

⊕	SEC Dome
⊖	Power Pole
⊕	Phone Pits
⊖	Water Conn.
⊕	Top Pillar/Post
⊖	Top Wall
⊕	Top Retaining
⊖	Top Fence

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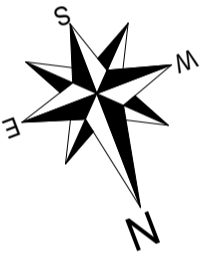
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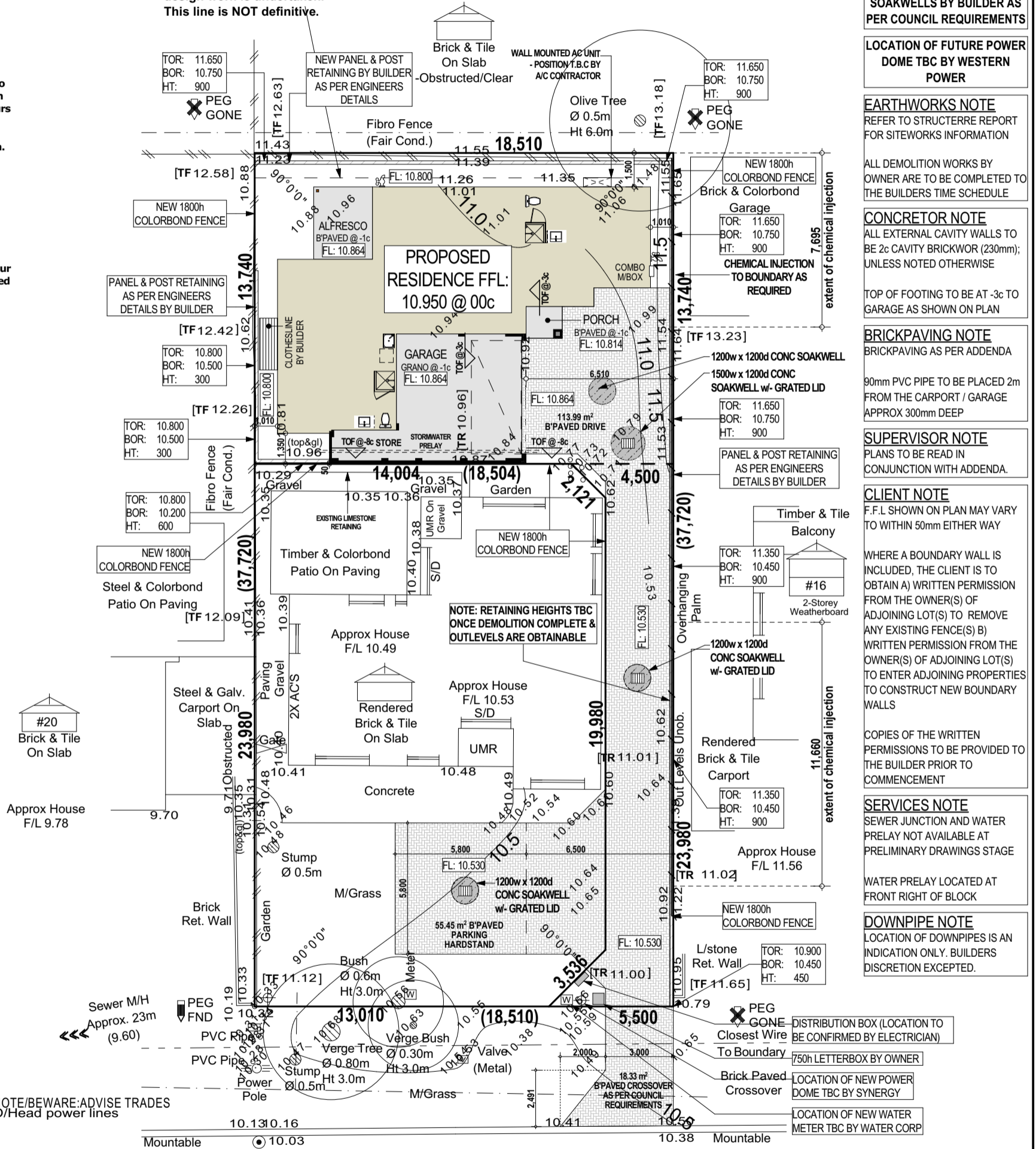
LOT MISCLOSE
0.000 m

SOIL DESCRIPTION
Sand
Refer to Survey



NOTE:
Positions of all sewer manholes, junctions and sewer lines are approximate only due to lack of information. Please confirm all positions with Water Corp.

