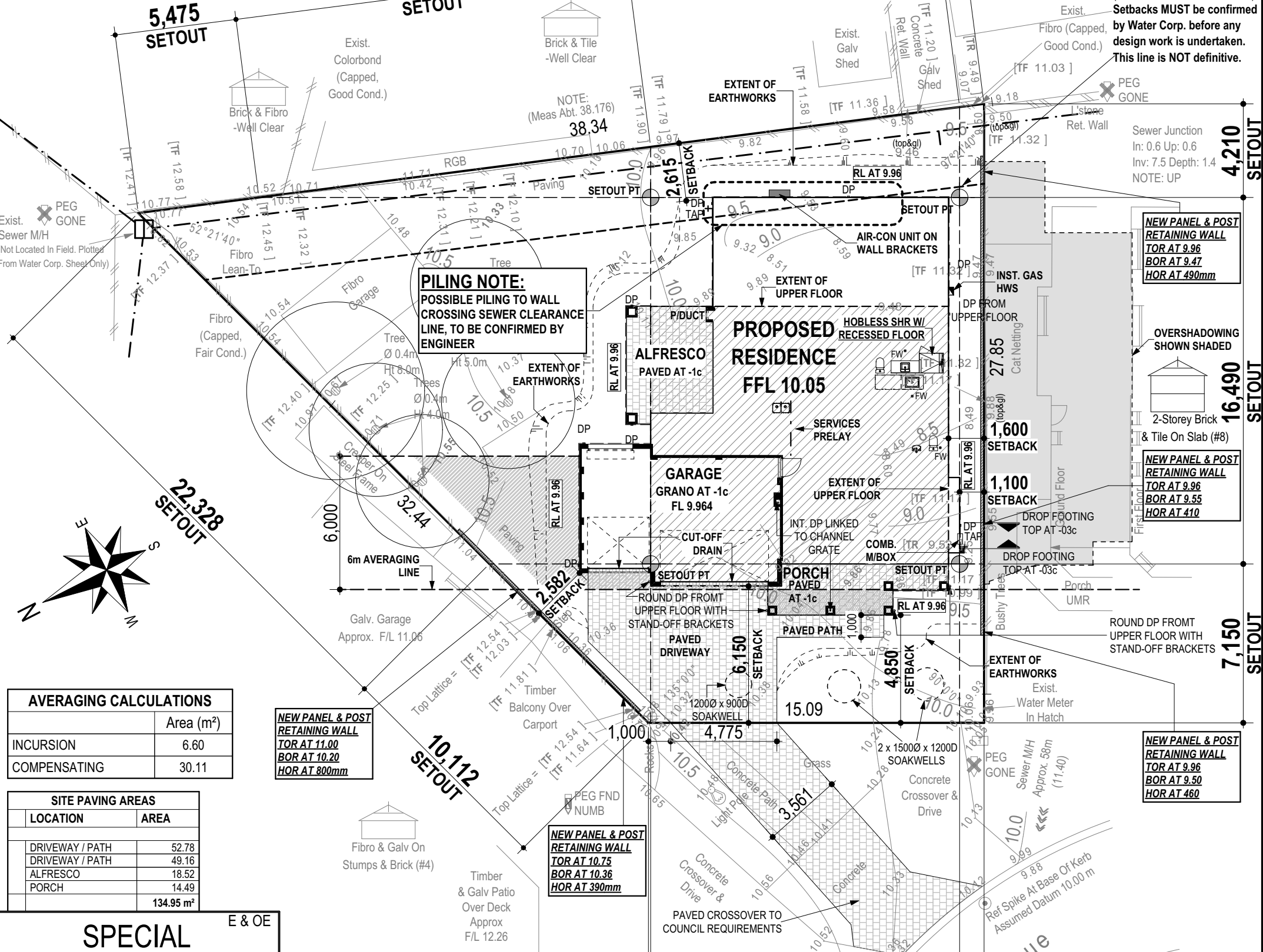


⊕	SEC Dome
⊖	Power Pole
⊕	Phone Pits
⊖	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

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AVERAGING CALCULATIONS	
Area (m ²)	
INCURSION	6.60
COMPENSATING	30.11

SITE PAVING AREAS	
LOCATION	AREA
DRIVEWAY / PATH	52.78
DRIVEWAY / PATH	49.16
ALFRESCO	18.52
PORCH	14.49
TOTAL	134.95 m²

SPECIAL				
TYPE: 2c BWK	MODEL N°			
LUXE SPECIFICATION	91210			
© COPYRIGHT				
REV	VO #	DRN	DATE	CHK
1	SITING	VN-PR	27/05/20	
		VN-KG	05/06/20	

Sub-contractors to verify all dimensions on site.	
WORKING DRAWINGS	
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.	
DATED:/...../.....	
OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS
SHEET N°	03 OF 11
JOB N°	40184
REVISION	DATE
1	05/06/20

SOIL STABILIZATION NOTE:
 - POSSIBLE MICROGROUT REQUIRED ALONG NORTHERN BOUNDARY ADJACENT TO NEW RETAINING WALL. TO BE ADVISED BY ENGINEER.

REFLUX VALVE
 - PROVIDE REFLUX VALVE TO SEWER LINE

GRANOWORKER NOTE:
 - DROP FOOTINGS TO PORCH & ALFRESCO POSTS TOP AT -3c, UNLESS NOTED OTHERWISE.

