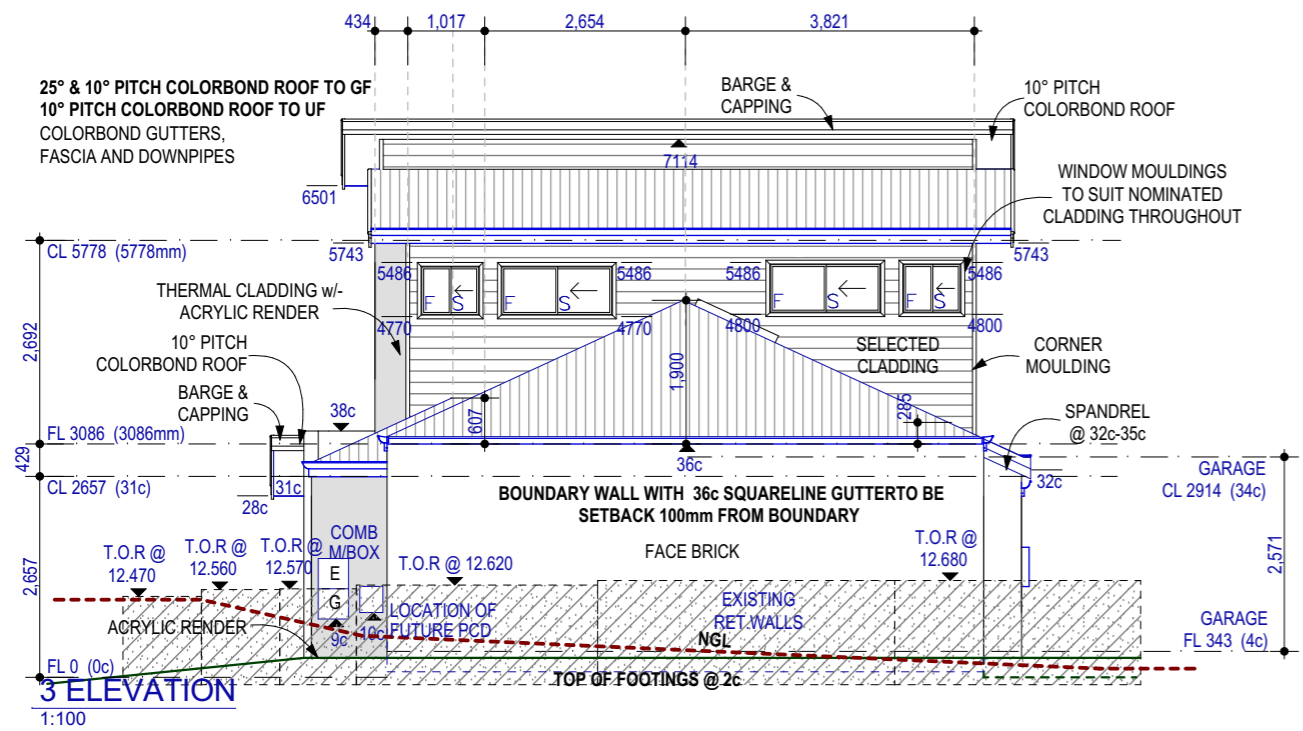
VARIATIONS: 1' 2' 3' 4' 5' 6' 7' 8' 9'

SALES: CL  
DRAWN: SR  
CHECKED: TK

**101**

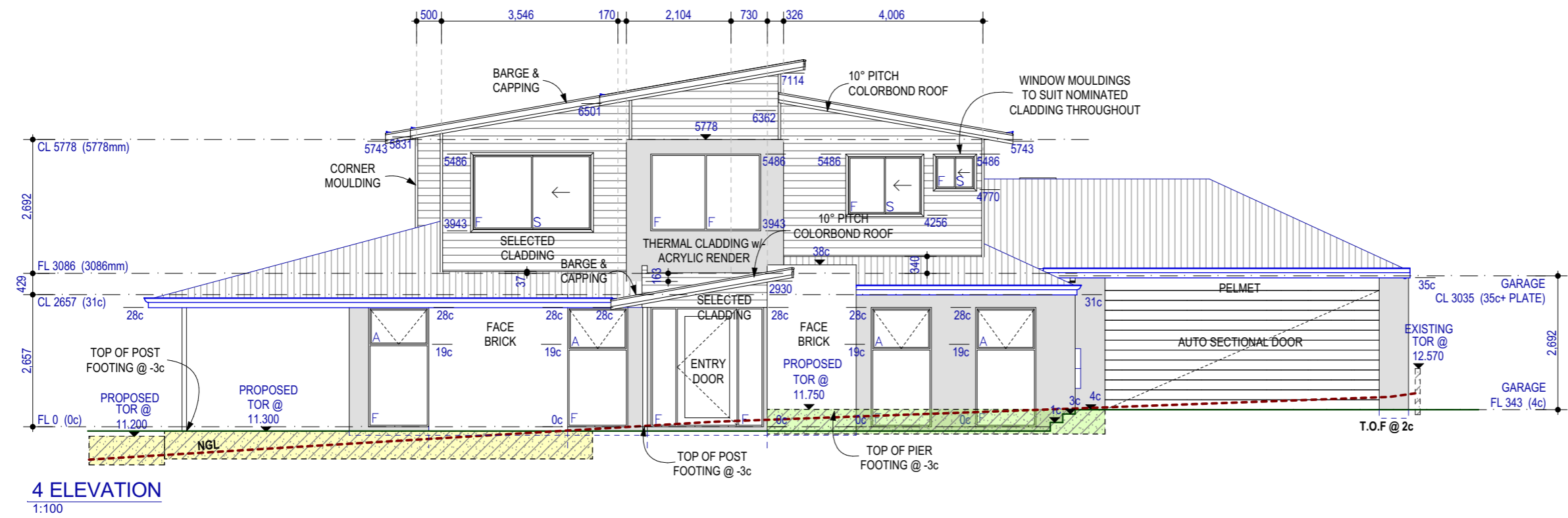
BUILDERS REGISTRATION N° 13521  
9 SANGIORGIO COURT  
OSBORNE PARK WA 6017  
Phone (08) 9208 9100 Fax (08) 9208 9102