NOTE:
Approx. Sewer Clearance Line (This line is NOT an easement) Setbacks MUST be confirmed by Water Corp. before any design work is undertaken. This line is NOT definitive.



SITE ZONING-R40

Area of Site	254m²
Shared C/P	38m²
Total Area of Site	292m²
Area of Building	146m²
SITE COVERAGE	50%
Allowed Coverage	55%

ALL TRADES NOTE ENSURE ALL BUILDING MATERIALS & RUBBISH ARE KEPT AWAY FROM SEWER INSPECTION OPENING AT ALL TIMES

STORMWATER DISPOSAL TO SOAKWELLS BY BUILDER AS PER COUNCIL REQUIREMENTS

LOCATION OF FUTURE POWER DOME TBC BY WESTERN POWER

EARTHWORKS NOTE
REFER TO STRUCTERRE REPORT FOR SITEWORKS INFORMATION

ALL DEMOLITION WORKS BY OWNER ARE TO BE COMPLETED TO THE BUILDERS TIME SCHEDULE

CONCRETOR NOTE
ALL EXTERNAL CAVITY WALLS TO BE 2c CAVITY BRICKWOR (230mm); UNLESS NOTED OTHERWISE

TOP OF FOOTING TO BE AT -3c TO GARAGE AS SHOWN ON PLAN

BRICKPAVING NOTE
BRICKPAVING AS PER ADDENDA

90mm PVC PIPE TO BE PLACED 2m FROM THE CARPORT / GARAGE APPROX 300mm DEEP

SUPERVISOR NOTE
PLANS TO BE READ IN CONJUNCTION WITH ADDENDA.

CLIENT NOTE
F.F.L SHOWN ON PLAN MAY VARY TO WITHIN 50mm EITHER WAY

WHERE A BOUNDARY WALL IS INCLUDED, THE CLIENT IS TO OBTAIN A) WRITTEN PERMISSION FROM THE OWNER(S) OF ADJOINING LOT(S) TO REMOVE ANY EXISTING FENCE(S) B) WRITTEN PERMISSION FROM THE OWNER(S) OF ADJOINING LOT(S) TO ENTER ADJOINING PROPERTIES TO CONSTRUCT NEW BOUNDARY WALLS

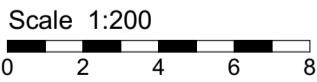
COPIES OF THE WRITTEN PERMISSIONS TO BE PROVIDED TO THE BUILDER PRIOR TO COMMENCEMENT

SERVICES NOTE
SEWER JUNCTION AND WATER PRELAY NOT AVAILABLE AT PRELIMINARY DRAWINGS STAGE

WATER PRELAY LOCATED AT FRONT RIGHT OF BLOCK

DOWNPIPE NOTE
LOCATION OF DOWNPIPES IS AN INDICATION ONLY. BUILDERS DISCRETION EXCEPTED.

NOTE:
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Mountable
Ref Nail At Base Of Kerb Assumed Datum 10.00 m
Sewer Junction
In: 4.3
Inv: 8.9 Depth: 1.5
NOTE: UP

Arawa Place
Bitumen

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CLIENT: **SMITH**
SITE ADDRESS: **LOT 551 (#18) ARAWA PLACE CRAIGIE CITY OF JOONDALUP**
NOTE: DIMENSIONS ON PLAN ARE TO BRICK SIZES WHEN CALCULATING MEASUREMENTS FOR ROOMS & FURNITURE ALLOW 10mm TO EACH WALL FOR PLASTER MARGIN.

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT:
DATE.....
OWNER 1.....
OWNER 2.....
BUILDER.....

