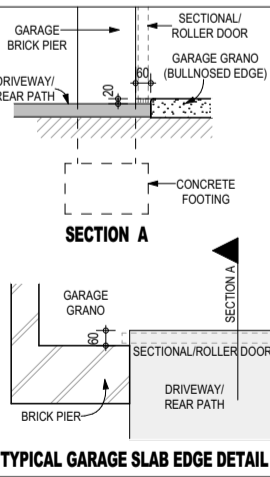


EXISTING RETAINING WALL TO REMAIN (SUBJECT TO ENGINEER INSPECTION)

EXISTING RETAINING WALL TO REMOVED AND REPLACED WITH NEW PANEL AND POST RETAINING WALL. T.O.W = 9.943

NOTE: STORMWATER DISPOSAL TO SHIRE REQUIREMENTS BY BUILDER



Twickenham Drive
Bitumen
PROPOSED SITE PLAN

Soak Well Type	No.	Capacity
SW 1200x1500	2	3.4 m3
SW 1500x1200	2	4.2 m3
Total Capacity		7.6 m3
Roof Area GF		407.0 m2
Paved Area		147.0 m2
Total Area		554.0 m2
Capacity Required (Area x 0.0130)		7.2 m3
Extra Capacity Provided		0.4 m3

Address: **LOT 520 (#91)**
TWICKENHAM DRIVE, KINGSLEY

Client: **MACKIN**

Local Authority: **CITY OF JOONDALUP**

Plan: 12714 C/T Vol: 1525/912

Map Reference: 186,L:10

Date: 16/12/20 SCALE 1:200

These are the plans referred to in our contract

