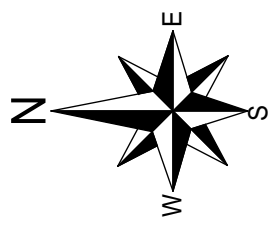


LOT 701



Latitude -31°48'19.476" Longitude 115°48'22.304"

LEGEND

	SEC Dome
	Power Pole
	Phone Pits
	Water Conn.
	Top Pillar/Post
	Top Wall
	Top Retaining
	Top Fence

DRAWING NAME: **SITE PLAN** REVISION: **A**
 JOB No: **20290b** SHEET No: **1 OF 10**

UNIT 22, 257 BALCATT A RD, BALCATT A W.A. 6021
 PHONE : (08) 6241 4888
 www.blueprinthomes.com.au

CLIENT: **Smith**
 CONTRACT / JOB NO. **20290b**
 MAP REF. **251-19/01**
 COASTAL NO
 (Scaled from StreetSmart Directory Only - Confirm With Shire) **OLD AREA**

Suburb **Kingsley**
 Loc.Auth. **CITY OF JOONDALUP**
 D.Plan **417485** Volume **2978** Folio **601**
 Location **Check Title**

ZONING: R40
55% OPEN SPACE ALLOWED - R-CODES

SITE AREA: 361m²
PROPOSED RESIDENCE: 196m²

SITE ANALYSIS

OPEN SPACE REQUIRED
 45% OF 361m² = 162m²
OPEN SPACE ACHIEVED
 165m² OR 46%

OUTDOOR LIVING
OUTDOOR LIVING REQUIRED = 20m²
OUTDOOR LIVING ACHIEVED = 85m²

TWO THIRDS OF REQUIRED AREA WITHOUT PERMANENT ROOF COVER AS PER R-CODES = 13.34m²

UNCOVERED OUTDOOR LIVING ACHIEVED = 71m²

TELSTRA/NBN : INTERNAL PIT & PIPE PROVISIONS BY OWNER

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

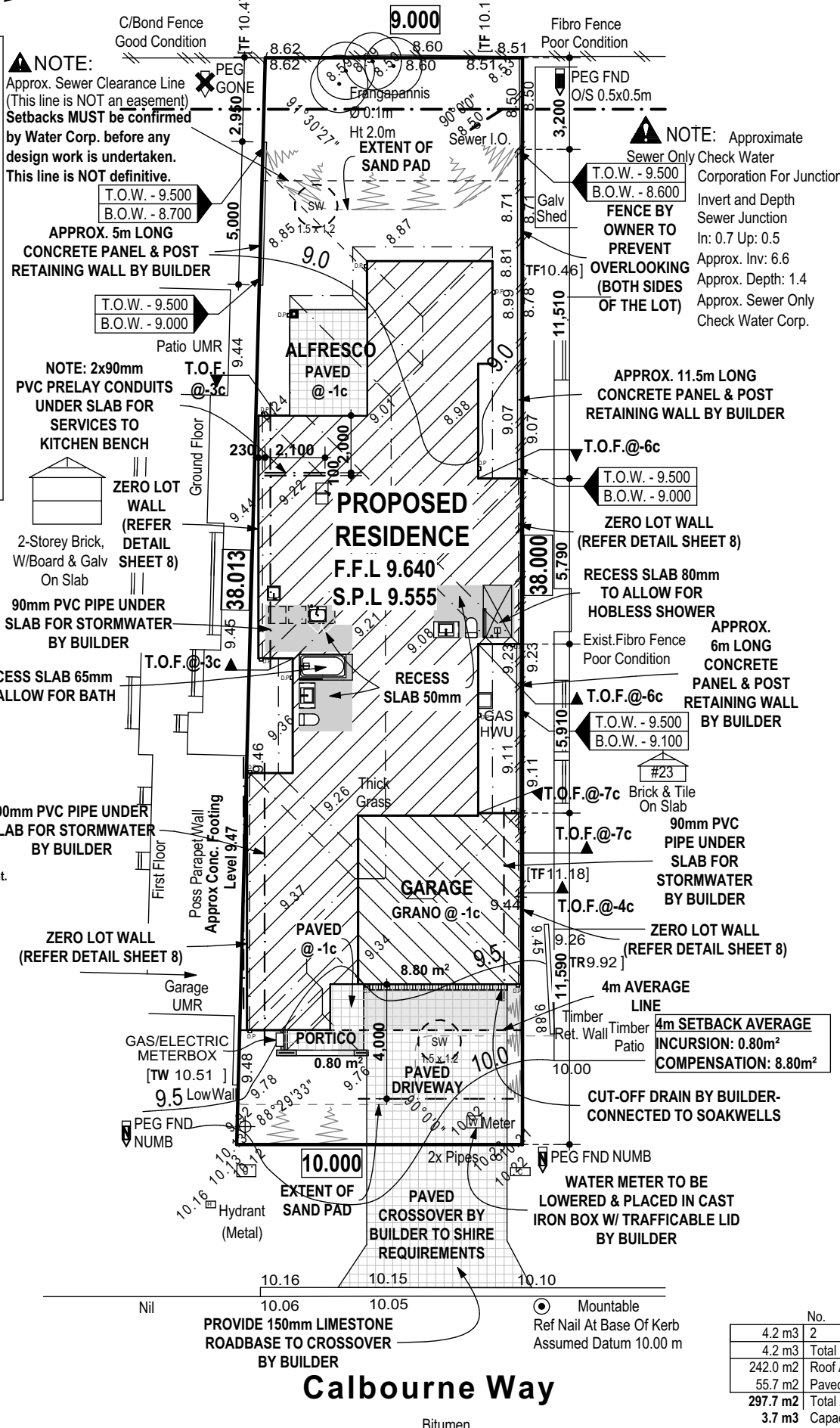
DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