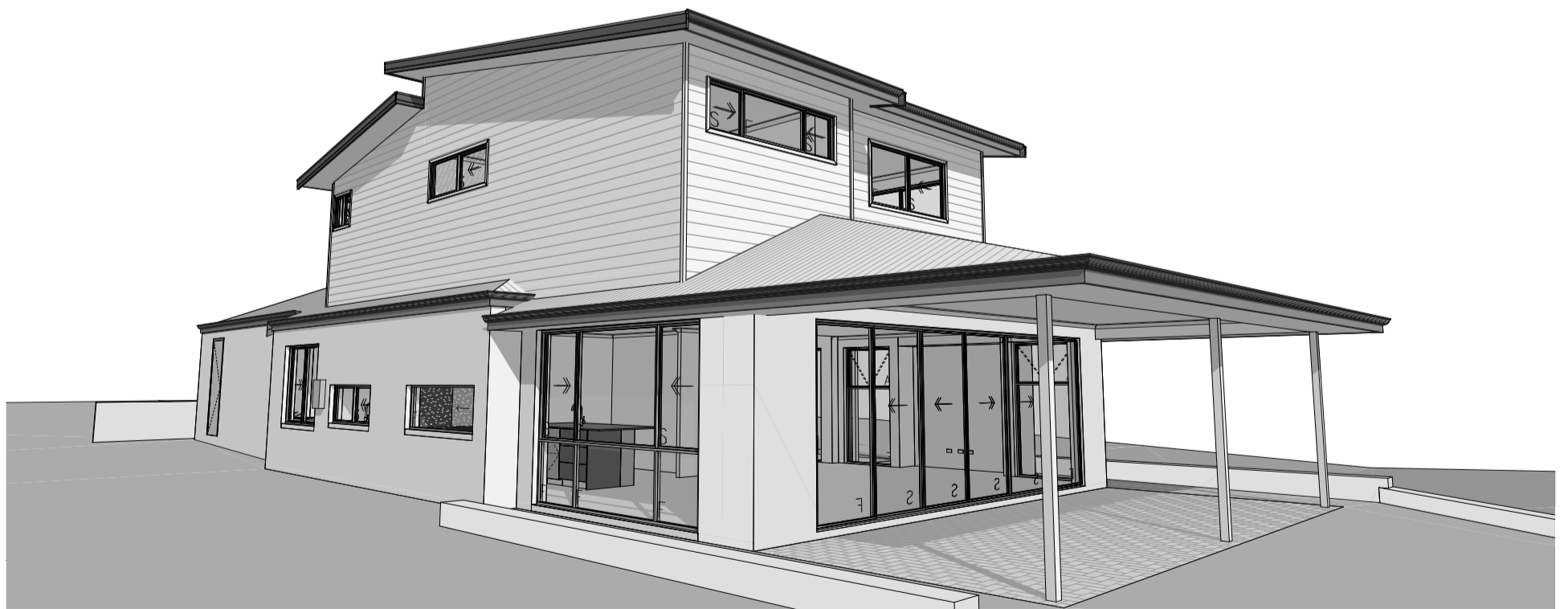
**THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT:**  
OWNER ..... DATE .....  
OWNER ..... DATE .....  
BUILDER ..... DATE .....



**NOTE:**  
UPPER FLOOR  
WINDOWS TO COMPLY  
WITH BCA 3.9.2.5

**RENDER NOTE:**  
EXTENT OF ACRYLIC RENDER TO FRONT OF  
HOUSE TO ALFRESCO & TO UF VOID  
MASTERWALL.





THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

OWNER .....DATE.....

OWNER .....DATE.....

BUILDER .....DATE.....



BUILDERS REGISTRATION N° 13521  
9 SANGIORGIO COURT  
OSBORNE PARK WA 6017  
Phone (08) 9208 9100. Fax (08) 9208 9102

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VARIATIONS:

REV:	DESCRIPTION:
'1'	CONTRACT (SILVER PLANS)
'2'	GARAGE AMENDMENTS
'3'	
'4'	
'5'	
'6'	
'7'	
'8'	
'9'	

INT:	DATE:
SR	11.09.20
SR	29.09.20

CLIENT:

**BETHUNE**

SITE ADDRESS:

LOT 12 (#1) JOYCE COURT  
HILLARYS WA 6025

SALES: CL DRAWN: SR CHECKED: TK

**SECRET CARABELLO  
PERSPECTIVES**

DATE: 29/09/2020	SHEET N°:
SCALE: 1:100	10 of 10
REVISION N°:	JOB N°:
02	2007004