DATE _____

OWNER _____ BUILDER _____

OWNER _____ WITNESS _____

Job No. **8763**

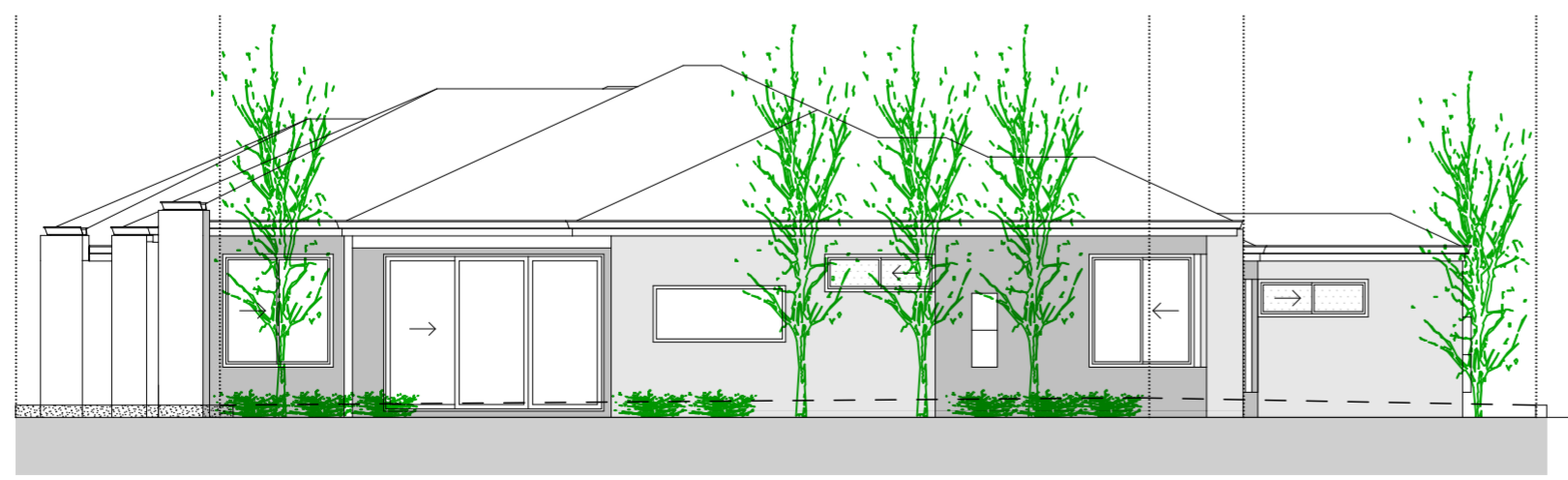
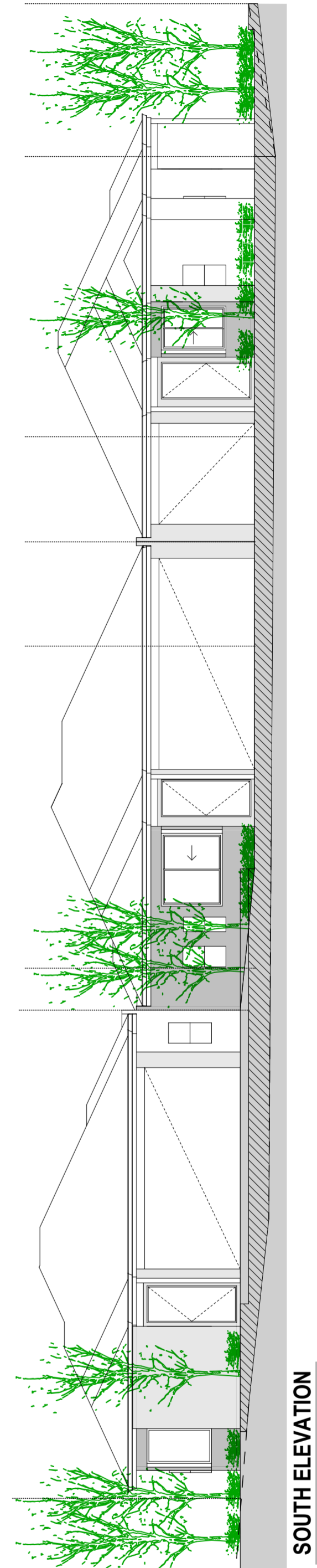
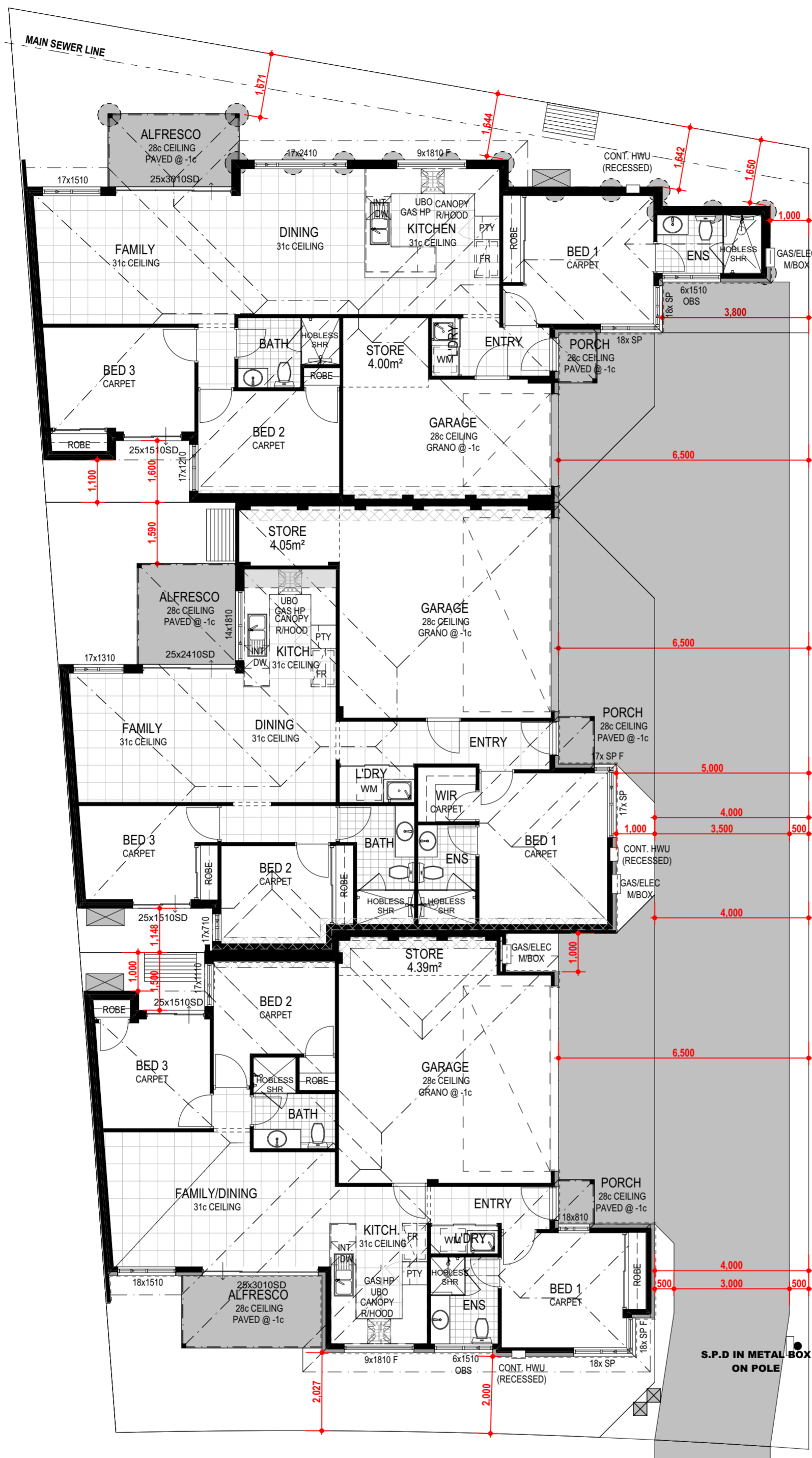
Footpath: Yes
Water: Yes
Telstra: Yes
Gas: Yes
Drainage: Good
Re-Peg: Yes

Road: Bitumen
Kerb: Mountable
Electricity: U/Ground
Soil: Sand
Vegetation: Trees/Bushes/Grass
Sewer: Yes Depth: 2.3

Notes: Owner to Check Certificate of Title for easements covenants etc. This plan is a site contour survey only. Boundary peg positions and location of fences or walls, in relation to the boundary, is not guaranteed. Sewer information shown is from W.A.W.A. plans. Check minimum clearances, as no liability can be accepted. Earthworks/set out dimensions may vary on site at builder's discretion.

