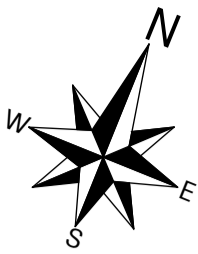


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SITE COVER CALC.

ZONED	R20/R40
% ALLOWED	55%
SITE AREA	301.98m ²
SITE COVER	176.53m ²

SITE COV. = 58.5%

COMMON AREA (100m ² / 2)	50m ²
SITE AREA + COMMON AREA	352m ²

ADJUSTED SITE COVERAGE = 50.14%

REFER TO ENGINEERS SITE INSPECTION REPORT FOR FOUNDATION & FOOTING REQUIREMENTS:

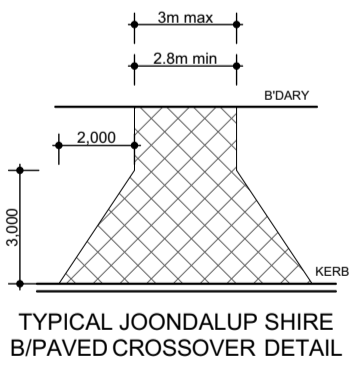
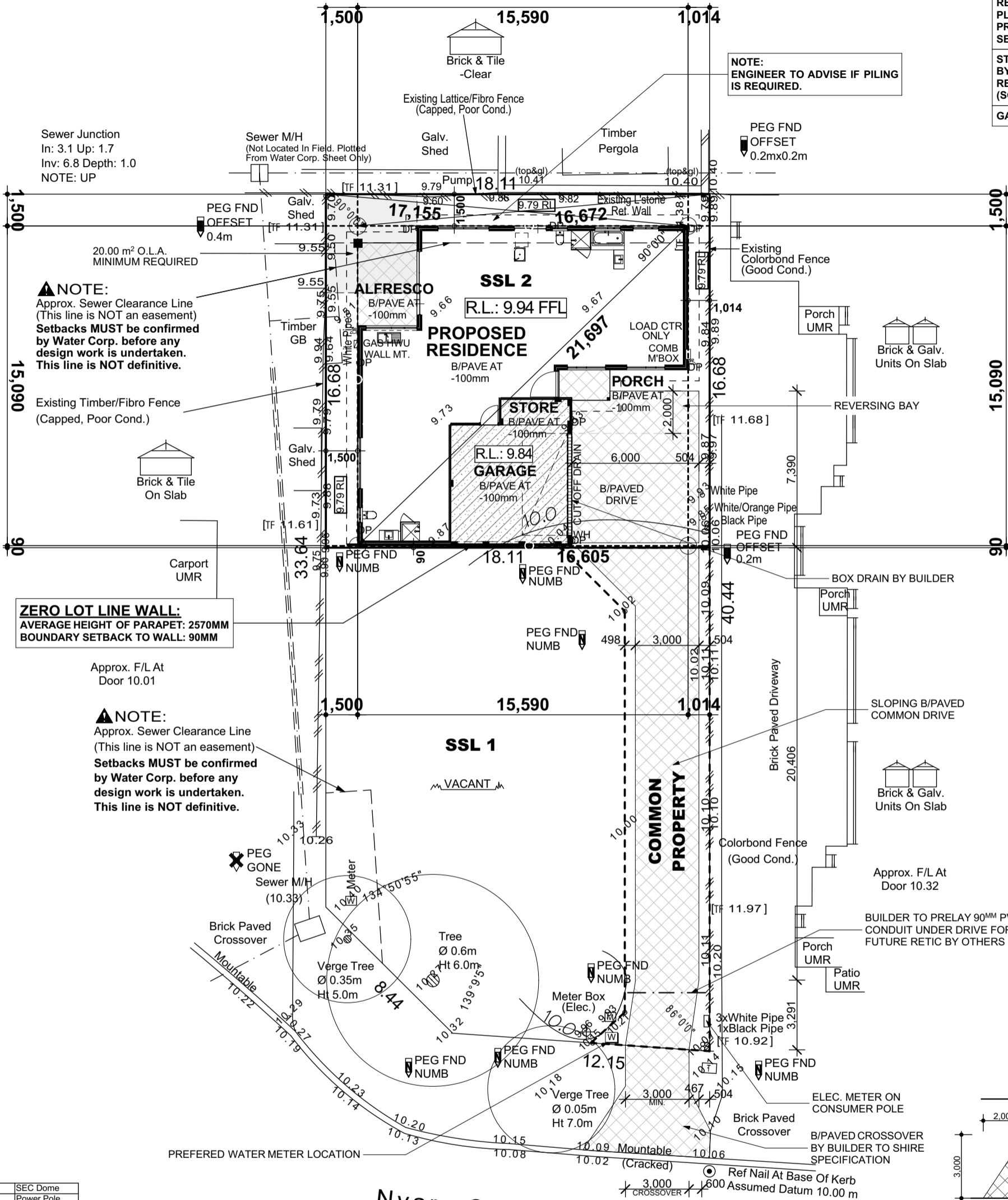
SITE CLASS:	A
WIND CLASS:	N1
TERRAIN CAT:	TC3
TOPOGRAPHY:	T0
CORR. CLASS:	R3