OVERSHADOWING CALCS.
 - OVER SHADOWING ONTO NEIGHBOURING PROPERTY S/L 11425 WITH SITE AREA = 631 m²
 107.42m² OVER SHADOWING = 17.02 %

STORMWATER REQUIREMENTS
 - TOTAL IMPERVIOUS AREAS = 329.05m²
 x RAINFALL (0.015)
 - TOTAL TO CONTAIN = 4.93m³
 - 1200Ø x 900D SOAKWELL = 1.02m³ (x1)
 - 1500Ø x 1200D SOAKWELL = 2.10m³ (x2)
 - TOTAL SOAKWELL CAPACITY = 5.22m³

NOTE:
 - EARTHWORKS TO BE CARRIED OUT BY BUILDER.
 - ALL STORMWATER DISPOSAL TO SOAKWELLS TO LOCAL SHIRE'S REQUIREMENTS BY BUILDER
 - LOCATION OF DOWNPIPES IS INDICATIVE ONLY & MAY BE CHANGED AT BUILDERS DISCRETION.
 - DO NOT SCALE FROM DRAWINGS.
 - PLANS TO BE READ IN CONJUNCTION WITH ADDENDA AND WORK ORDER. NOTIFY BUILDER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

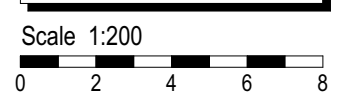
DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

COASTAL CONDITIONS APPLY
 - REFER TO ADDENDA

ZONED R20
OPEN SPACE CALCS.
 (MIN OPEN SPACE REQ'D = 50%)
 HOUSE AREA = 220m²
 LOT 2 AREA = 703.68m²
 SITE COVER = 31.26%
OPEN SPACE PROVIDED = 68.74%

LOT MISCLOSE
 0.005 m

SOIL DESCRIPTION
 Sand
 Refer to Survey



SITE PLAN
 1:200

FIXING CARPENTER NOTE:

- PROVIDE SHELF & RAIL @ 1650 AFL TO ALL ROBES NOTED S & R.
- PROVIDE 4 SHELVES TO LINEN & PTY WHERE NOTED 4 x SH.
- PROVIDE SHELF SUPPORT WHEN SPAN EXCEEDS 1800mm U.N.O.

SUPERVISOR / TRADES NOTE:

- REFER TO ENGINEERS DRAWINGS FOR SIZES & LOCATIONS OF ALL STRUCTURAL COLUMNS, P.W.P.'S AND BEAMS.
- REFER TO SUSPENDED FLOOR LAYOUT FOR LOCATION OF ALL BEAMS AND STRUCTURAL COLUMNS.

PLUMBER NOTE:

- PROVIDE REFLUX VALVE TO SEWER LINE.

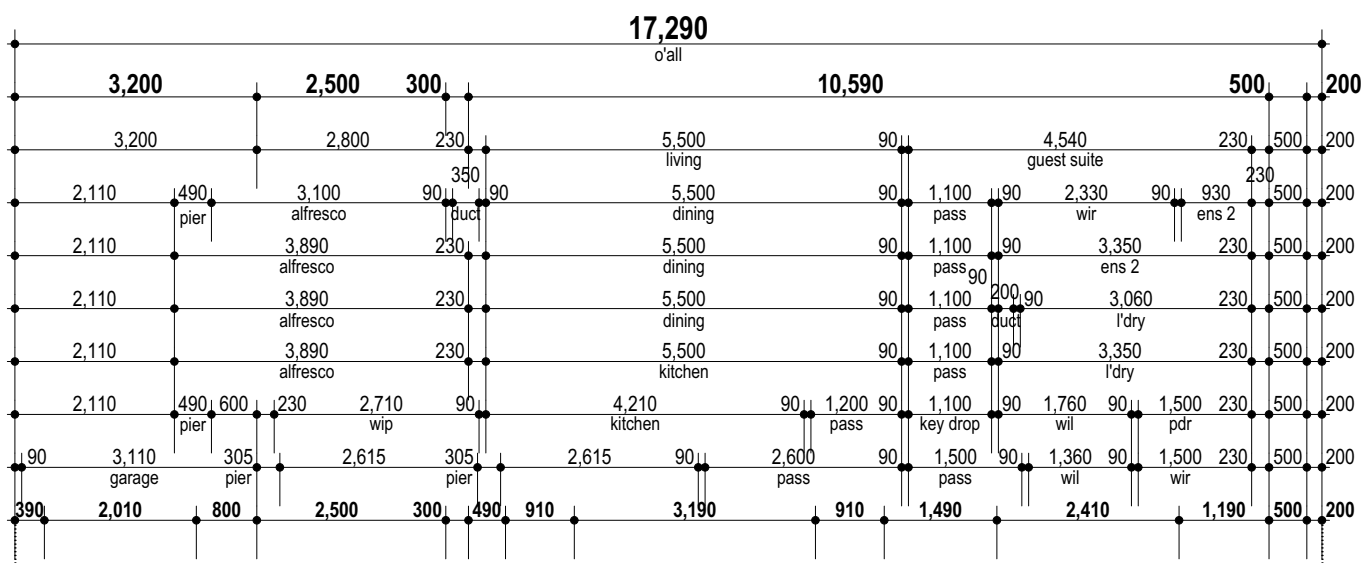
NOTE:

- PROVIDE DUCTED REVERSE CYCLE AIR-CON SYSTEM.

COASTAL CONDITIONS APPLICABLE.
THIS PROJECT FALLS WITHIN 1km OF THE COASTLINE AND IN ACCORDANCE WITH TABLE 3.4.4.2 & TABLE 3.3.3.2
"PROTECTIVE COATINGS FOR STEELWORK" OF THE BUILDING CODE OF AUSTRALIA, ALL EXTERNAL STEELWORK IS TO BE HOT-DIP GALVANISED AS PER A.S. 4680.