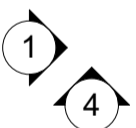
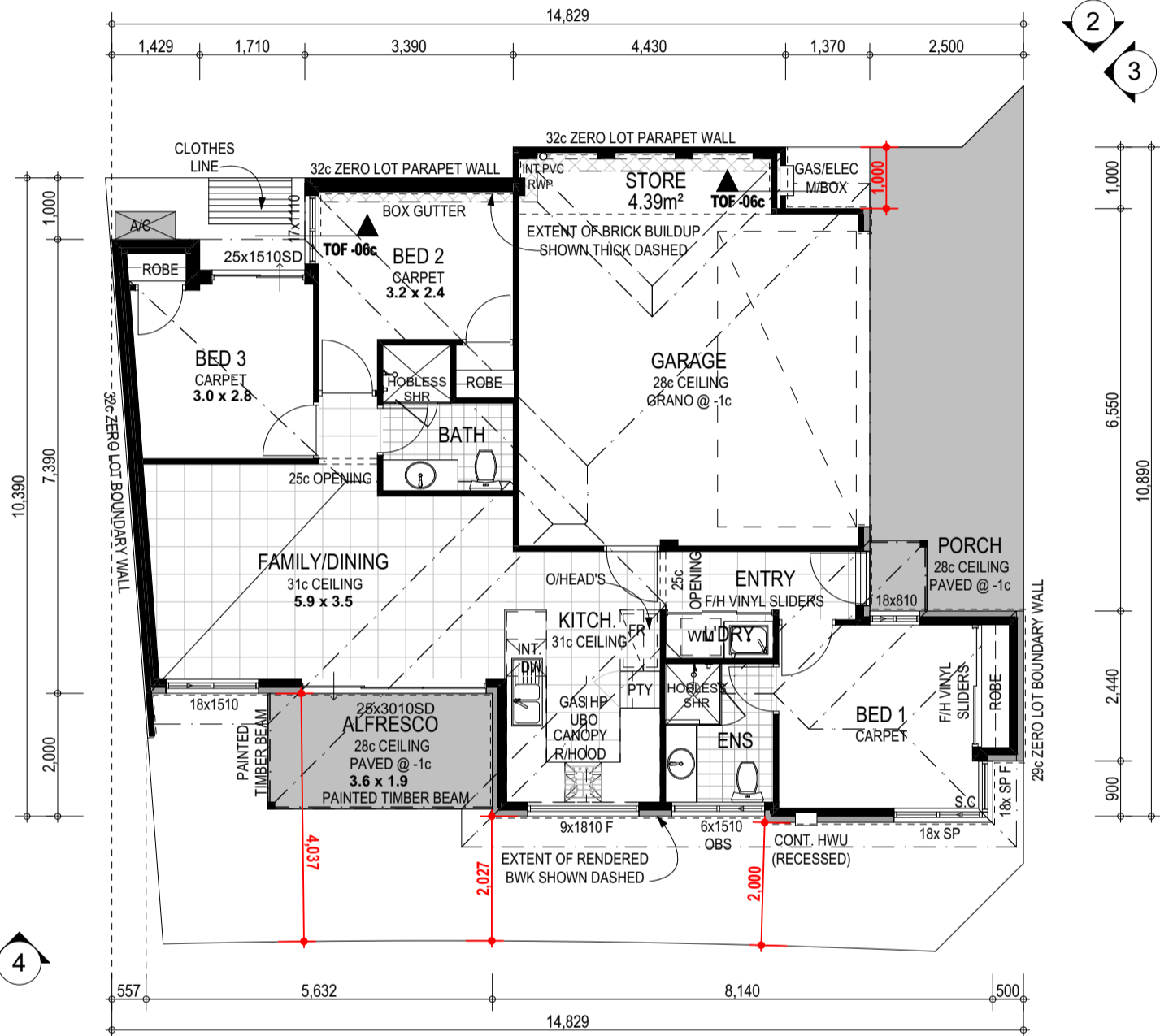
DRN	DATE	CHK'D	DESCRIPTION
R.M	15/12/20	G.P	PREL
R.M	06/01/21	-	PLANNING
BPA:	No	-	-
SHEET:	1a of 1a	-	-

61 FYFE CIRCLE
BULLCREEK, WA 6149
PH 9332 4948
FAX 9332 3014



WEST ELEVATION

SOUTH ELEVATION



Senior Design & Sales Consultant
 Peter Grickage
 Mobile: 0419 904 677
 Email: peterg@rossnorthgroup.com.au

PROJECT INFO:
 LDP: N/A
 Zoning: R40
 Primary Setbacks:
 Minimum 2.0m Maximum N/A
 Average 4.0m
 Estate: N/A
 Guidelines: N/A
 Climate Zone: 13
 BPA Zone: NO
 Coastal: N/A
 Acoustic Req: YES

SITE COVERAGE	
ZONED	R40
% ALLOWED	55%
SITE AREA	184.36m ²
SITE COV. AREA	119.57m ²
SITE COV. = 64.9%	
COMMON AREA (123m ² / 3)	41m ²
SITE AREA + COMMON AREA	225m ²
ADJUSTED SITE COVERAGE = 53.08%	
OUTDOOR LIVING REQUIREMENTS	
OUTDOOR LIVING	REQUIRED 20.0m ² ACHIEVED 22.2m ²
UNCOVERED AREA	REQUIRED 13.3m ² ACHIEVED 13.4m ²

NOTES:
 2c FACE BRICKWORK EXTERNALLY THROUGHOUT UNLESS NOTED OTHERWISE

FLOOR AREAS		
	AREA	PERIMETER
HOUSE	83.77	51.11
GARAGE/STORE	35.73	24.58
ALFRESCO	6.86	11.06
PORCH	1.07	4.16
	127.43 m²	90.91 m
	AREA	PERIMETER
ROOF	132.84	51.46

Ross North GROUP 40 YEARS STRONG
 Ross North Developments
Custom Design
 RNH Investor Specification
 Job N°. **8763 - U1**

PROPOSED NEW HOME:
 For Mr. A. Mackin
 At Lot 520(#91 Twickenham Drive,
 Kingsley