EARTHWORKER NOTE:
F.L. MAY VARY +/- 50MM

NOTE:
REFER TO SLAB SETOUT PLAN FOR SLAB, PLUMBING PRELAY AND WET AREA SETOUT

STORMWATER DISPOSAL BY BUILDER TO COUNCIL REQUIREMENTS (SOAKWELLS)

GAS AVAILABILITY: ML



SEC Dome	
Power Pole	
Phone Pits	
Water Conn.	
Top Pillar/Post	
Top Wall	
Top Retaining	
Top Fence	

Elec. U/Ground Water Yes Sewer Yes

Check Your Lot With Alinta Phone Yes Footpath Nil

Gas **Call 13 13 58** Comms Yes Drainage Good

Road Bitumen Kerb Mountable

PAVING & GRANO AREA		IS PLANNING REQ'D: YES
GRANO - GARAGE	34.59	IS A CODE VARIATION REQ'D: YES
PAVING - ALFRESCO	10.88	STRATA LOT, OLA COMPLIANCE
PAVING - COMMON DRIVE	74.59	ENERGY EFFICIENCY REQUIREMENTS
PAVING - CROSSOVER	20.55	CAVITY WALL INSULATION: NIL
PAVING - DRIVE	42.18	(Extent between markers X-X)
PAVING - PORCH	3.35	LIVING CEILING INSULATION: R4.1
	186.14 m²	GARAGE CEILING INSULATION: R4.1
		ROOF INSULATION: NIL
		DESIGN CHANGES: NIL
		WINDOW GLAZING: SINGLE CLEAR
		ENERGY RATING COMPLETE: NO

COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
Email: perth@cottage.com.au Website: www.cottage.com.au
J/No: 487639 Drawn: C. Weightman

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BUILDING CONTRACTOR N° 12788
Level 1, 42 Cedric Street, Stirling WA 6021
Phone (08) 6144 1000 Fax (08) 6144 1004
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Drwg: **SITE PLAN**
Client: **McINTOSH**
Site: **PROPOSED SSL 2/ LOT 93 (#32) NYARA CRESCENT, CRAIGIE**
Map Ref: StreetSmart® - 250 D5

CONTRACTS
OWNER..... DATE.....
OWNER..... DATE.....
BUILDER..... DATE.....

CUSTOM
Local Authority: **JOONDALUP**
Job No: **F1578**
Date Dm: **21/01/21**
Dm By: **IC**
Check: **MT**
Sales: **CH**
Scale: **1:200**
Sheet # **01** Rev: **00**

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NOTE:
REFER TO SLAB SETOUT PLAN FOR SLAB, PLUMBING PRE-LAY AND WET AREA SETOUT

NOTE:
PROVIDE 01c LONGREACH SOLID BRICK SILL (NOM. 290 x 76 x 90) TO OPENINGS

(U.N.O.) UNLESS NOTED OTHERWISE ON PLAN THE FOLLOWING SHALL APPLY:

BRICKLAYER NOTE
6^{MM} RODS & 3rd OF LONGREACH BRICK TO TOP OF INTERNAL WALLS BETWEEN Z-Z.