LOT MISCLOSE
 0.000 m

SOIL DESCRIPTION
 Sand
 Light Grass Cover

Scale 1:200
 Scale 1:200 Date: 04 Aug 20



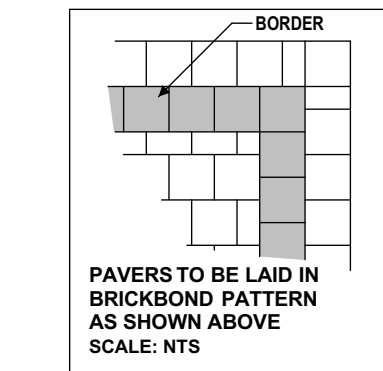
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED:/..../.....

OWNER..... WITNESS.....
 OWNER..... WITNESS.....
 BUILDER..... WITNESS.....

Rev No: Variation: Date Dm: By:

Drawn By: MR Date Drawn: SEP'20 Salesman: NM



ALL TRADES & AUTHORISED VISITORS TO BE AWARE OF SITE CONDITIONS & EXERCISE CAUTION

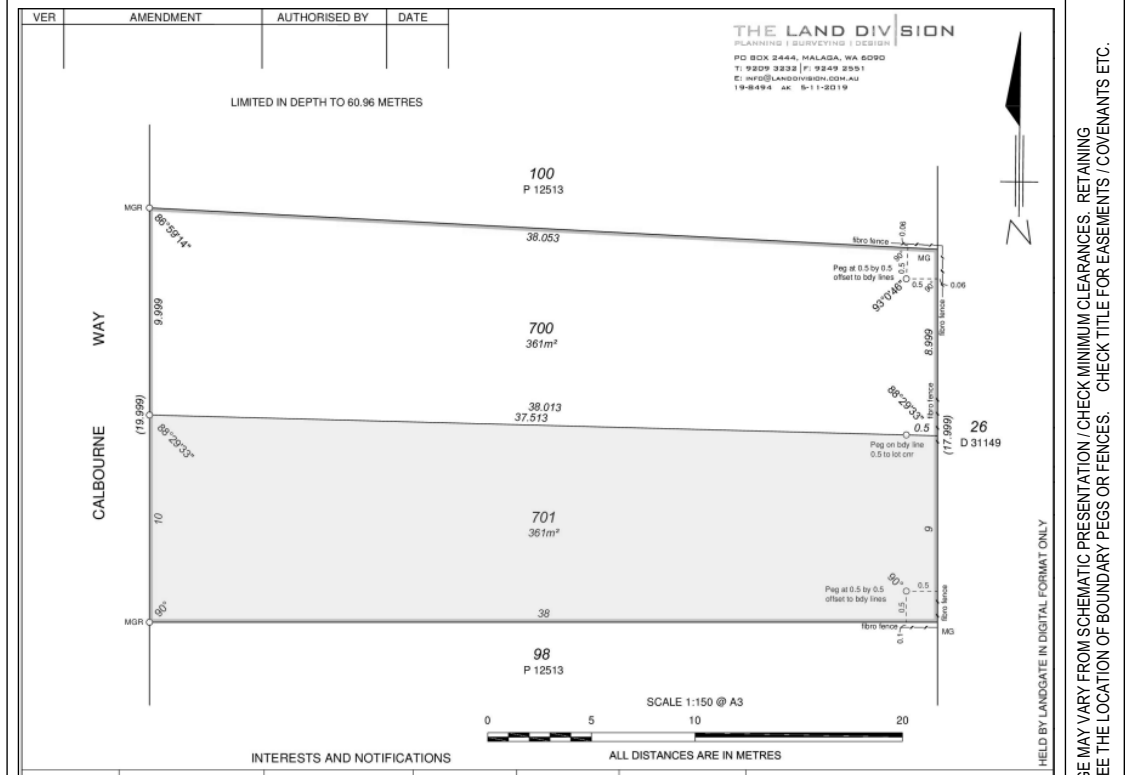
EUROPEAN BORER: TREATMENT PROTECTION FOR ALL TIMBER ROOF FRAMING TO BE H2 HAZARD LEVEL IN ACCORDANCE WITH A.S. 1604.

STORMWATER BY BUILDER
 STORMWATER LAYOUT TO COMPLY WITH BCA PART 3.1 & AS/NZ 3500.3.2003 PLUMBING & DRAINAGE PART 3: STORMWATER DRAINAGE & SHIRE REQUIREMENTS