PLAN LEGEND

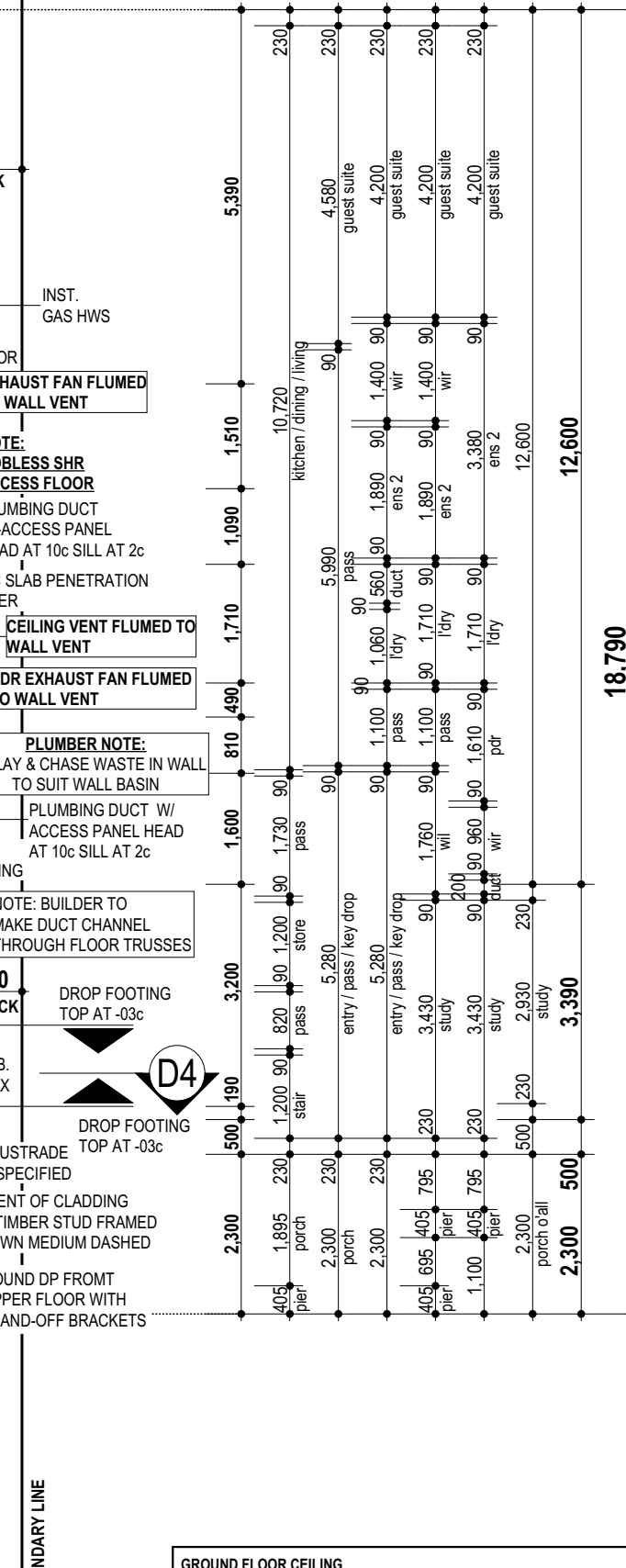
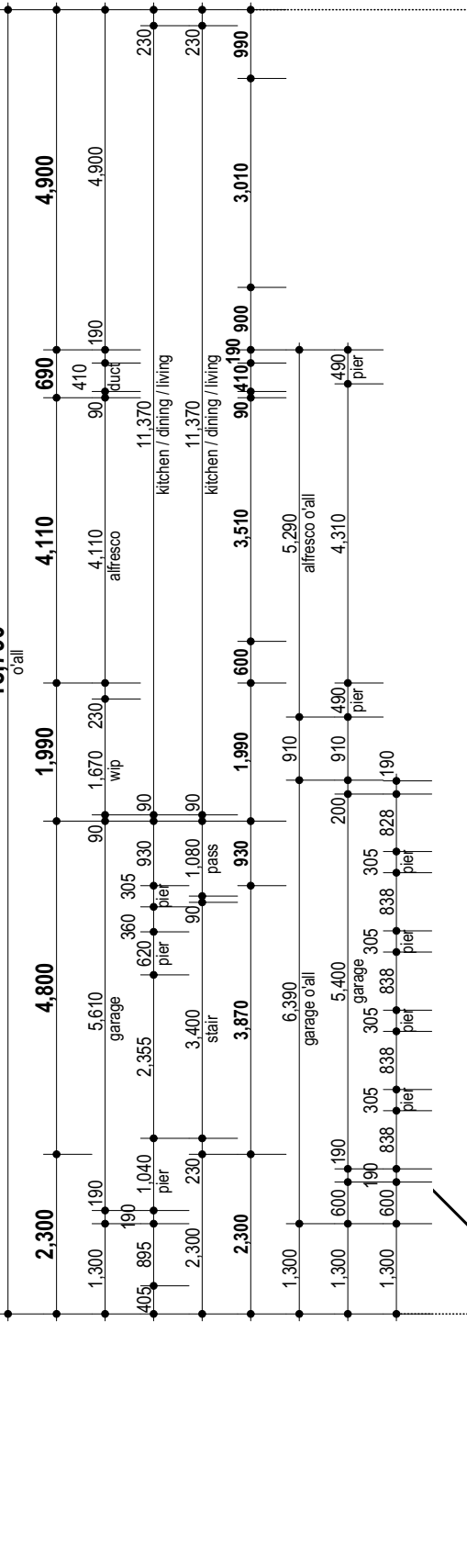
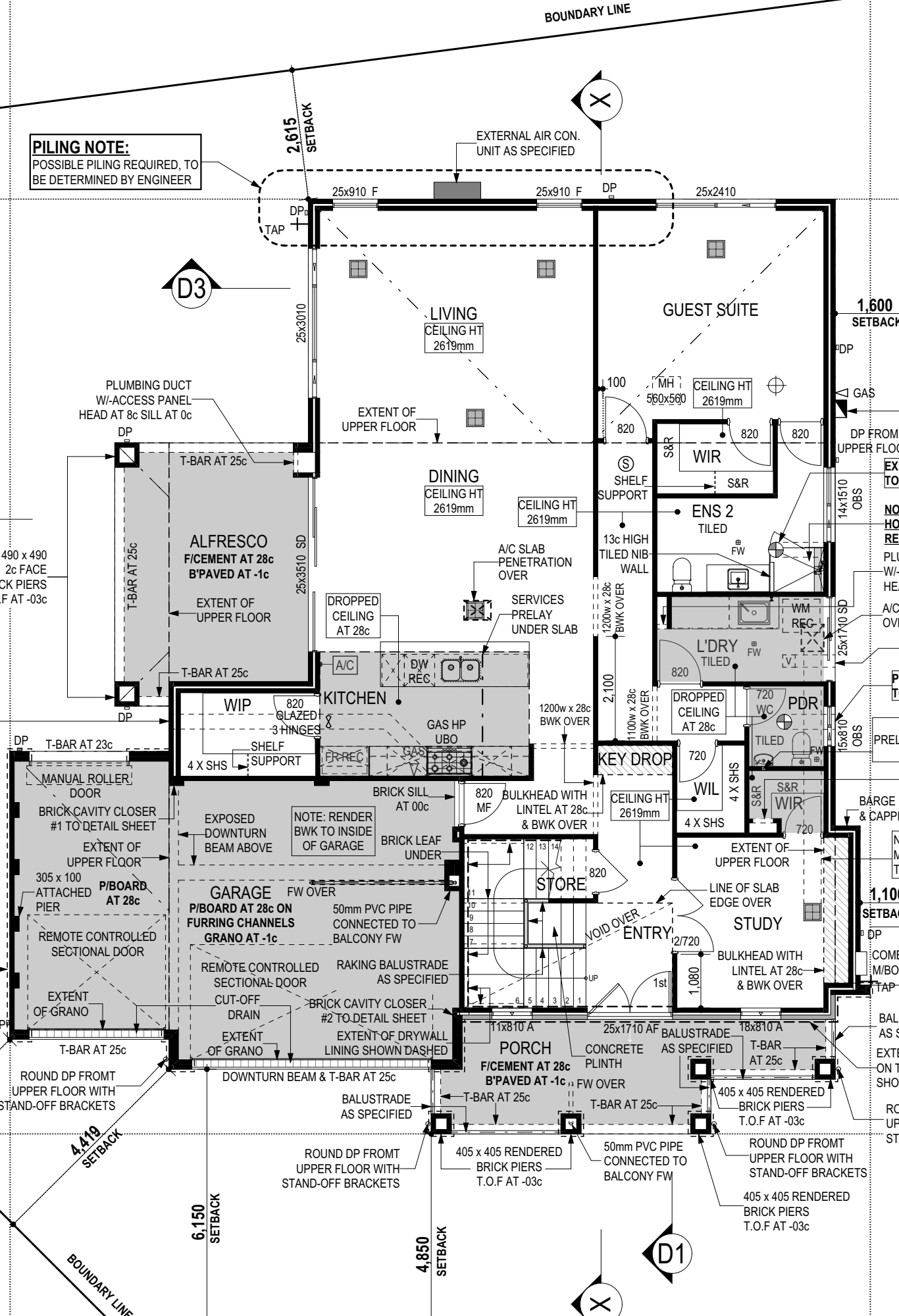
- ⊕ EXHAUST FAN - CEILING MOUNTED (FLUMED TO EXTERNAL AIR)
- ⊙ DIRECT WIRED INTERCONNECTED SMOKE DETECTOR TO A.S. 3786:2014
- ⊖ CEILING VENT - UNFLUMED