EXTENT OF RENDER BETWEEN R-R.

REFER TO CONSTRUCTION DETAIL SHEET & ENGINEER CERTIFIED DETAILS

REFER TO ENGINEERS TIE DOWN DETAILS

ROOF CARPENTER NOTE

REFER TO ENGINEERS TIE DOWN DETAILS

REFER TO BUILDERS ROOF CARPENTER SPECIFICATION.

FIXING CARPENTER NOTE

PROVIDE GALLOW'S BRACKET SUPPORT TO SHELVES OVER 1800^{MM} LONG (MAX. 1800^{MM})

ALL SHELVES 450 DEEP (U.N.O.)

HANG RAIL CENTRE TO BE 250^{MM} OFF WALL/BACK OF SHELF.

WIR/ROBE: SHELF & RAIL AT 1800^{MM} A.F.L.

PANTRY: 4 SHELVES TOP SHELF AT 1800^{MM} A.F.L. BOTTOM SHELF AT 600^{MM} A.F.L. EQ. SPACE SHELVES BETWEEN

LINEN: 4 SHELVES TOP SHELF AT 1800^{MM} A.F.L. EQ. SPACE ALL SHELVES TO F.F.L.

BROOM: 1 x SHELF AT 1800^{MM} A.F.L.

PROVIDE DRAFTPROOF SEAL TO ENTRY, GARAGE/ENTRY & LAUNDRY EXTERNAL DOORS WHERE APPLICABLE

TOWEL RAILS FIXED AT 1100^{MM} A.F.L.

CLIENT NOTE
NOTED DIMENSIONS WILL TAKE PREFERENCE TO SCALE.

DIMENSIONS SHOWN ON PLANS ARE TO BRICKWORK. INTERNAL SPACES WILL ALTER IN SIZE TO ACCOMMODATE WALL FINISHES

HIFLEX TO ALL EXTERNAL CEILINGS & EAVE LININGS U.N.O.

NUMBER AND SPACING OF RAIN WATER PIPES IS APPROXIMATE & GOVERNED BY ROOF STRUCTURE & AT THE PLUMBERS DISCRETION.