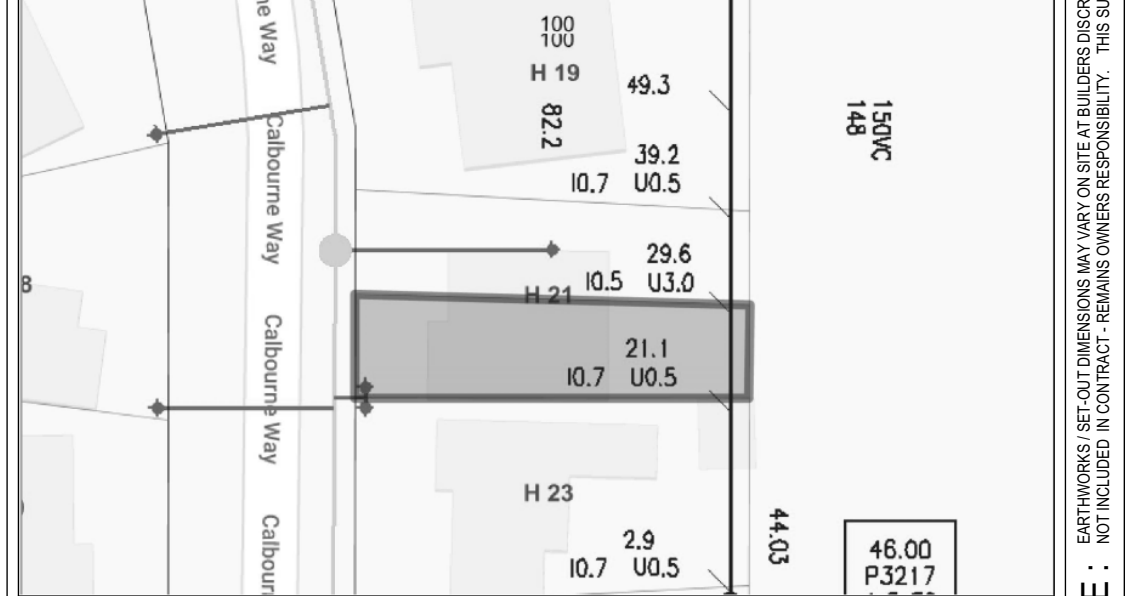
REFER TO SHEET 2 FOR SETOUT & SETBACK DIMENSIONS

PLUMBER NOTE: PROVIDE REFLUX VALVE

TERMITE PROTECTION: IN ACCORDANCE WITH AS 3660.1, PART 3.1.3.2 OF THE BCA



Elec.	U/Ground	Water	Yes	Sewer	Yes
Gas	Check Your Lot With Alinta Call 13 13 58	Phone Comms	Yes	Footpath	Nil
Road	Bitumen	Kerb	Mountable	Drainage	Good