DRAWN	DATE	CHKD	DESCRIPTION
EH	10/12/20	JK	PLANNING DRAWINGS

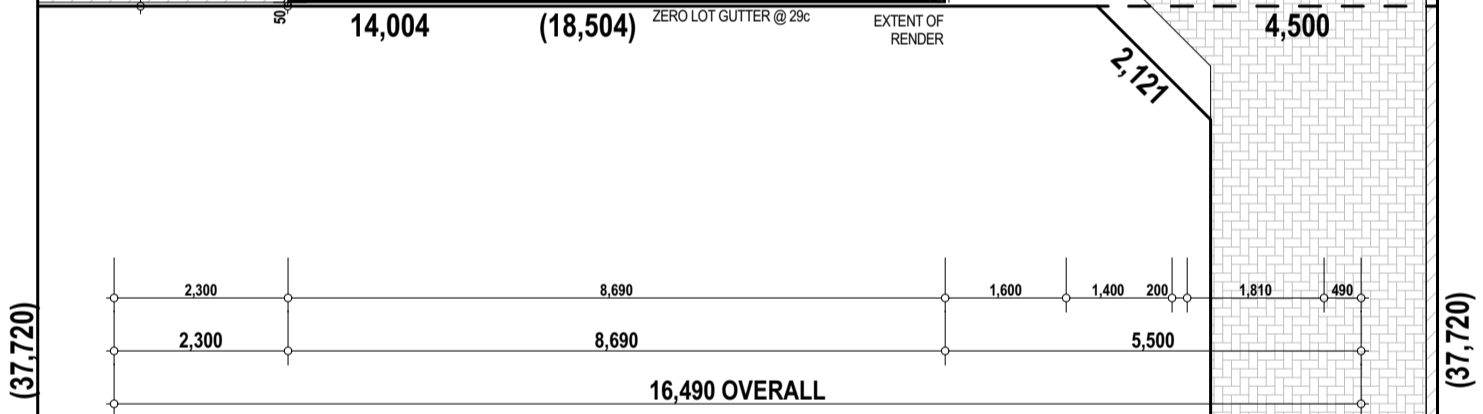
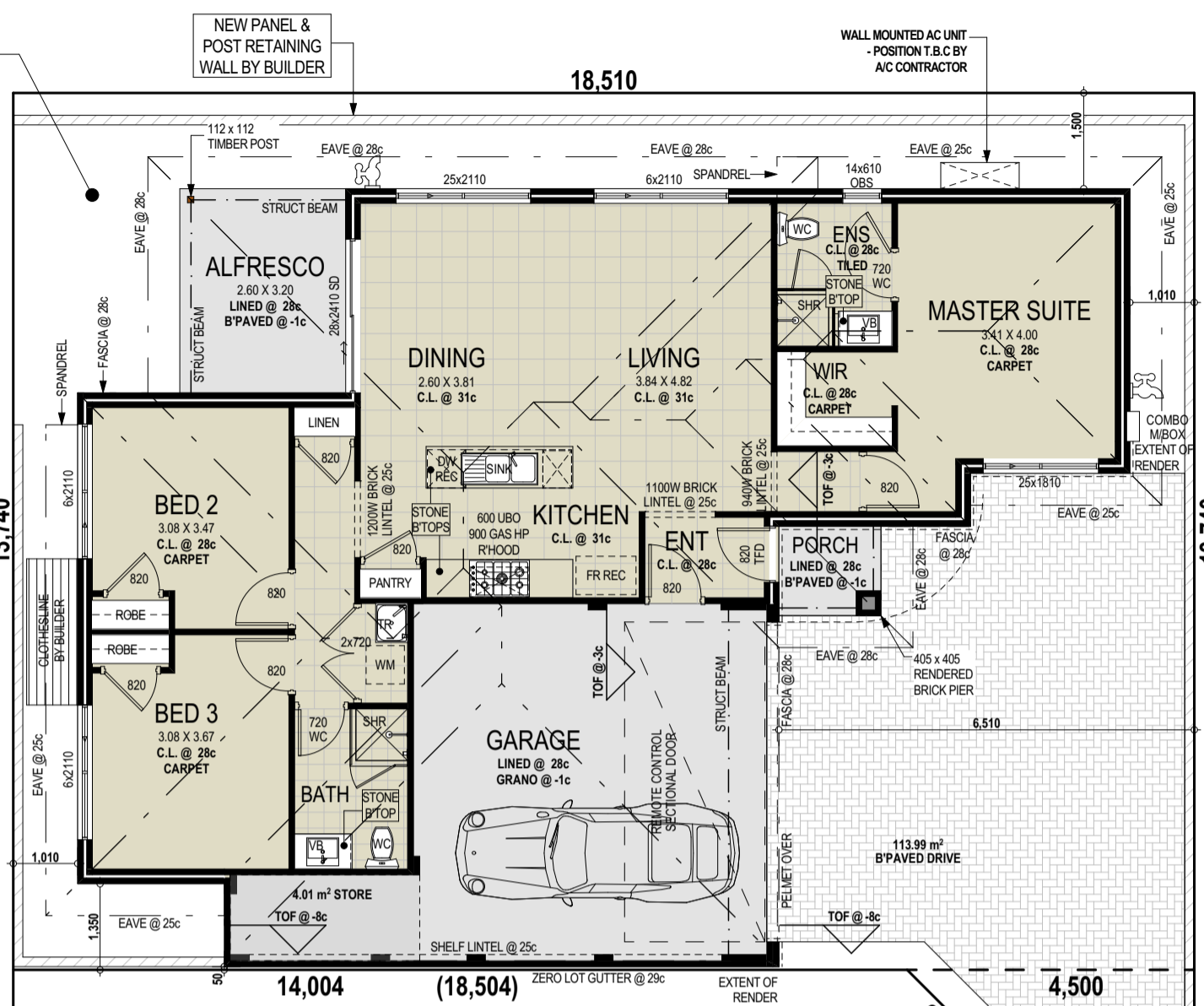
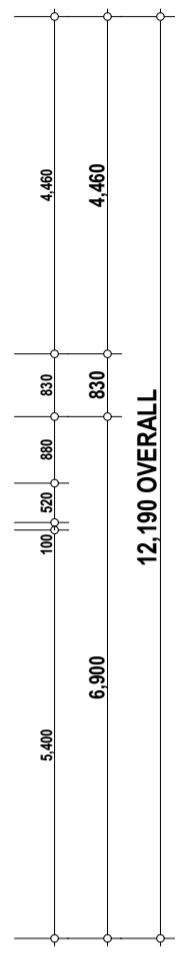