V20.1 These are the plans referred to in our contract

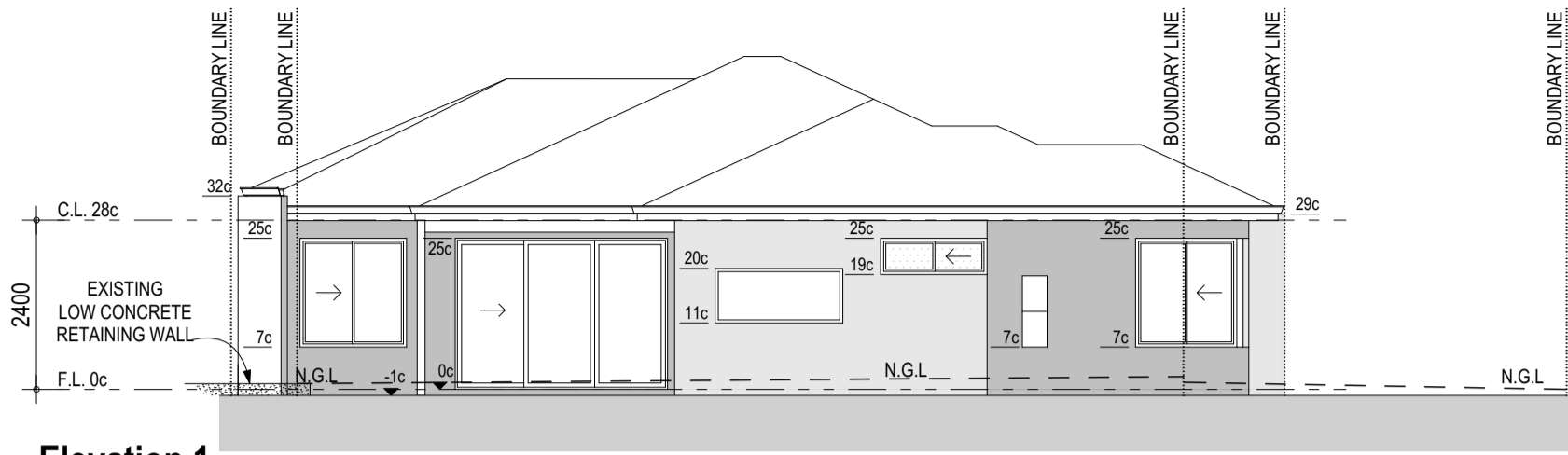
DATE: _____ OWNER: _____ BUILDER: _____

OWNER: _____ WITNESS: _____

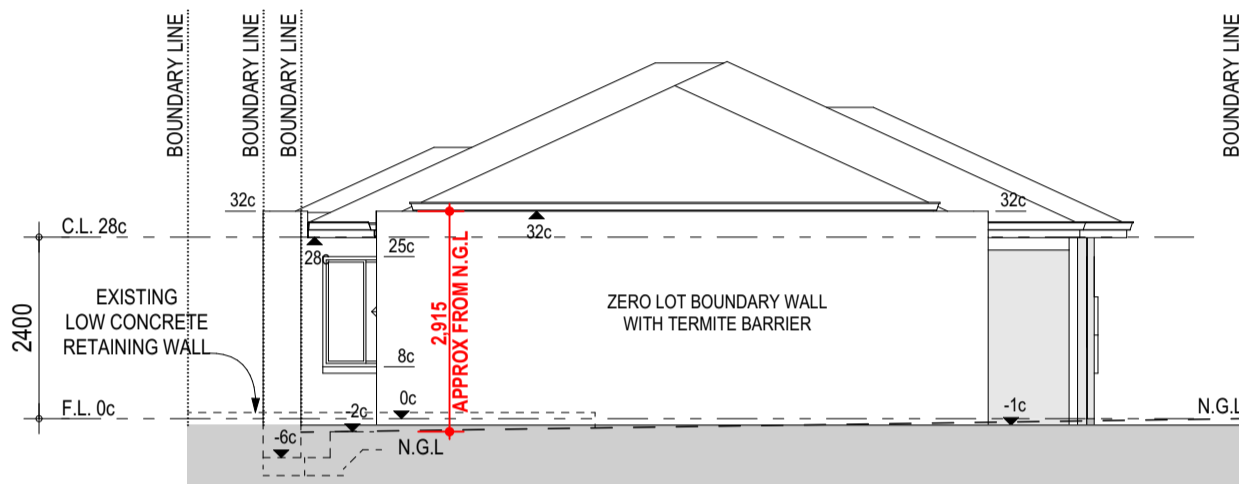
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SHIELDING: T.B.A	R.M.	06/01/21	-	PLANNING
BPA: NO	-	-	-	-
SCALE: 1:100	-	-	-	-
SHEET: 2 of 3	-	-	-	-