GENERAL NOTES:

- GROUND FLOOR
- MULTIPLE ROOF PITCHES - REFER ELEVATIONS
- CEILINGS AT 31c (2619) THROUGHOUT U.N.O
- UPPER FLOOR
- COLORBOND ROOF @ 24° 43'PITCH
- CEILINGS AT 28c + PLATE THROUGHOUT U.N.O

Floor Areas			
Floor	Area	Area	
Ground Floor	HOUSE	167.55	
	GARAGE	52.45	
	ALFRESCO	19.00	
	PORCH	15.31	
	254.31 m²		
Upper Floor	HOUSE	128.40	
	BALCONY	47.59	
	176.39 m²		
	430.70 m²		
Perimeters			
Floor	Area	Perimeter	
Ground Floor	HOUSE	61.76	
Upper Floor	HOUSE	49.96	
Roof Areas			
Floor	Pitch	Flat	Pitched
Ground Roof & Ceiling	16.42°	75.57	78.80
	24.43°	1.60	1.76
		77.17 m²	80.56 m²
Upper Roof & Ceiling	24.43°	205.81	226.03
		205.81 m²	226.03 m²
		282.98 m²	306.59 m²

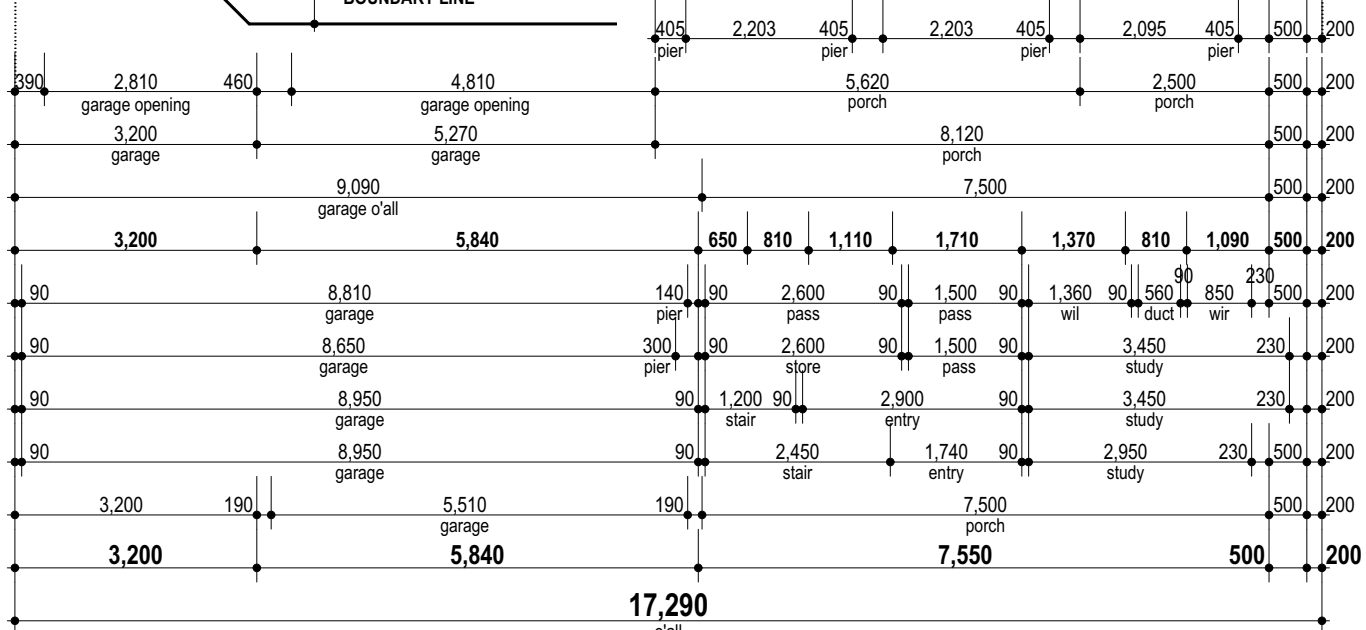


GROUND FLOOR PLAN
1:100

AIR-CON. LEGEND

- A/C CONTROL PAD (W/ 25mm CONDUIT WHEN ON INTERNAL WALL)
- RETURN AIR GRILLE
- CEILING VENT
- A/C OUTDOOR UNIT
- A/C INDOOR UNIT

NOTE: REFER TO AIR-CON INSTALLERS LAYOUT FOR ACTUAL CEILING & WALL OUTLET LOCATIONS.