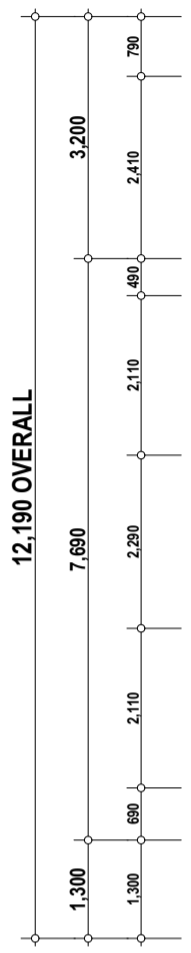
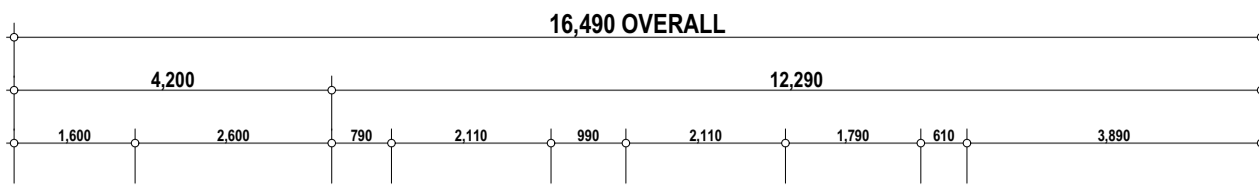
	AREAS	
	Area	Perimeter
HOUSE	107.70	54.76
GARAGE	36.85	28.76
ALFRESCO	8.32	11.60
PORCH	2.24	6.00
	155.11 m²	101.12 m