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NOTE:
CONVENTIONAL TIMBER
ROOF FRAMING IN
ACCORDANCE WITH AS 1684

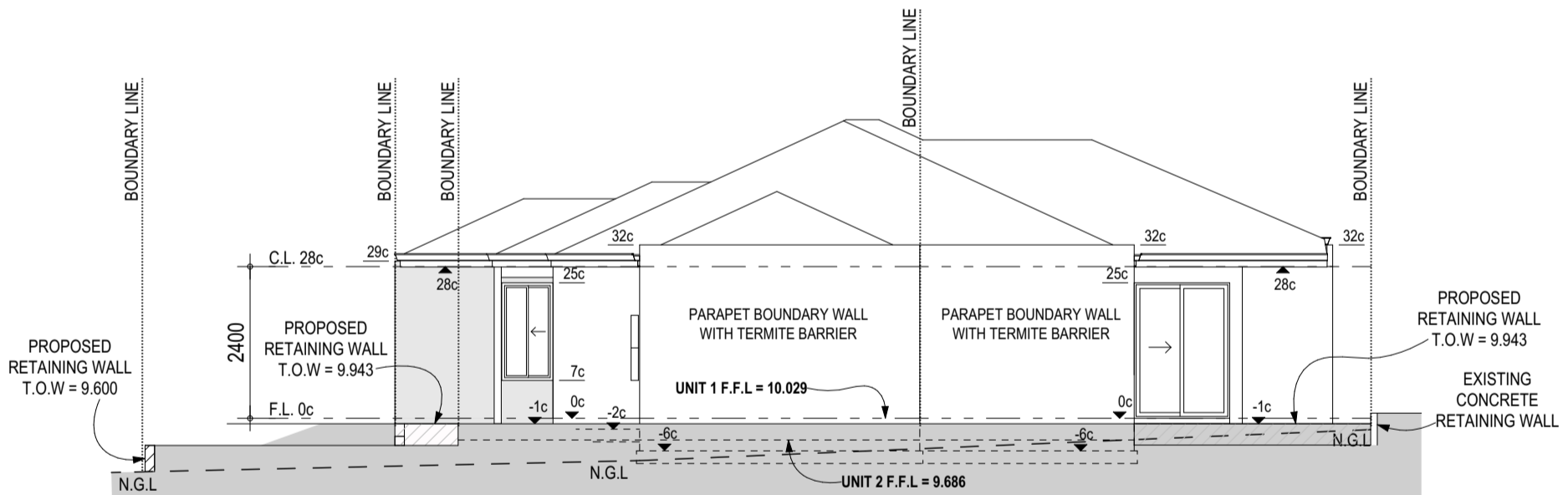


Elevation 1

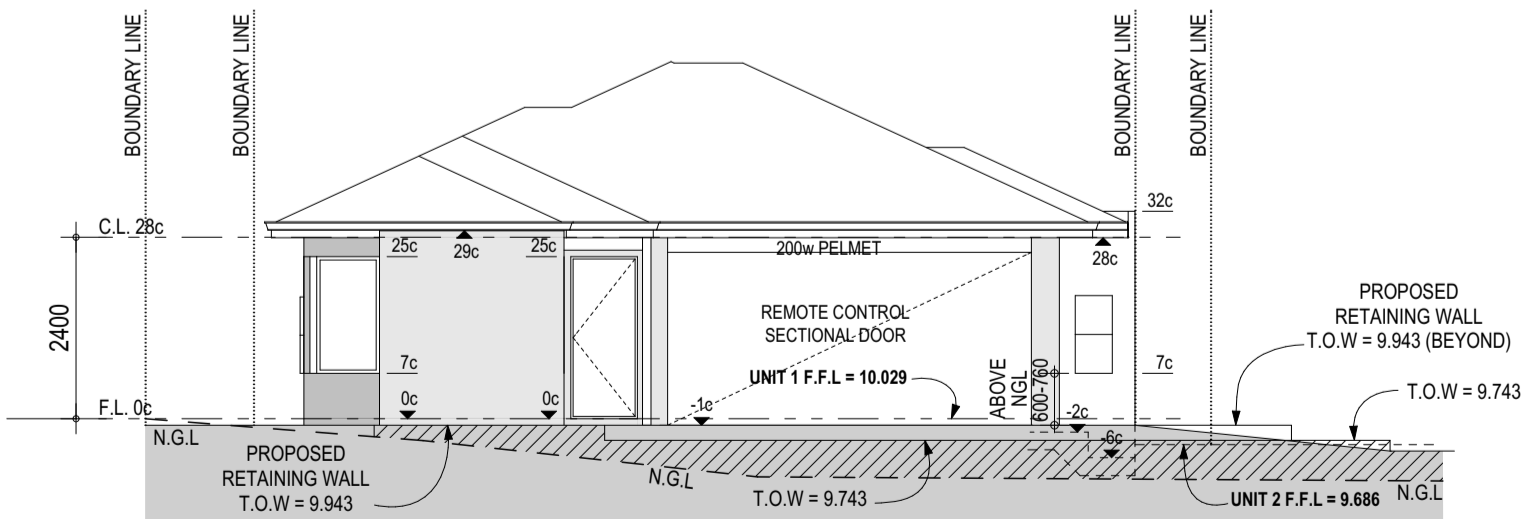


Elevation 2

ELEVATION LEGEND	
ROOF COVER	COLORBOND @ APPROX. 25° PITCH
BRICKWORK	2c FACE BRICK
	RENDERED BRICKWORK
	CONTRASTING RENDERED BRICKWORK
	FOOTING AS PER ENGINEERS (SHOWN DASHED)
DL	DOUBLE LINTELS
	RETAINING WALL
	NATURAL GROUND LEVEL AT BOUNDARY
	BOUNDARY LINE



Elevation 3



Elevation 4



Ross North Developments
Custom Design
 RNH Investor Specification
 Job N° **8763 - U1**

PROPOSED NEW HOME:
For Mr. A. Mackin
At Lot 520(#91 Twickenham Drive,
Kingsley

V20.1

These are the plans referred to in our contract

DATE	
OWNER	BUILDER
OWNER	WITNESS

WIND:	CLASS: T.B.A
SHIELDING:	T.B.A
BPA:	NO
SCALE:	1:100
SHEET:	3 of 3

DRN	DATE	CHK'D	DESCRIPTION
R.M	15/12/20	G.P	PRECAL
R.M	06/01/21	-	PLANNING
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