GROUND FLOOR CEILING

- PROVIDE FURRING CHANNELS TO ALL GROUND FLOOR CEILINGS CONTAINED PARTIALLY OR WHOLLY BELOW THE UPPER FLOOR SYSTEM.

NOTE:

- DO NOT SCALE FROM DRAWINGS.
- VERTICAL BRICK COURSE HEIGHTS ARE RELATED TO STANDARD BRICK SIZES.
- ALL INTERNAL DIMENSIONS ARE TO BRICK SIZES, NOT FINISHED SIZES.
- THE CONSTRUCTION DETAILS REFERRED TO IN THESE DOCUMENTS DO NOT FORM PART OF THE CONTRACT DOCUMENTS & MAY BE CHANGED AT ANY TIME WITHOUT NOTICE, AT THE BUILDERS DISCRETION.
- PROVIDE INSULATION TO HOUSE CEILINGS AS PER APPENDIX.
- LOCATION OF DOWN PIPES IS INDICATIVE ONLY & MAY BE CHANGED AT BUILDERS DISCRETION AND MUST COMPLY WITH PART 3.5.2 VOLUME 2 OF THE NCC.
- TOP OF FOOTINGS FOR PIERPOSTS & PORCH ARE TO BE 2c BELOW FINISHED PAVING LEVEL UNLESS NOTED OTHERWISE.
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S DRAWINGS.
- TIMBER FRAMING TO A.S. 1684.
- 'WC' DENOTES LIFT-OFF HINGES.
- PROVIDE CORNER BEADS INTERNALLY TO ALL EXTERNAL CORNERS EXCLUDING DOOR & WINDOW REVEALS.

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REV	VO #	DRN	DATE	CHK
1	SITING	VN-KG	05/06/20	

WORKING DRAWINGS
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.
DATED:
OWNER: WITNESS:
OWNER: WITNESS:
BUILDER: WITNESS:

CLIENT:
ADDRESS:
**LOT 11425 (#6)
THIRD AVENUE
BURNS BEACH**

SPECIAL E & OE REVISION 1
MODEL N° 91210 LUXE SPECIFICATION DATE 05/06/20
© COPYRIGHT
SHEET N° 04 OF 11 + 8 ANC.
JOB N° 40184



FIXING CARPENTER NOTE:

- PROVIDE SHELF & RAIL @ 1650 AFL TO ALL ROBES NOTED S & R.
- PROVIDE 4 SHELVES TO LINEN & PTY WHERE NOTED 4 x SH.
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COASTAL CONDITIONS APPLICABLE.

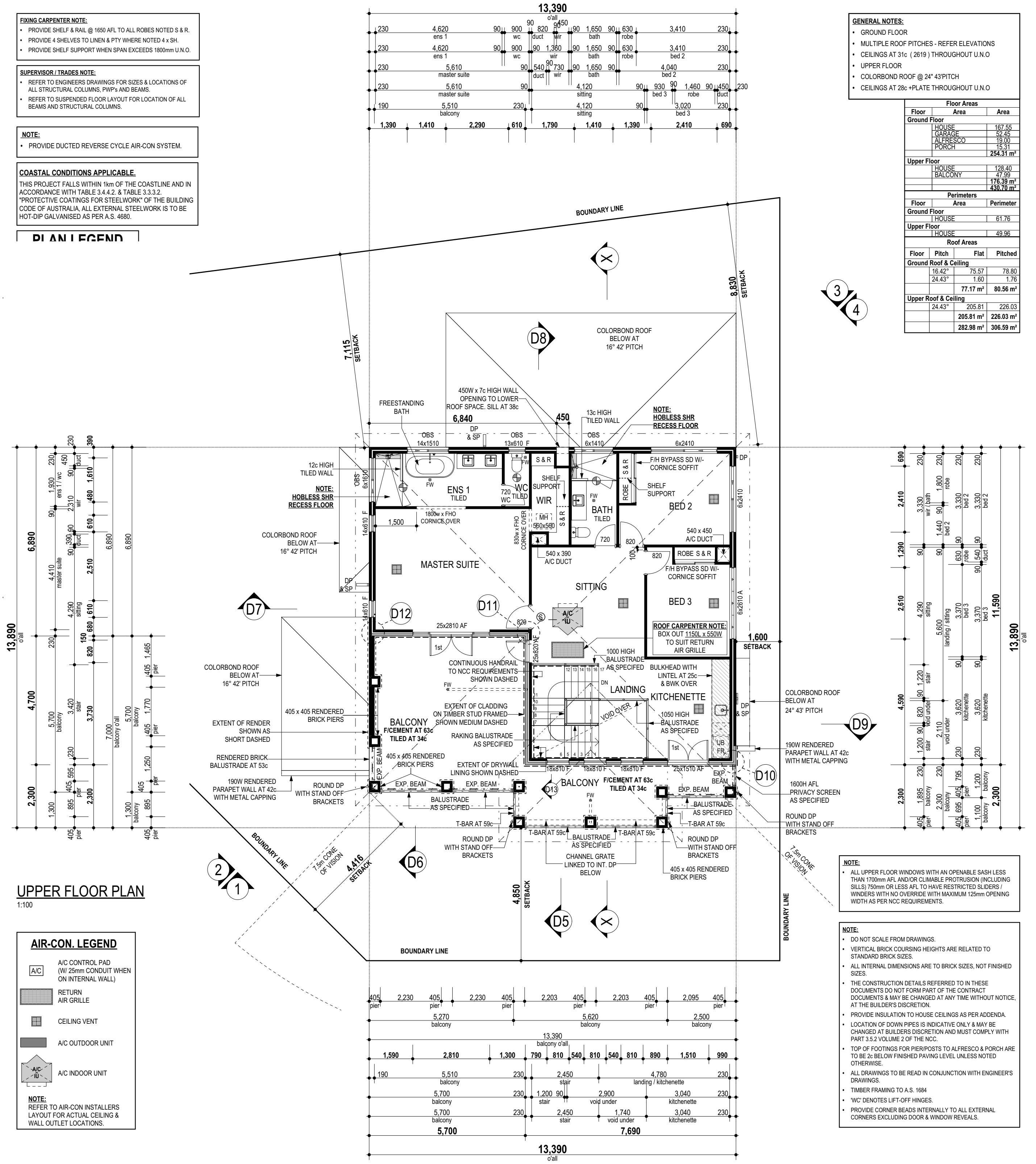
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DIANE END