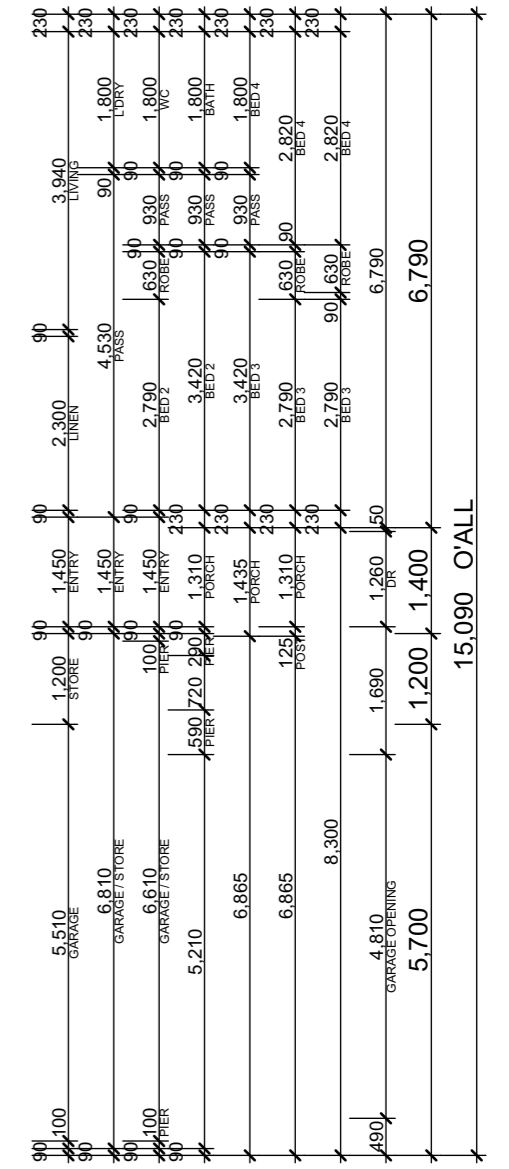
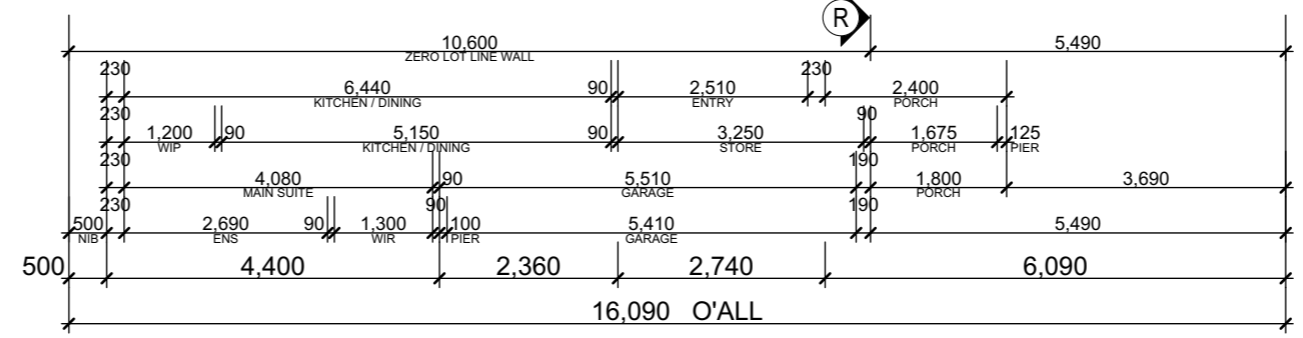
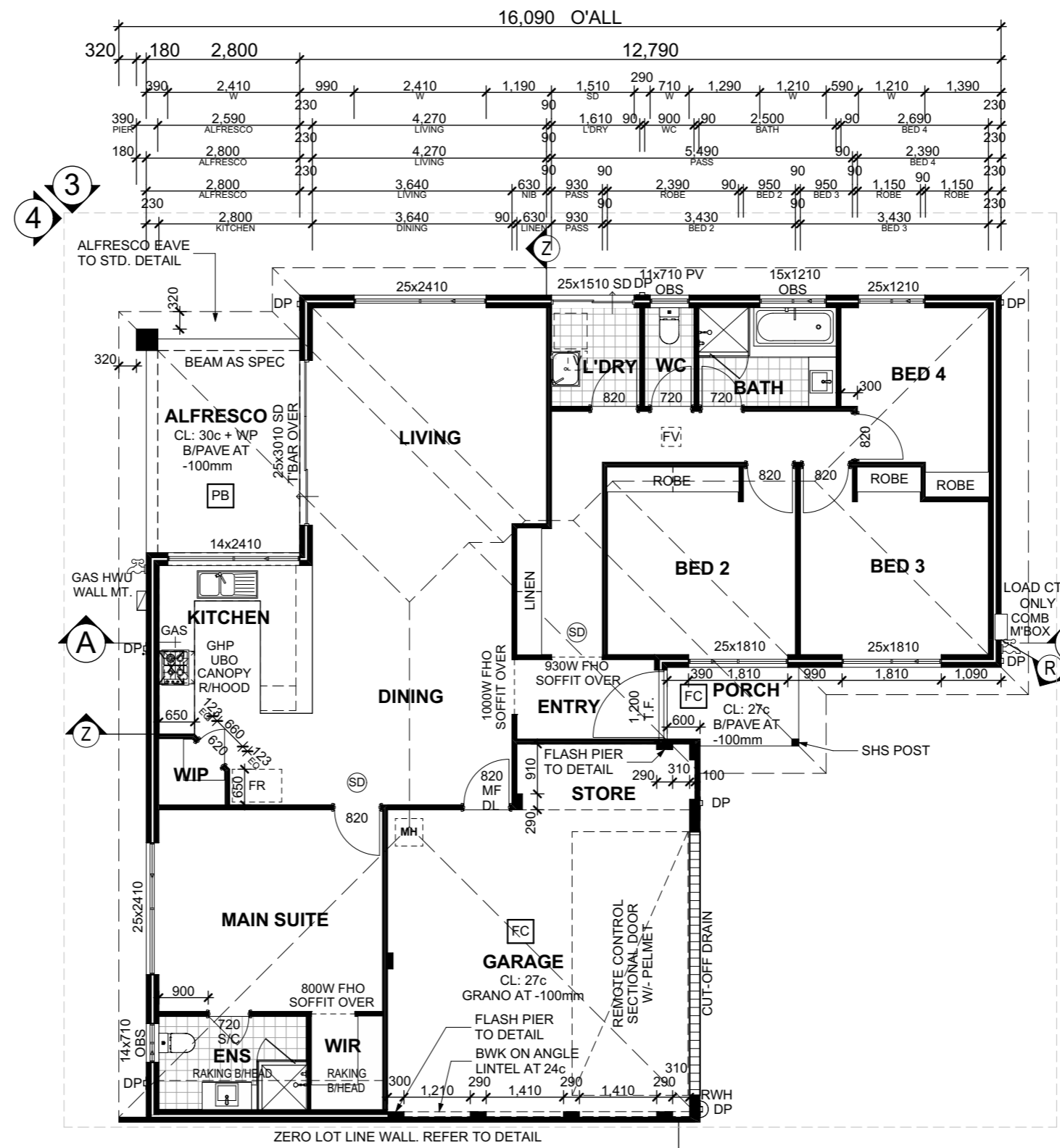
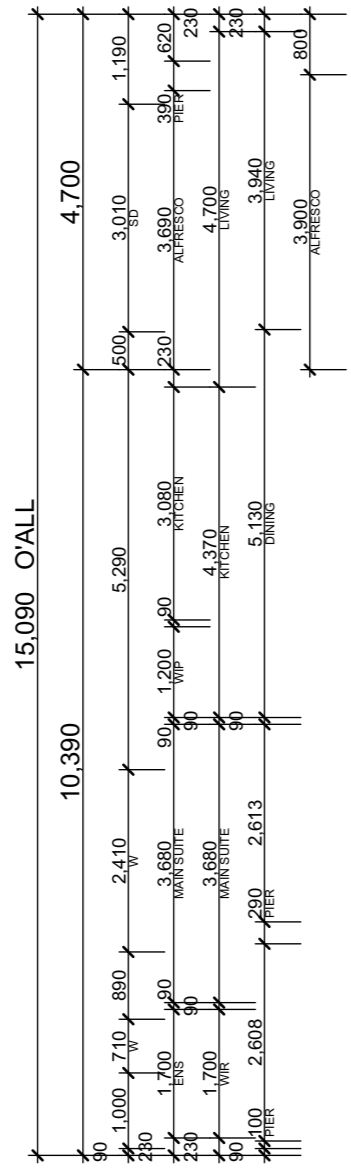
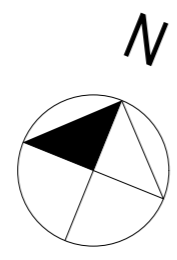
ALL STRUCTURAL BEAMS IN ACCORDANCE WITH THE ENGINEERS SIGNED DETAILS AND SPECIFICATIONS