ROOF AREAS		
FLOOR	PITCH	AREA
GROUND FLOOR	24° 43' 0"	174.92
		174.92 m²

MODEL NAME: **INDIVIDUAL**
DWG: **Site Plan**
SCALE: **1:200**
JOB No: **D20014**
SHEET No: **3 OF 4**

OUTDOOR LIVING: 24.4m²
 COUNCIL REQUIRED: 24m²
 UNCOVERED OPEN SPACE: 16.1m²
 COUNCIL REQUIRED: 16m²

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 COUNCIL REQUIRED: 24m²
 UNCOVERED OPEN SPACE: 16.1m²
 COUNCIL REQUIRED: 16m²

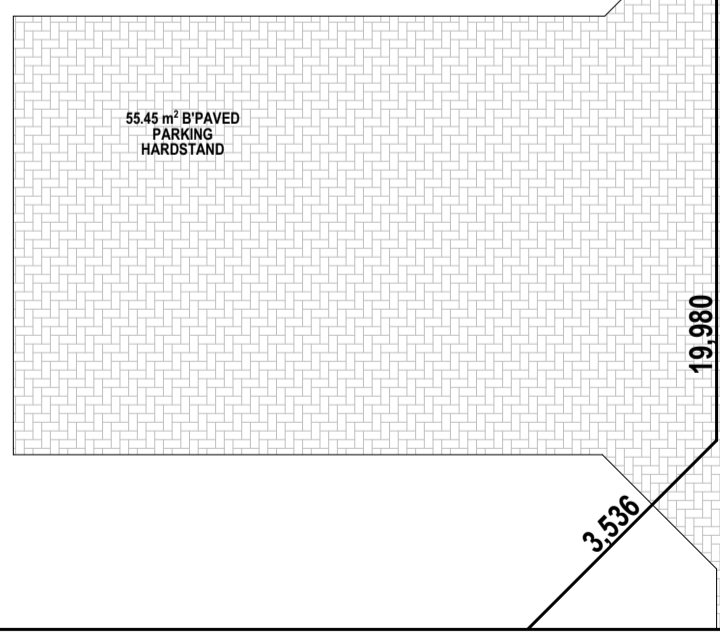
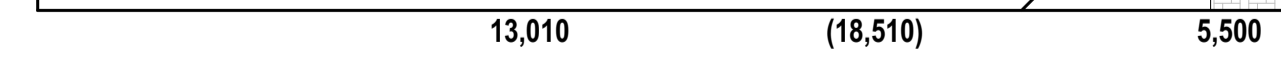


(37,720)

(37,720)