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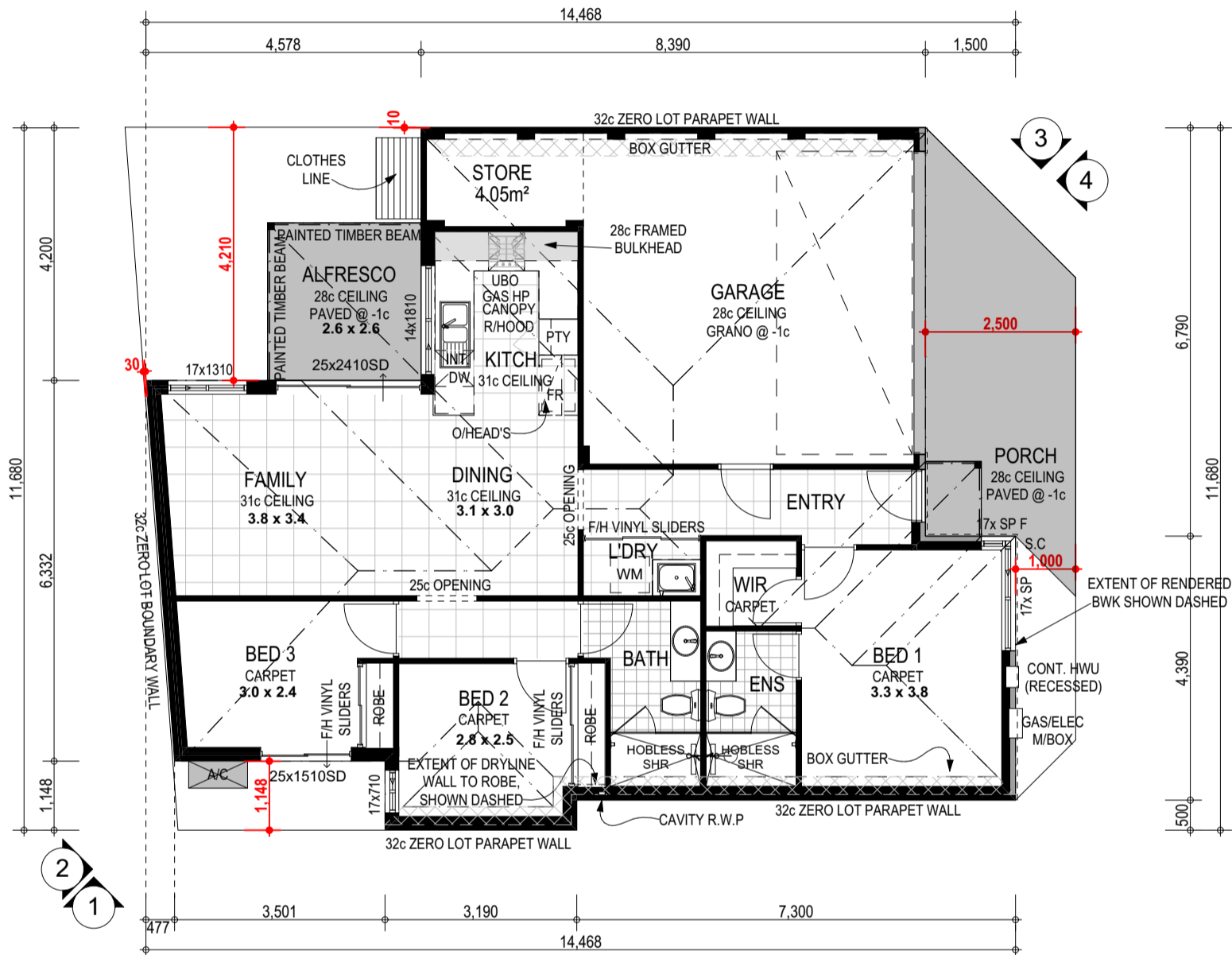
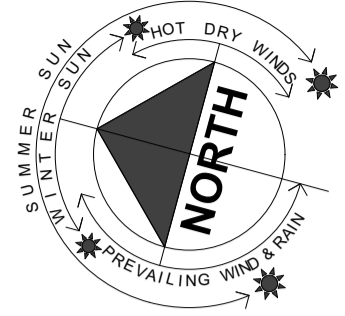
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Client to check plans, specifications and addenda carefully.

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Plumber Note floor wastes to be located as per plumbing plan

Rainwater pipes (RWP) positions shall be located as indicated on plans - roof plumber shall contact the office/supervisor if any change in positioning is required.



Senior Design & Sales Consultant
 Peter Grickage
 Mobile: 0419 904 677
 Email: peterg@rossnorthgroup.com.au

PROJECT INFO:

LDP: N/A
 Zoning: R40
 Primary Setbacks:
 Minimum 2.0m Maximum N/A
 Average 4.0m
 Estate: N/A
 Guidelines: N/A
 Climate Zone: 13
 BPA Zone: NO
 Coastal: N/A
 Acoustic Req: YES

FLOOR AREAS		
	AREA	PERIMETER
GROUND FLOOR	93.61	48.56
GARAGE/STORE	36.24	27.96
ALFRESCO	6.69	10.34
PORCH	1.15	4.34
	137.69 m²	91.20 m
	AREA	PERIMETER
ROOF	135.18	51.24

SITE COVERAGE	
ZONED	R40
% ALLOWED	55%
SITE AREA	171.99m ²
SITE COV. AREA	129.75m ²
SITE COV. = 75.4%	
COMMON AREA (123m ² / 3)	41m ²
SITE AREA + COMMON AREA	213m ²
ADJUSTED SITE COVERAGE = 60.95%	
OUTDOOR LIVING REQUIREMENTS	
OUTDOOR LIVING	REQUIRED 20.0m ² ACHIEVED 20.0m ²
UNCOVERED AREA	REQUIRED 13.3m ² ACHIEVED 13.3m ²