LEGEND:

RL	REDUCED LEVEL
FFL	FINISHED FLOOR LEVEL
AFL	ABOVE FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
GF	GROUND FLOOR
FF	FIRST FLOOR
SF	SECOND FLOOR
FL	FLOOR LEVEL
CL	CEILING LEVEL
PD	PLUMBING DUCT
WP	WALL PLATE
AF	ALUMINIUM FRAME
MF	METAL FRAME
TF	TIMBER FRAME
CSD	CAVITY SLIDING DOOR
PL	PRIVACY LOCK
OBS	OBSCURE GLASS
DG	DOUBLE GLAZING
DR	DOUBLE REBATE
GB	GLAZING BARS
PB	PLASTERBOARD
FC	FIBRE CEMENT
SC	SKIM COAT (PLASTER)
PF	PAINT FINISH
PFR	PAINT FINISH RENDER
AT	ACRYLIC TEXTURE
EPS	EXPANDED POLYSTYRENE
DP	DOWNPIPE
SPRDR	SPREADER
RWH	RAIN WATER HEAD
NTB	NOT TO BOND
FW	FLOOR WASTE

ENERGY EFFICIENCY REQUIREMENTS

CAVITY WALL INSULATION:	NIL
(Extent between markers X-X)	
LIVING CEILING INSULATION:	R4.1
GARAGE CEILING INSULATION:	R4.1
ROOF INSULATION:	NIL
DESIGN CHANGES:	NIL
WINDOW GLAZING:	SINGLE CLEAR
ENERGY RATING COMPLETE:	NO



NOTE:
CEILING 30c + WALL PLATE UNLESS NOTED OTHERWISE.
METAL DECK ROOF AT 25°, EAVE 500MM
02c DOUBLE HEIGHT FACE BRICK FINISH TO EXTERNAL BWK UNLESS NOTED OTHERWISE.

ID	FLOOR PLAN	M ²	PERIM.
01	PROPOSED RESIDENCE	139.19	61.36
02	GARAGE	32.49	22.80
03	STORE	4.06	9.26
04	PORCH	3.37	7.67
05	ALFRESCO	10.92	13.40
		190.03 m²	114.49 m
ID	ROOF	M ²	PERIM.
GF	ROOF AREA GF	212.02	64.18

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Drwg: **FLOOR PLAN**

Client: **McINTOSH**

Site: **PROPOSED SSL 2/ LOT 93 (#32) NYARA CRESCENT, CRAIGIE**

Map Ref: StreetSmart® - 250 D5

CONTRACTS		CUSTOM	
OWNER..... DATE.....	Rev: 01	Date: xxxxxx	Amendment: VO/Amend
OWNER..... DATE.....	02		
BUILDER..... DATE.....	03		
	04		
	05		
	06		
	07		