23,980

23,980



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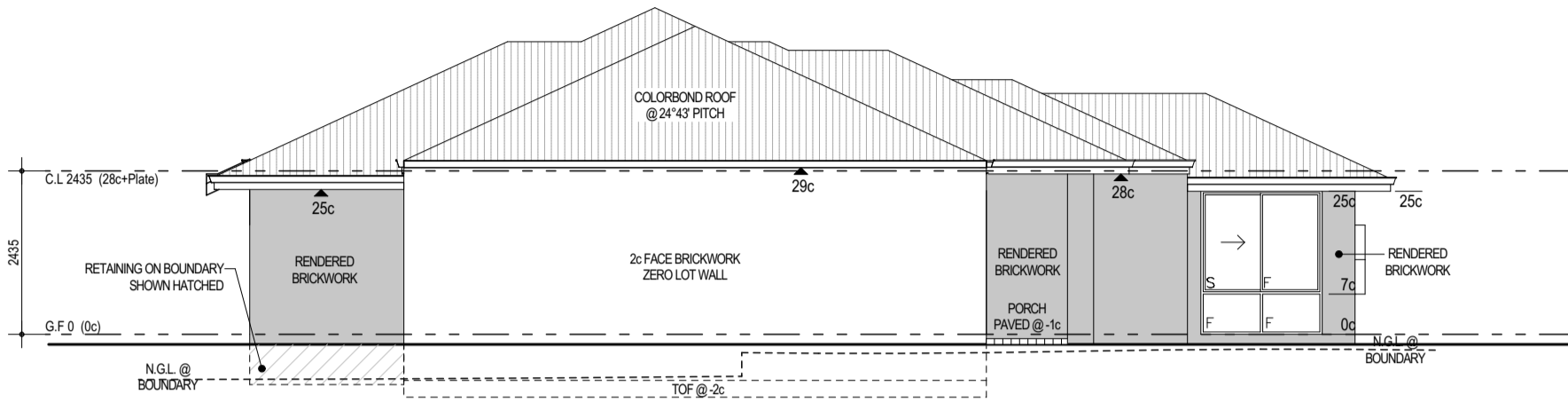
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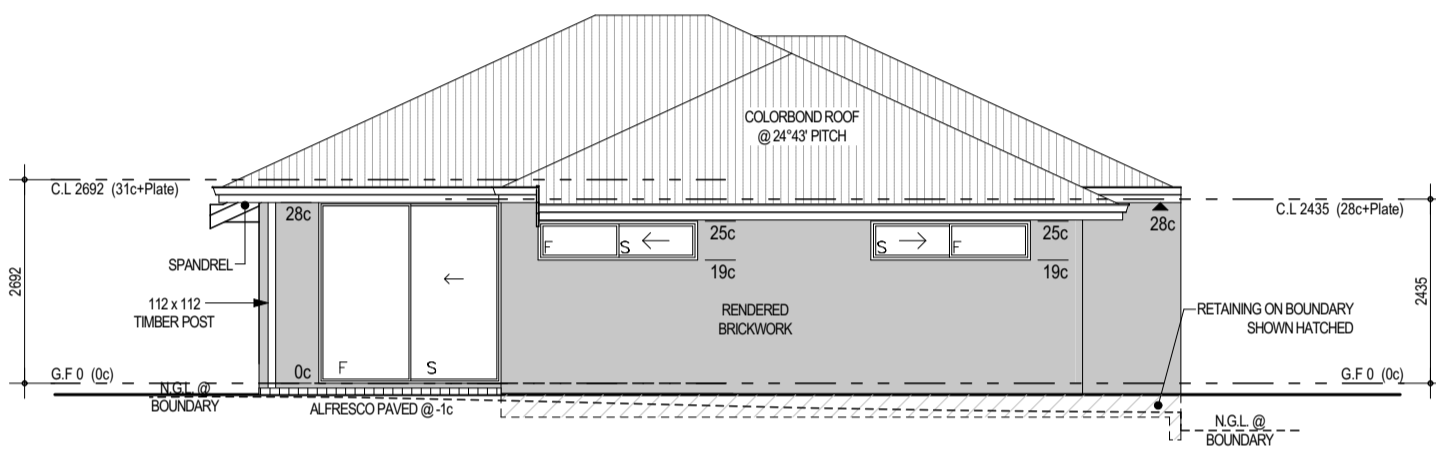
AREAS		
Ground Floor	Area	Perimeter
HOUSE	107.70	54.76
GARAGE	36.85	28.76
ALFRESCO	8.32	11.60
PORCH	2.24	6.00
	155.11 m²	101.12 m

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FLOOR	PITCH	AREA
GROUND FLOOR	24° 43' 0"	174.92
		174.92 m²