NOTES:
 2c FACE BRICKWORK EXTERNALLY THROUGHOUT UNLESS NOTED OTHERWISE
 ESTABLISHED AREA - SITE SURVEY REQUIRED, LEVELS AND RETAINING TO BE DETERMINED
 PLANNING REQ. DUE TO OVER SITECOVER

Ross North GROUP
 40 YEARS STRONG
 Ross North Homes
 Custom Design
 RNH Investor Specification
 Job N°. 8764 - U2

PROPOSED NEW HOME:
 For Mr. A. Mackin
 At Lot 520 (#91) Twickenham Drive,
 Kingsley

V20.1 These are the plans referred to in our contract
 DATE
 OWNER BUILDER
 OWNER WITNESS

WIND SHIELDING: T.B.A	DRN R.M.	DATE	CHK'D	DESCRIPTION
BPA: NO	R.M.	15/12/20	G.P	PRECAL
SCALE: 1:100		06/01/21	-	PLANNING
SHEET: 2 of 3				

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Ross North Group reserves the right to vary dimensions and materials from those on display.

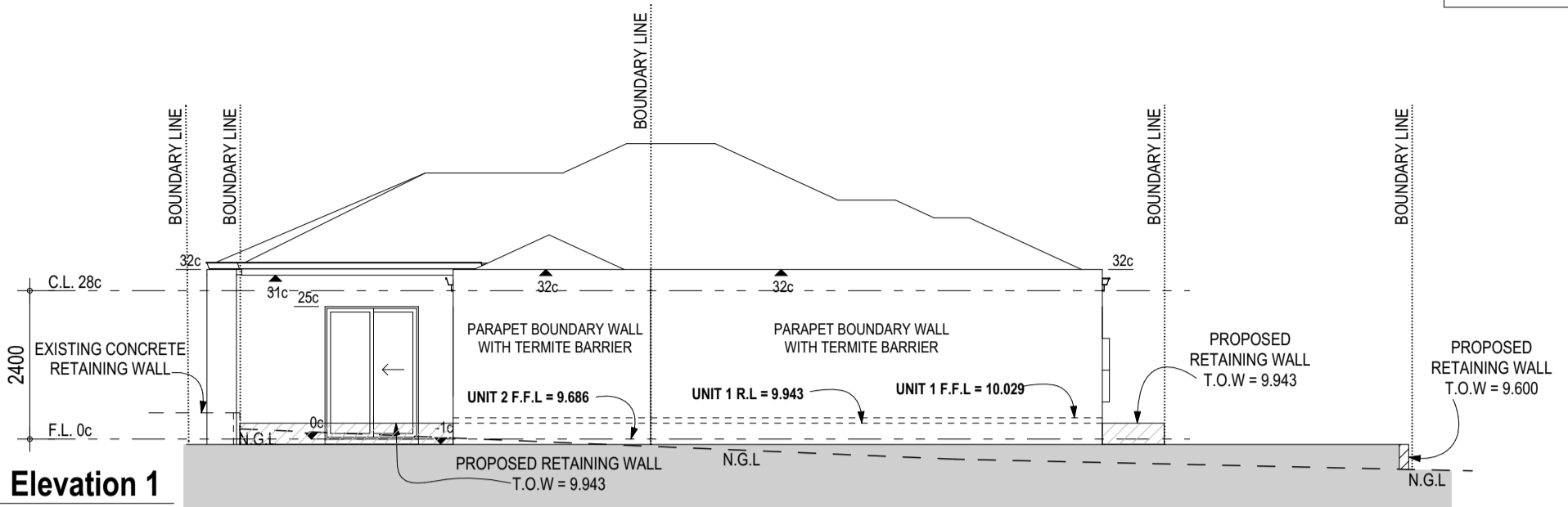
Client to check plans, specifications and addenda carefully.

All dimensions strictly to take preference over scaling. Dimensions shown are for brickwork only & do not include plaster or tile thickness.

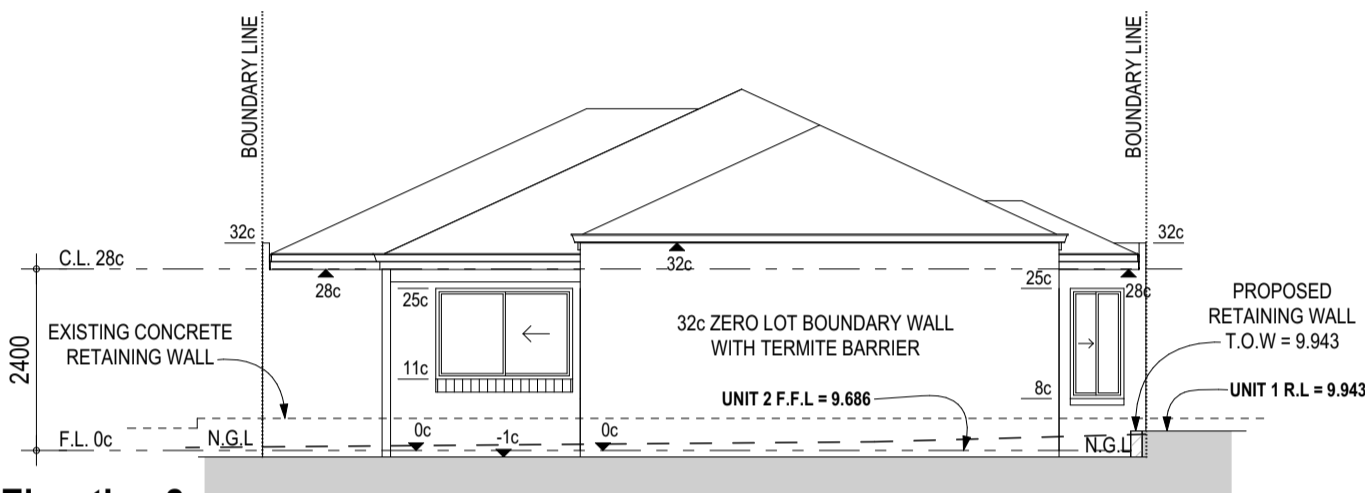
Plumber Note floor wastes to be located as per plumbing plan

Rainwater pipes (RWP) positions shall be located as indicated on plans - roof plumber shall contact the office/supervisor if any change in positioning is required.