COTTAGE & ENGINEERING SURVEYS
 Licensed Surveyors

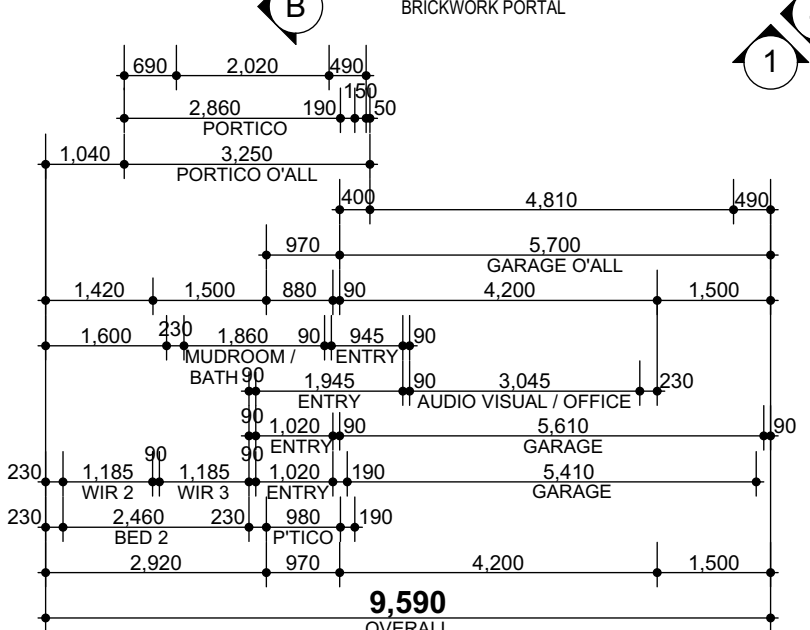
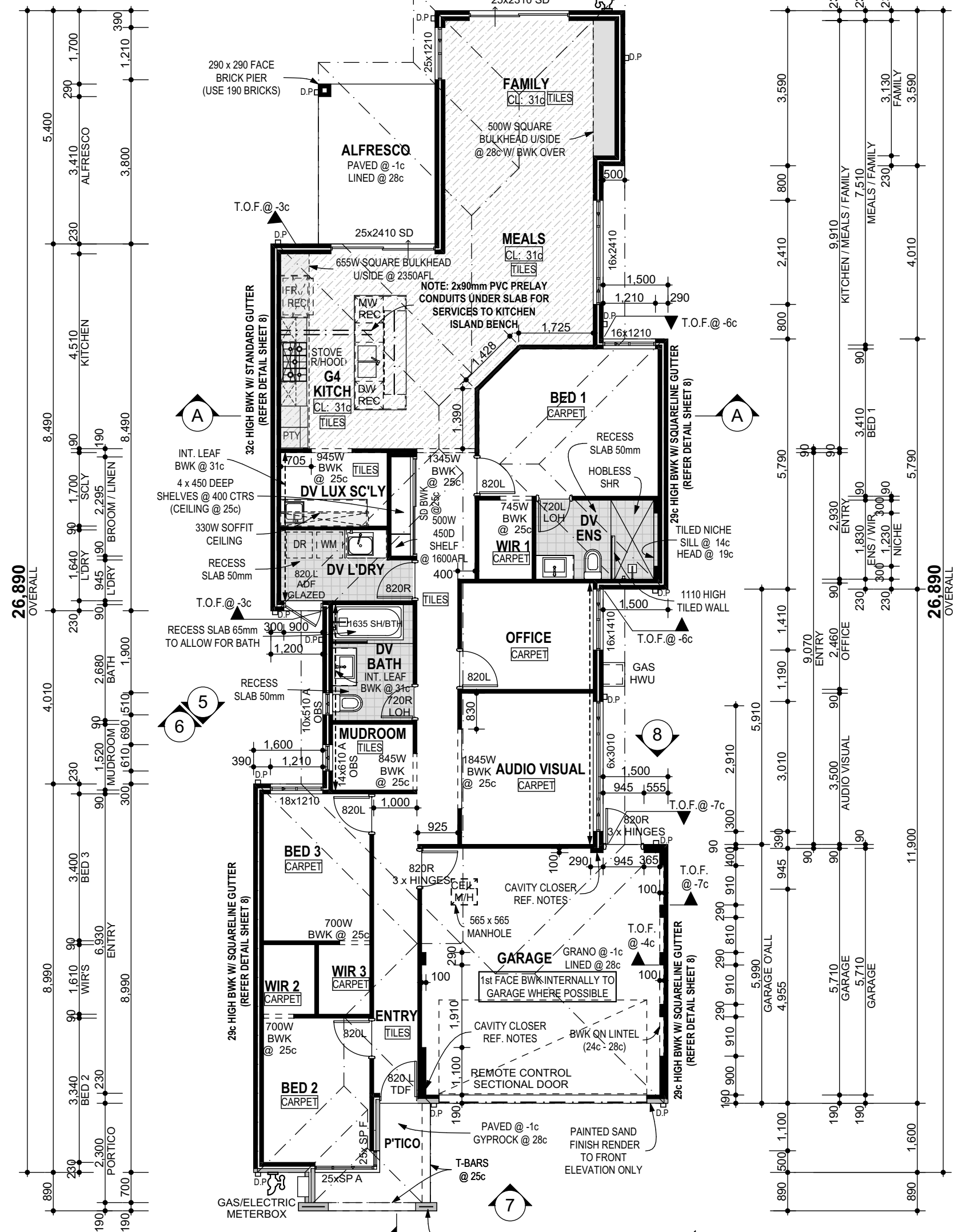
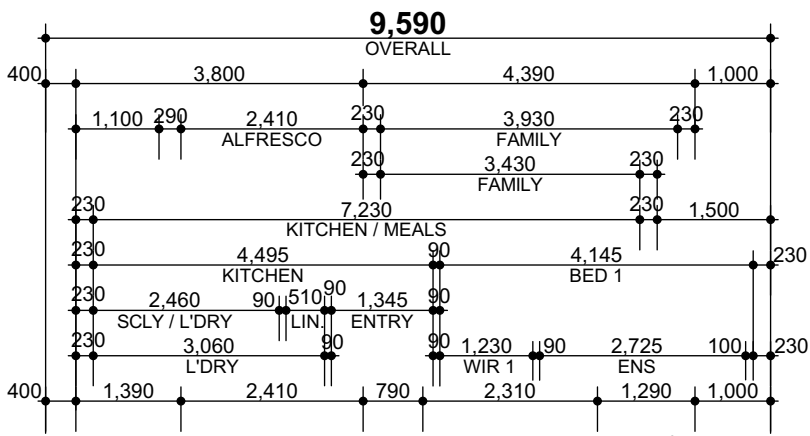
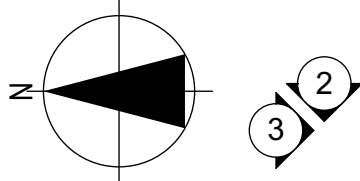
78-79 Guthrie Street, Osborne Park, Western Australia
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
 Email : perth@cottage.com.au Website: www.cottage.com.au
 J/No: 475842 Drawn: M. Bateman

NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES, RETAINING WALLS, FENCES, ETC. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