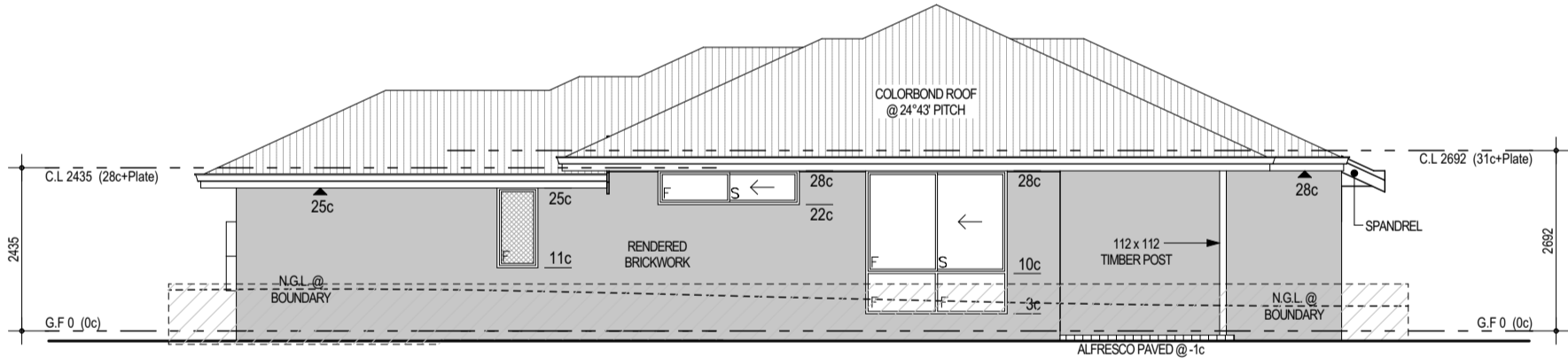
MODEL NAME: **INDIVIDUAL**
 DWG: **Ground Floor Plan**
 SCALE: **1:100**
 JOB No: **D20014**
 SHEET No: **1 OF 4**