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- UPPER FLOOR
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		77.17 m ²	80.56 m ²
Upper Roof & Ceiling	24.43°	205.81	226.03
		205.81 m ²	226.03 m ²
		282.98 m ²	306.59 m ²



UPPER FLOOR PLAN
1:100

AIR-CON. LEGEND

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- RETURN AIR GRILLE
- CEILING VENT
- A/C OUTDOOR UNIT
- A/C INDOOR UNIT

NOTE: REFER TO AIR-CON INSTALLERS LAYOUT FOR ACTUAL CEILING & WALL OUTLET LOCATIONS.

NOTE:

- ALL UPPER FLOOR WINDOWS WITH AN OPENABLE SASH LESS THAN 1700mm AFL AND/OR CLIMABLE PROTRUSION (INCLUDING SILLS) 750mm OR LESS AFL TO HAVE RESTRICTED SLIDERS / WINDERS WITH NO OVERRIDE WITH MAXIMUM 125mm OPENING WIDTH AS PER NCC REQUIREMENTS.

NOTE:

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REV	VO #	DRN	DATE	CHK
1	SITING	VN-PR	27/05/20	
		VN-KG	05/06/20	

Sub-contractors to verify all dimensions on site.

WORKING DRAWINGS

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED:

OWNER: WITNESS:

OWNER: WITNESS:

BUILDER: WITNESS:

CLIENT:

ADDRESS:

LOT 11425 (#6)
THIRD AVENUE
BURNS BEACH

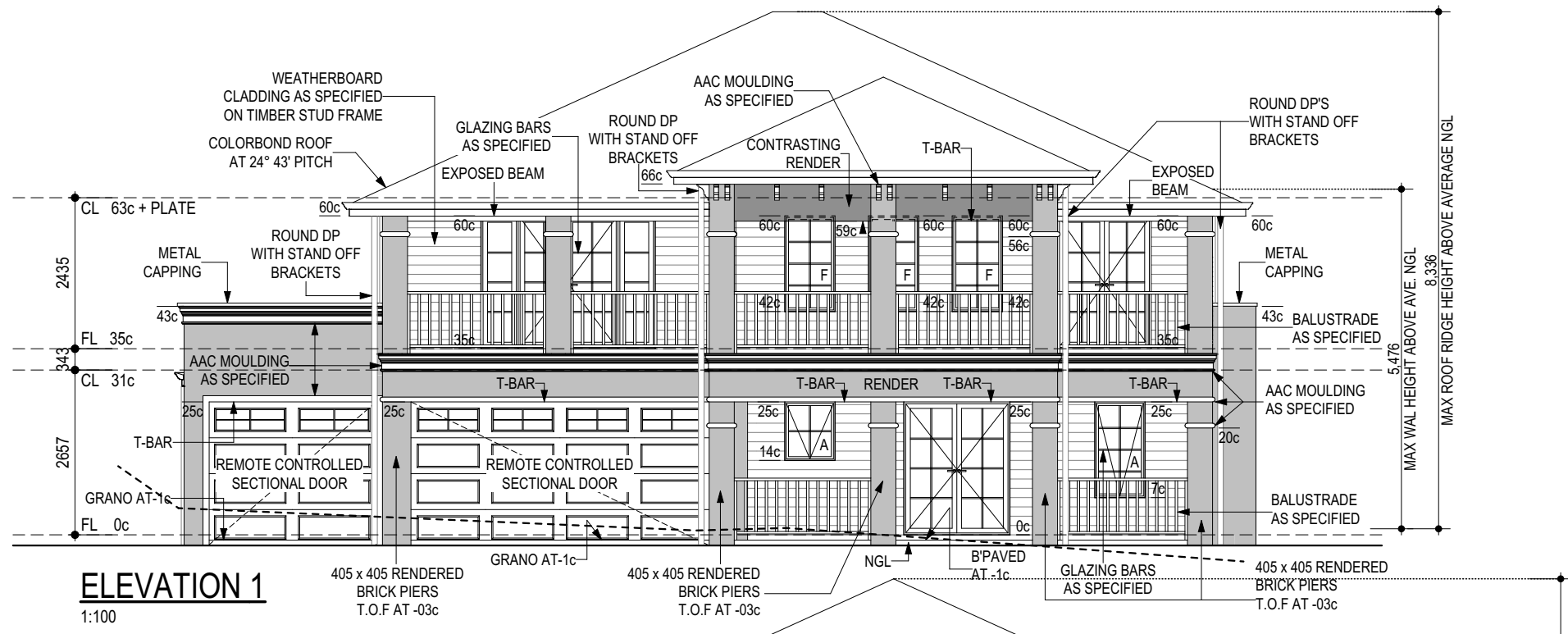
SPECIAL E & OE REVISION 1

MODEL N° 91210 LUXE SPECIFICATION DATE 05/06/20

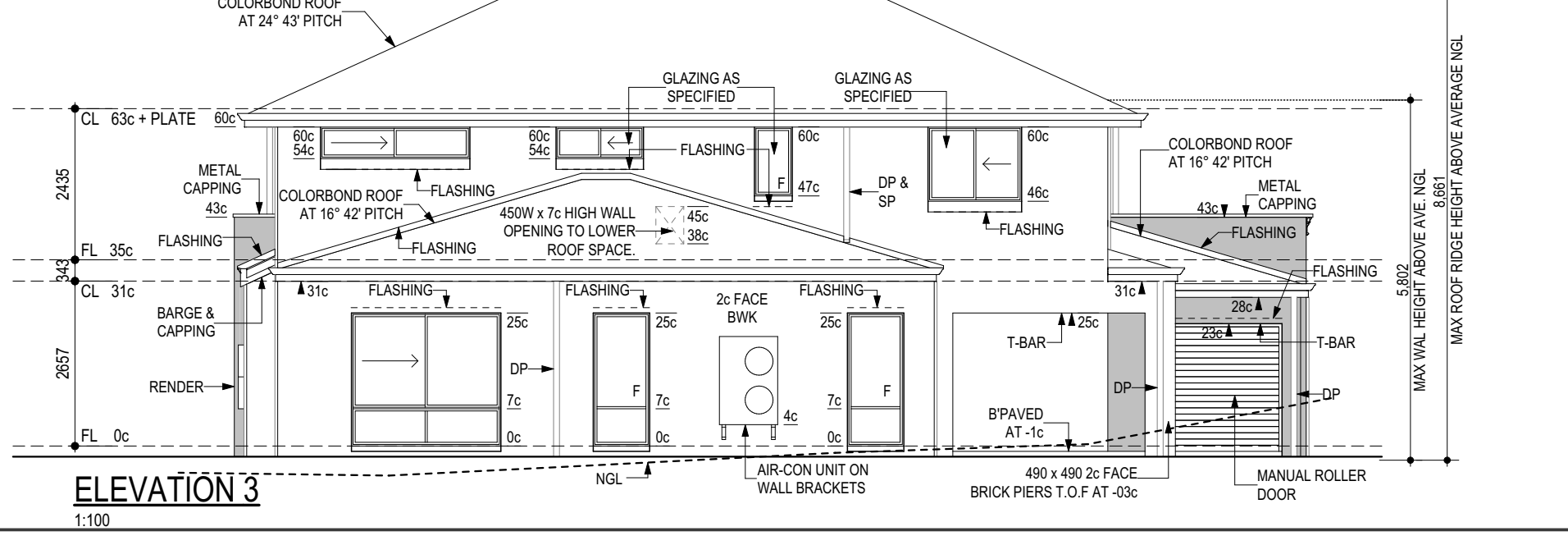
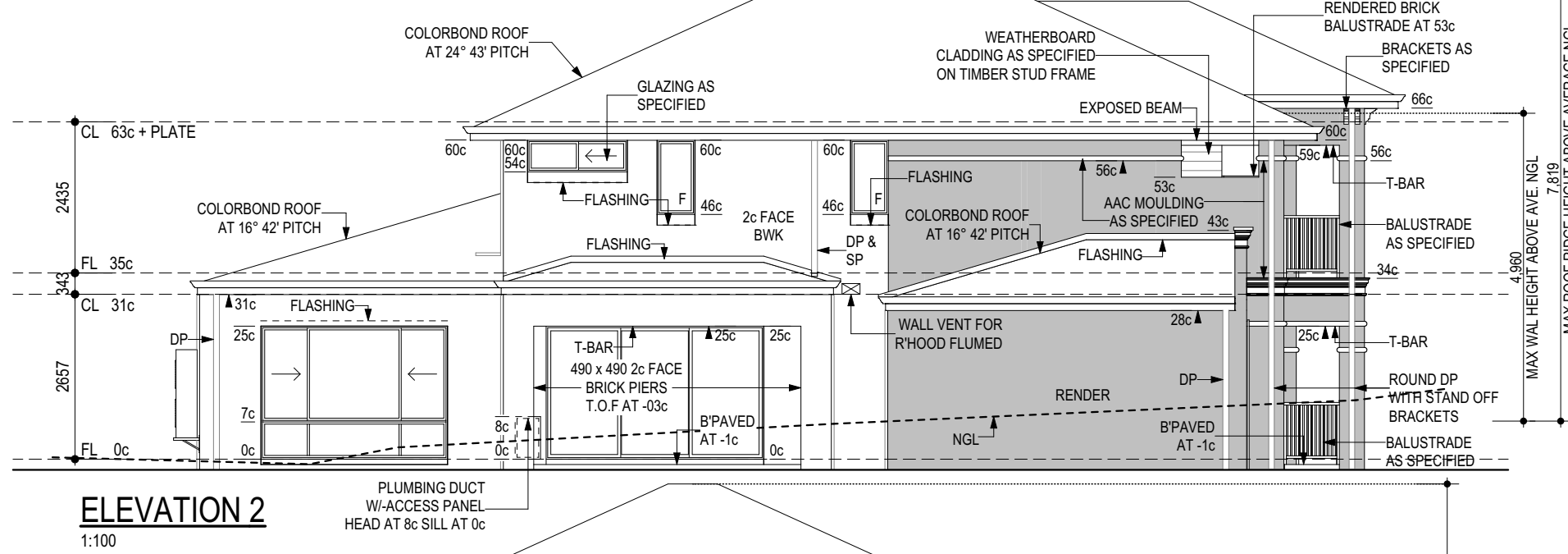
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SHEET N° 05 OF 11 + 8 ANC

JOB N° 40184



WINDOWS NOTE:
 • ALL UPPER FLOOR WINDOWS WITH AN OPENABLE SASH LESS THAN 1700mm AFL AND/OR CLIMABLE PROTRUSION (INCLUDING SILLS) 750mm OR LESS AFL TO HAVE RESTRICTED SLIDERS / WINDERS WITH NO OVERRIDE WITH MAXIMUM 125mm OPENING WIDTH AS PER NCC REQUIREMENTS.