31c CEILINGS TO KITCHEN, MEALS & FAMILY ONLY
28c CEILINGS ELSEWHERE UNLESS NOTED OTHERWISE

BRICK LAYER NOTE:
EXTERNAL BRICKS TO BE 290 x 162 x 90
(1st external course to be a 2 course brick)

3rd BOND



NOTES:
 - EXTERNAL WALLS CONSIST OF 230 WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF
 - ALL INTERNAL WALLS ARE PLASTERED UNLESS NOTED OTHERWISE.
 - CAVITY INSULATION AS REQUIRED - REFER SHEET 10
 - R 4.0 FIBREGLASS BATT CEILING INSULATION TO HOUSE AND GARAGE AREAS ONLY AND VERTICALLY WHERE REQUIRED
 - CAVITY BREACHES - BRICKLAYER TO BUILD IN CONCEALED, FULL HEIGHT FLASHING BETWEEN CAVITY CLOSER & INTERNAL LEAF.
 - PROVIDE COLD WATER PLUMBING ONLY TO DW REC EUROPEAN BORER. TREATMENT PROTECTION FOR ALL TIMBER ROOF FRAMING TO BE H2 HAZARD LEVEL IN ACCORDANCE WITH A.S. 1604
 - PROVIDE REFLUX VALVE
 - FINAL DOWNSPIPE LOCATION IS DETERMINED ON SITE AND IS AT THE ROOF PLUMBERS DISCRETION

DIMENSIONS SHOWN ON PLAN RELATE TO BRICKWORK SET OUT ONLY. PLEASE ALLOW AN ADDITIONAL 15mm TO EACH WALL FOR PLASTER. THIS ALLOWANCE SHOULD BE CONSIDERED WHEN CALCULATING CLEARANCES FOR FUTURE FITTINGS

Area Names	Area	Perimeter
HOUSE AREA	162.48	76.36
GARAGE	33.76	23.38
ALFRESCO	9.99	12.80
PORTICO	4.45	10.78
ROOF AREA	218.45	--