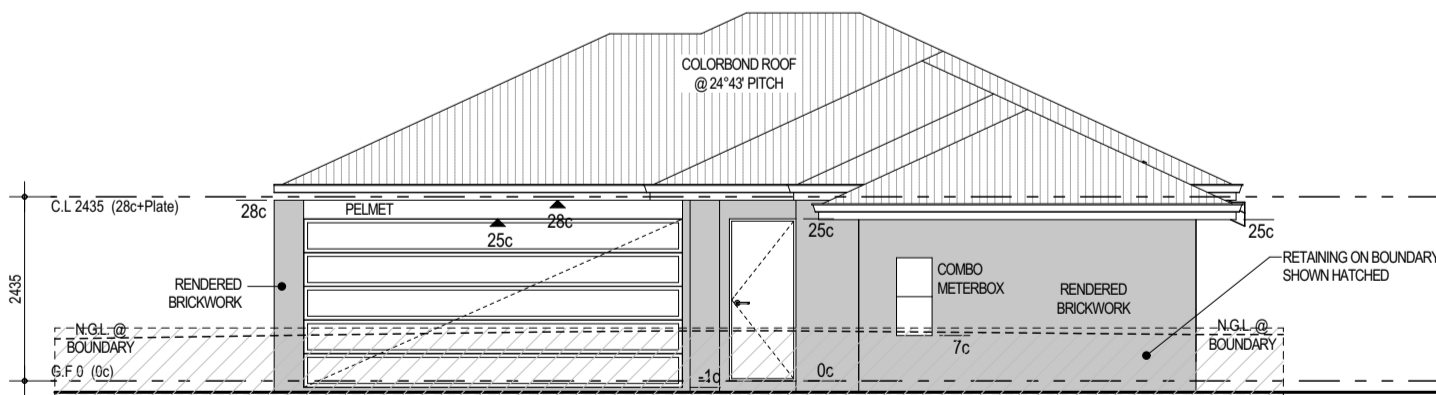
1 FRONT ELEVATION
1:100



2 SIDE ELEVATION
1:100



3 REAR ELEVATION
1:100



4 SIDE ELEVATION
1:100

+	SEC Dome
⊖	Power Pole
⊕	Phone Pits
⊖	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
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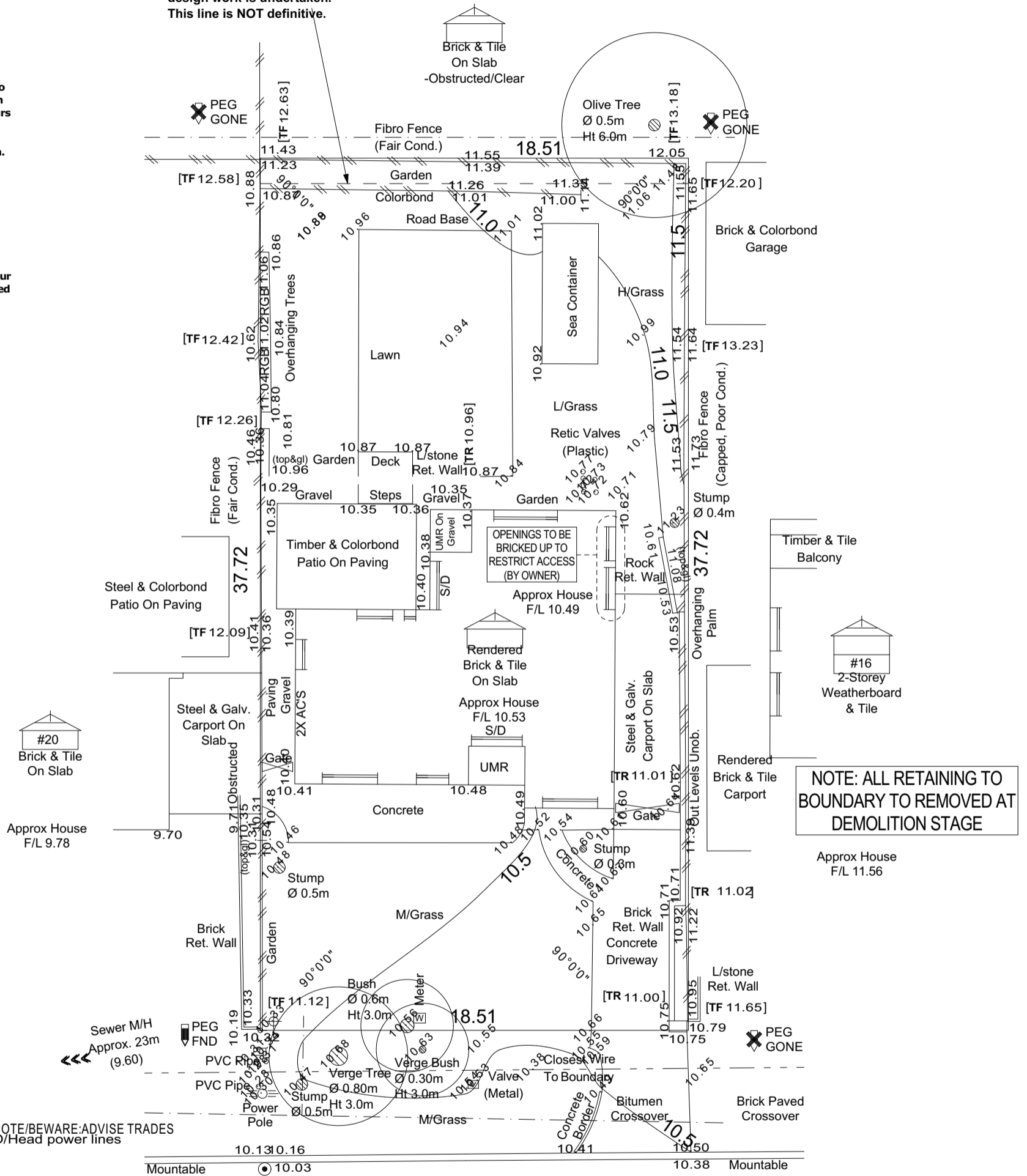
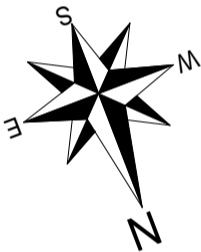
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NOTE: ALL DEMOLITION & ASSOCIATED WORKS, REMOVAL OF TREES & STUMPS & RUBBISH BY OWNER, COMPACTION CERTIFICATED REQUIRED FOR FILLED TREE STUMP HOLES

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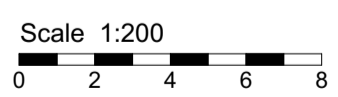
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LOT MISCLOSE
0.000 m
SOIL DESCRIPTION
Sand
Refer to Survey



NOTE: ALL RETAINING TO BOUNDARY TO REMOVED AT DEMOLITION STAGE

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SHEET No: **4 OF 4**