REVISION	1
E & OE	SPECIAL
DATE	05/06/20
TYPE & REV	LUXE SPECIFICATION
MODEL N°	91210
SHEET N°	06 OF 11
JOB N°	40184

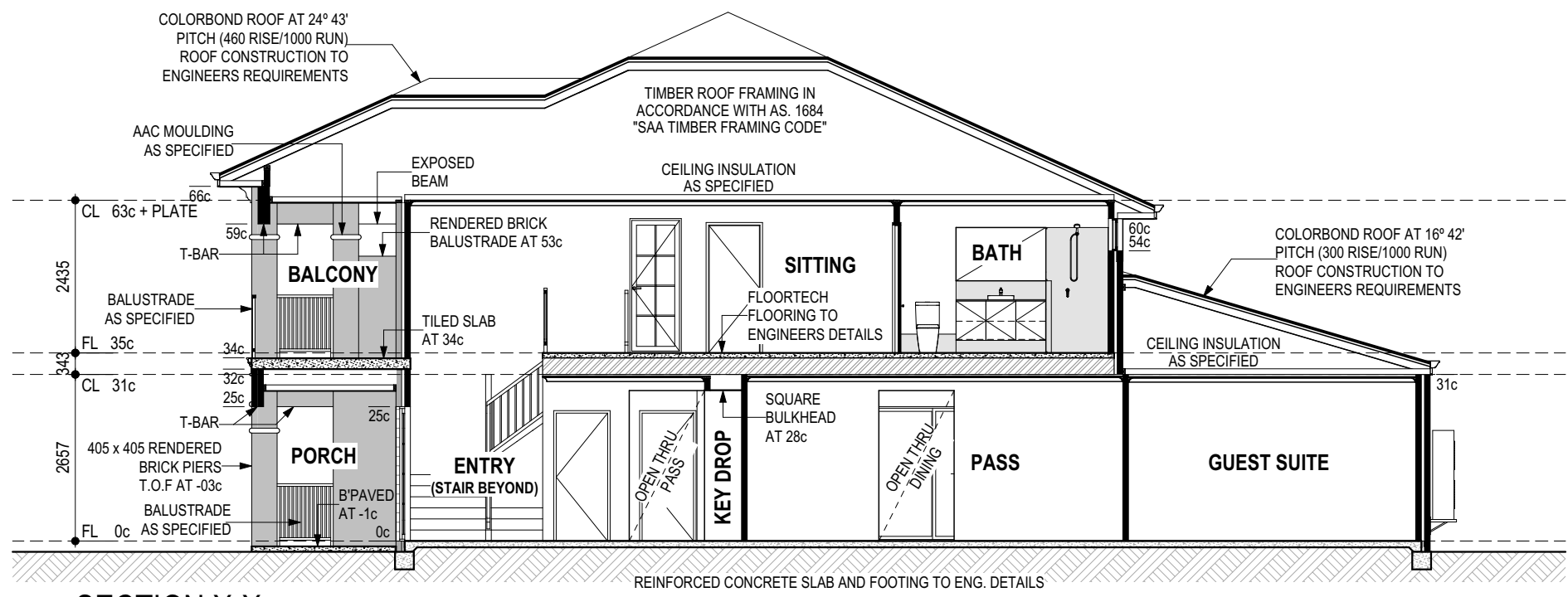
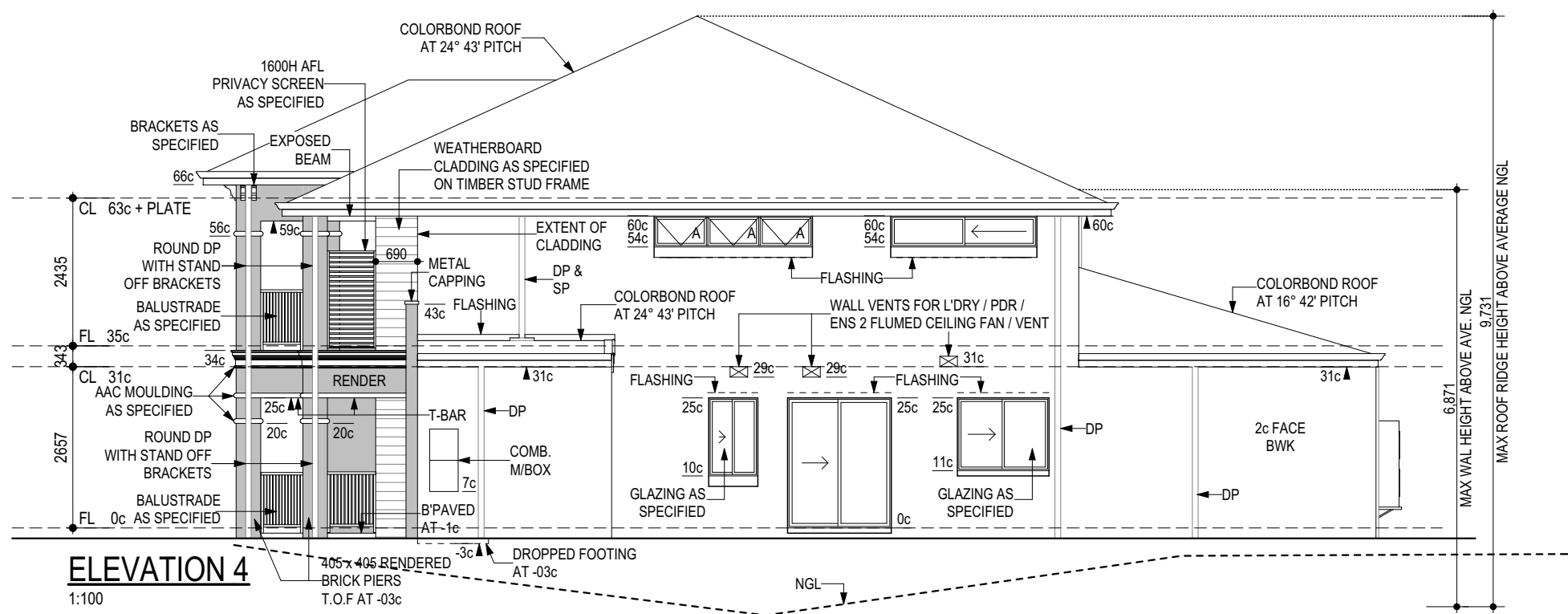
CLIENT: **WORKING DRAWINGS**
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 DATED:/...../.....
 ADDRESS: **LOT 11425 (#6)
 THIRD AVENUE
 BURNS BEACH**

OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS

CHK	DATE	DRN	DATE
VO #	27/05/20	VO #	05/06/20
SITING		WIN-KG	
REV			

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REVISION	1
E & O	SPECIAL
DATE	05/06/20
MODEL N°	91210
TYPE & B/WK	
LUVE SPECIFICATION	
© COPYRIGHT	
SHEET N°	07 OF 11
JOB N°	40184



CLIENT:
 ADDRESS:
 LOT 11425 (#6)
 THIRD AVENUE
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 DATED:/...../.....
 OWNER WITNESS
 OWNER WITNESS
 BUILDER WITNESS

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		VN-KG	05/06/20	

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