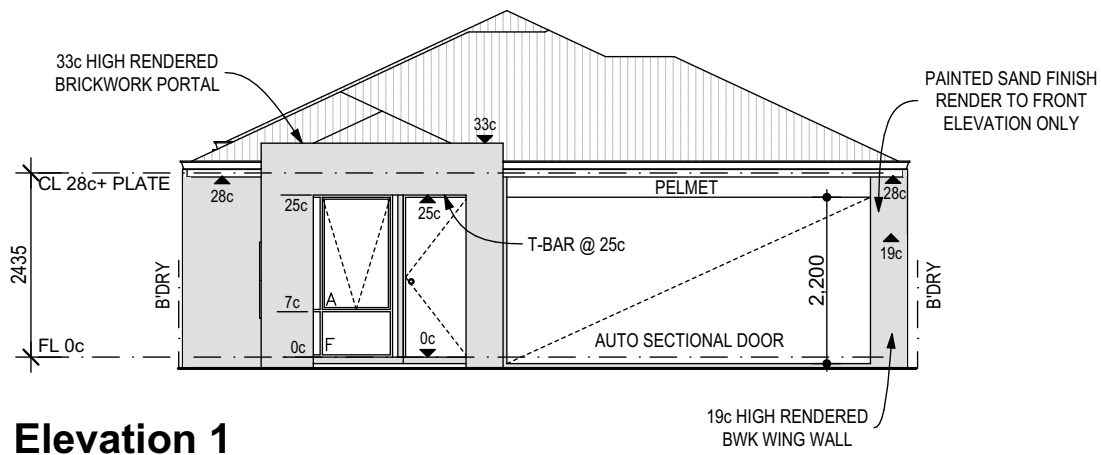
FLOOR PLAN
 1:100

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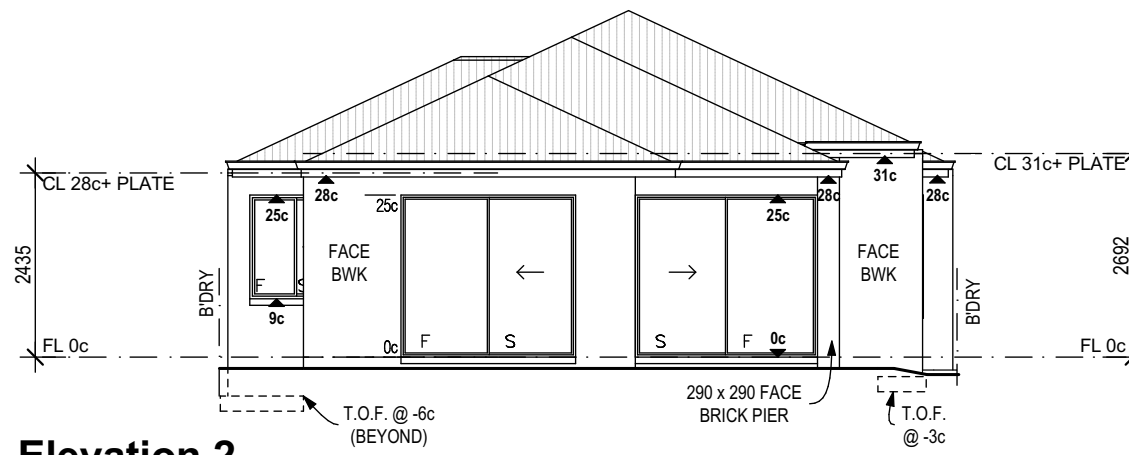
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THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		HOUSE NAME	DRAWING NAME	SHEET No.	REVISION No.	JOB No.
		HAMELIN BAY	FLOOR PLAN	3 OF 10	A	20290b
DATED:	Spec	VARIATIONS		CLIENT NAME		
	Elevation	Rev No.	Variation:	Date Dm:	By:	Smith
OWNER	WITNESS	INCLUDED		SITE ADDRESS		
				Lot 701(#21a) Calbourne Way Kingsley		
OWNER	WITNESS			SHIRE		
				Joondalup		
BUILDER	WITNESS			Drawn By	Date Drawn.	Salesperson.
				MR	SEP'20	NM



Elevation 1

1:100



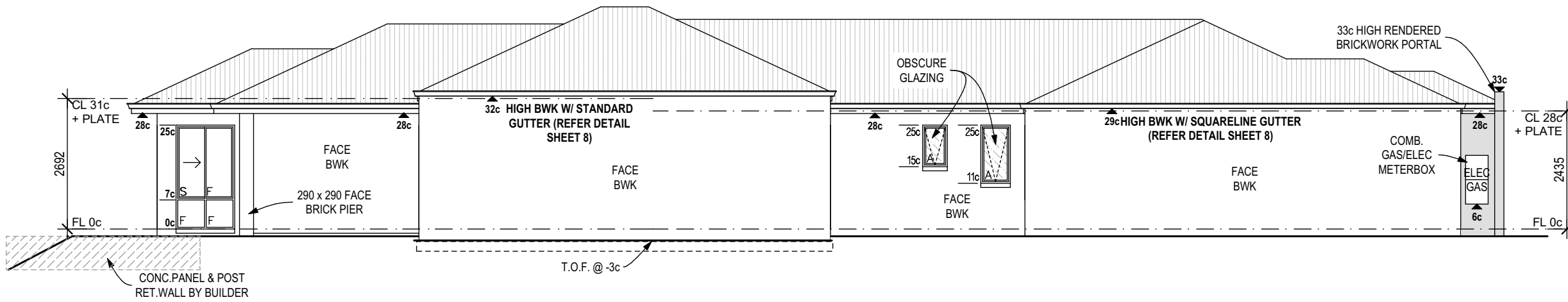
Elevation 2

1:100

CUSTOM ORB METAL DECK ROOF @ 25° PITCH

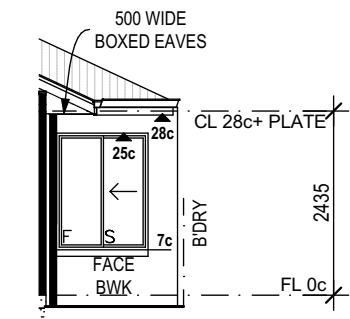
31c CEILINGS TO KITCHEN, MEALS & FAMILY ONLY