Local Authority: **JOONDALUP**

Job No: **F1578**

Date Dm: **21/01/21**

Drn By: IC

Check: MT

Sales: CH

Scale: 1:100

Sheet #02 Rev: 00

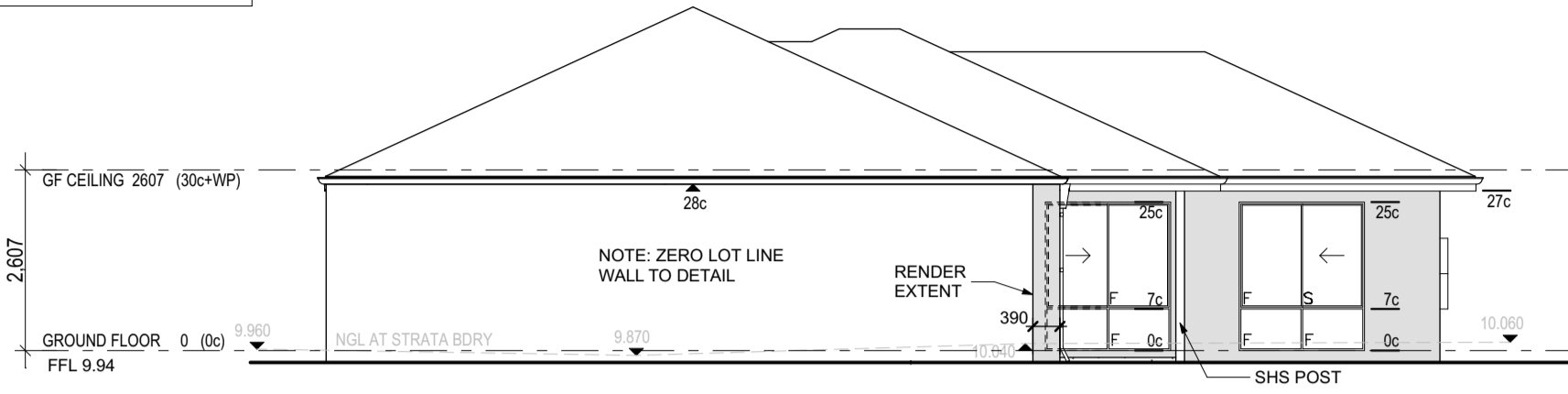
CONTRACT DRAWINGS

NOTE:
LIGHT GREY SHADING TO RENDER INDICATES PRIMARY COLOUR

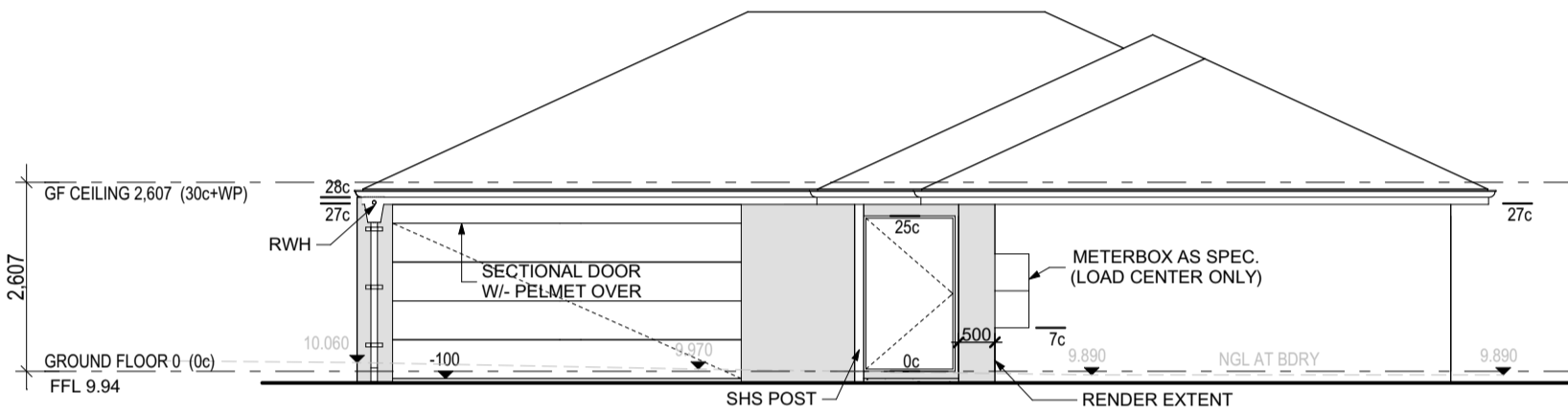
NOTE:
01c SOLID LONGREACH BRICK SILLS TO OPENINGS WHERE APPLICABLE.

NOTE:
CEILING 30c + WALL PLATE UNLESS NOTED OTHERWISE.
METAL DECK ROOF AT 25°, EAVE 500MM
02c DOUBLE HEIGHT FACE BRICK FINISH TO EXTERNAL BWK UNLESS NOTED OTHERWISE.