28c CEILINGS ELSEWHERE UNLESS NOTED OTHERWISE



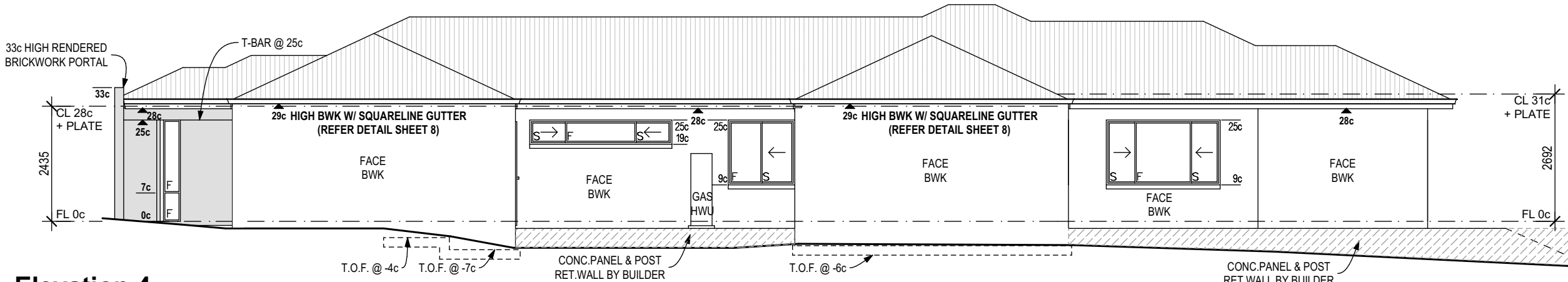
Elevation 3

1:100



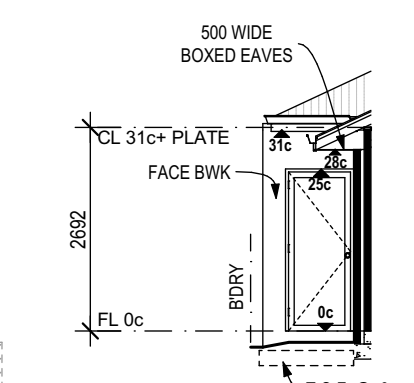
Elevation 5

1:100



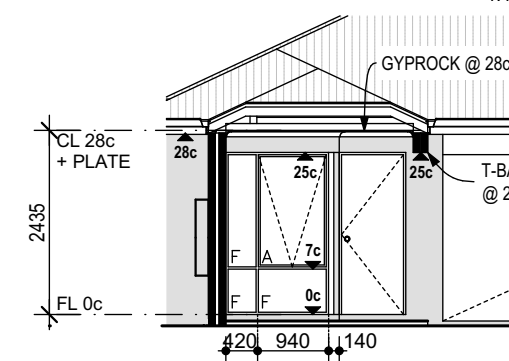
Elevation 4

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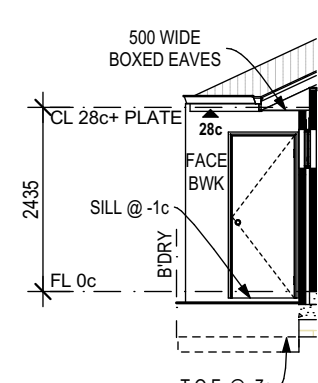
Elevation 6

1:100



Elevation 7

1:100



Elevation 8

1:100



THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

DATED:/...../.....

OWNER: WITNESS:

OWNER: WITNESS:

BUILDER: WITNESS:

HOUSE NAME	HAMELIN BAY	DRAWING NAME	ELEVATIONS	SHEET No.	4 OF 10	REVISION No.	A	JOB No.	20290b
Spec	INFINITY	Client Name	Smith						
Elevation	INCLUDED	Site Address	Lot 701(#21a) Calbourne Way Kingsley						
		Shire	Joondalup						
		Drawn By	MR	Date Drawn	SEP'20	Salesperson	NM		

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