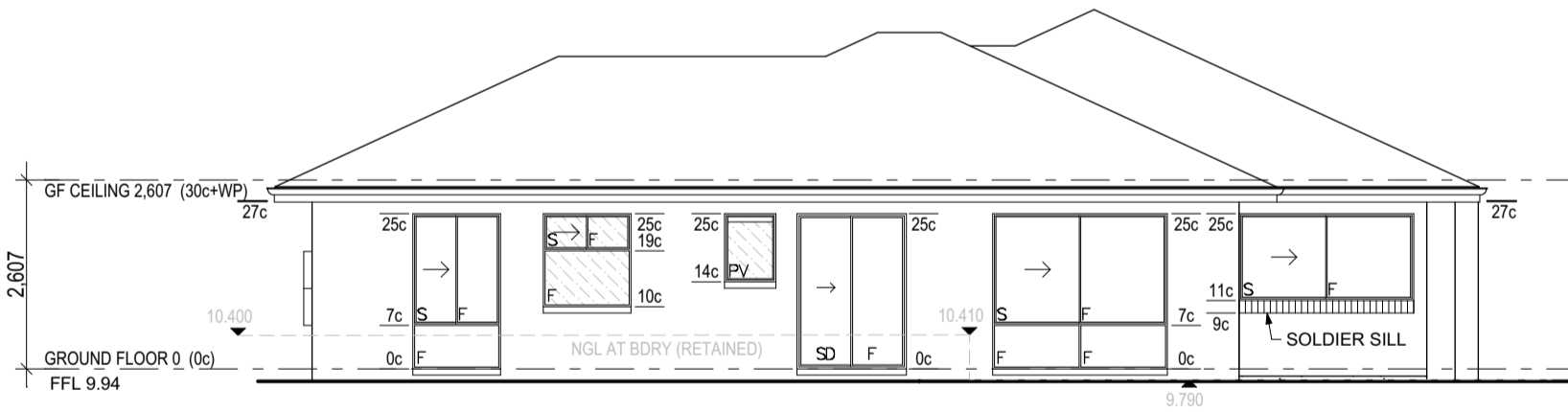
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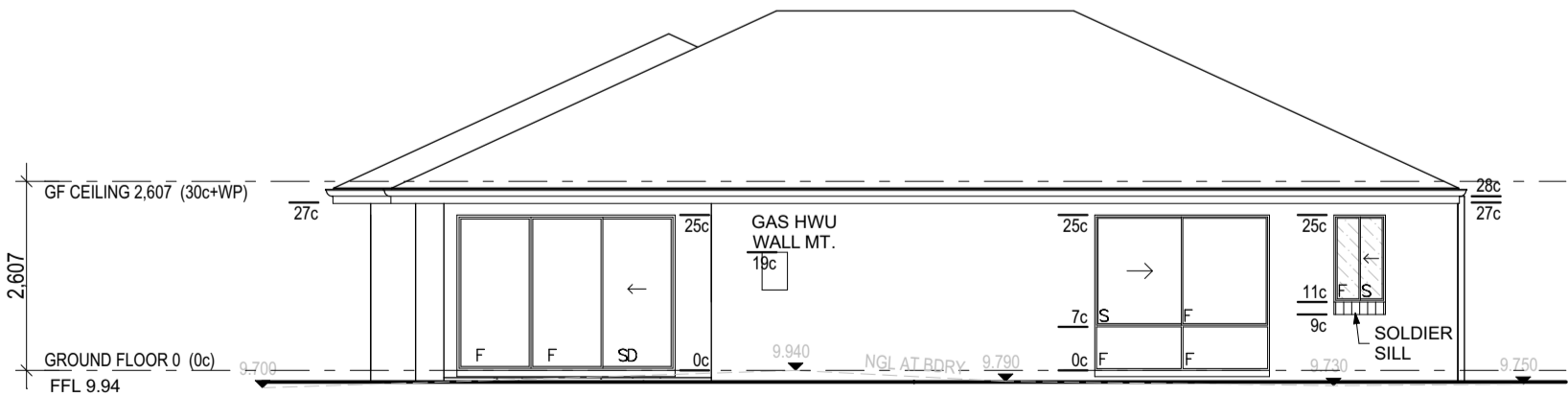
ELEVATION 1
1:100



ELEVATION 2
1:100



ELEVATION 3
1:100



ELEVATION 4
1:100

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