NOTE:
CONVENTIONAL TIMBER
ROOF FRAMING IN
ACCORDANCE WITH AS 1684

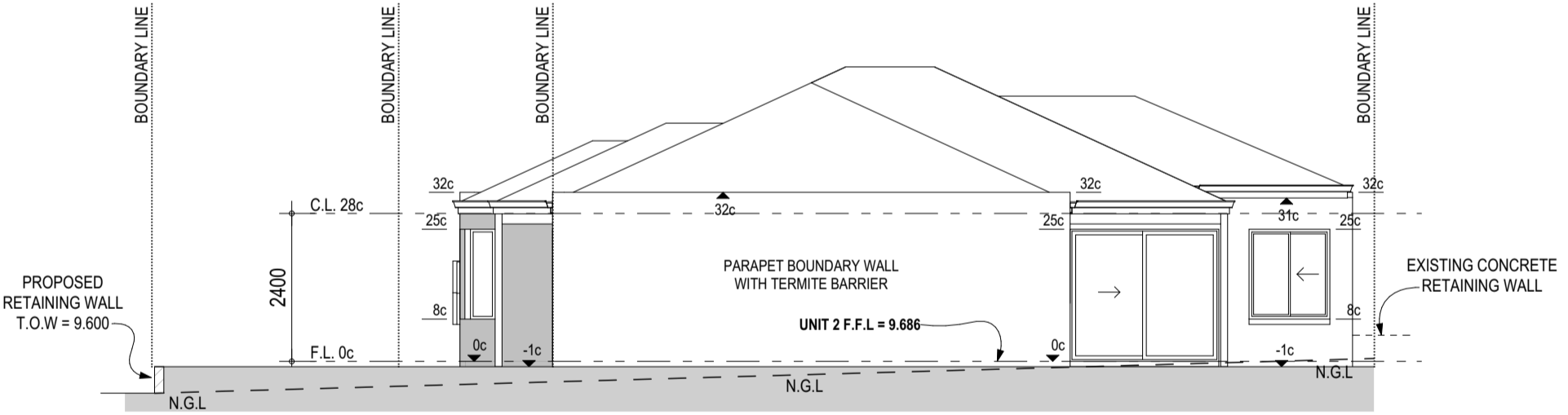


Elevation 1

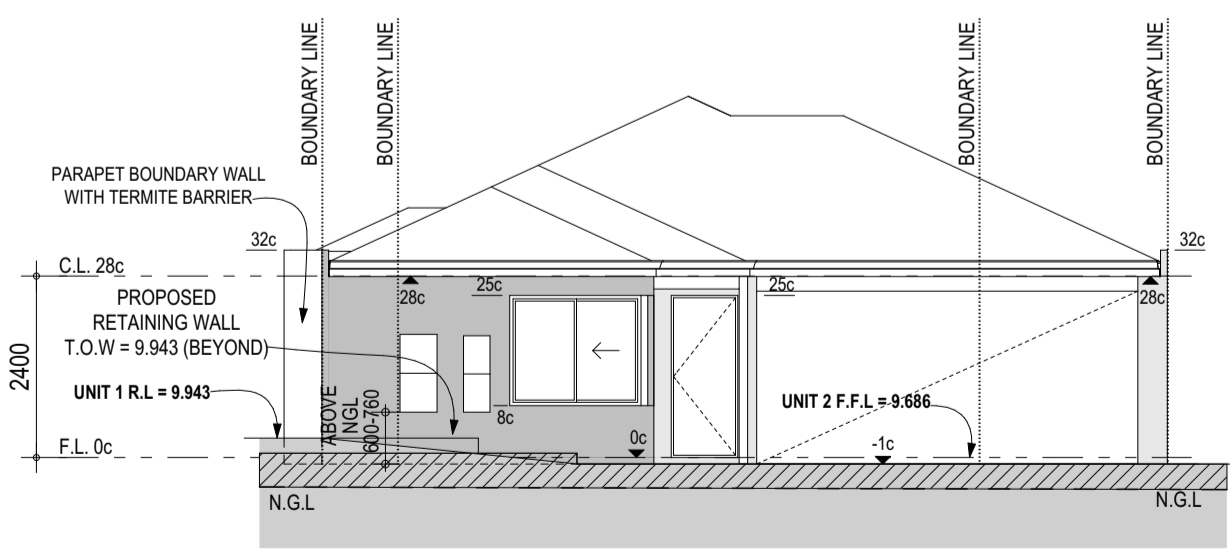


Elevation 2

ELEVATION LEGEND	
ROOF COVER	COLORBOND @ APPROX. 25° PITCH
BRICKWORK	2c FACE BRICK
	RENDERED BRICKWORK
	CONTRASTING RENDERED BRICKWORK
	FOOTING AS PER ENGINEERS (SHOWN DASHED)
DL	DOUBLE LINTELS
	RETAINING WALL
	NATURAL GROUND LEVEL AT BOUNDARY
	BOUNDARY LINE



Elevation 3



Elevation 4

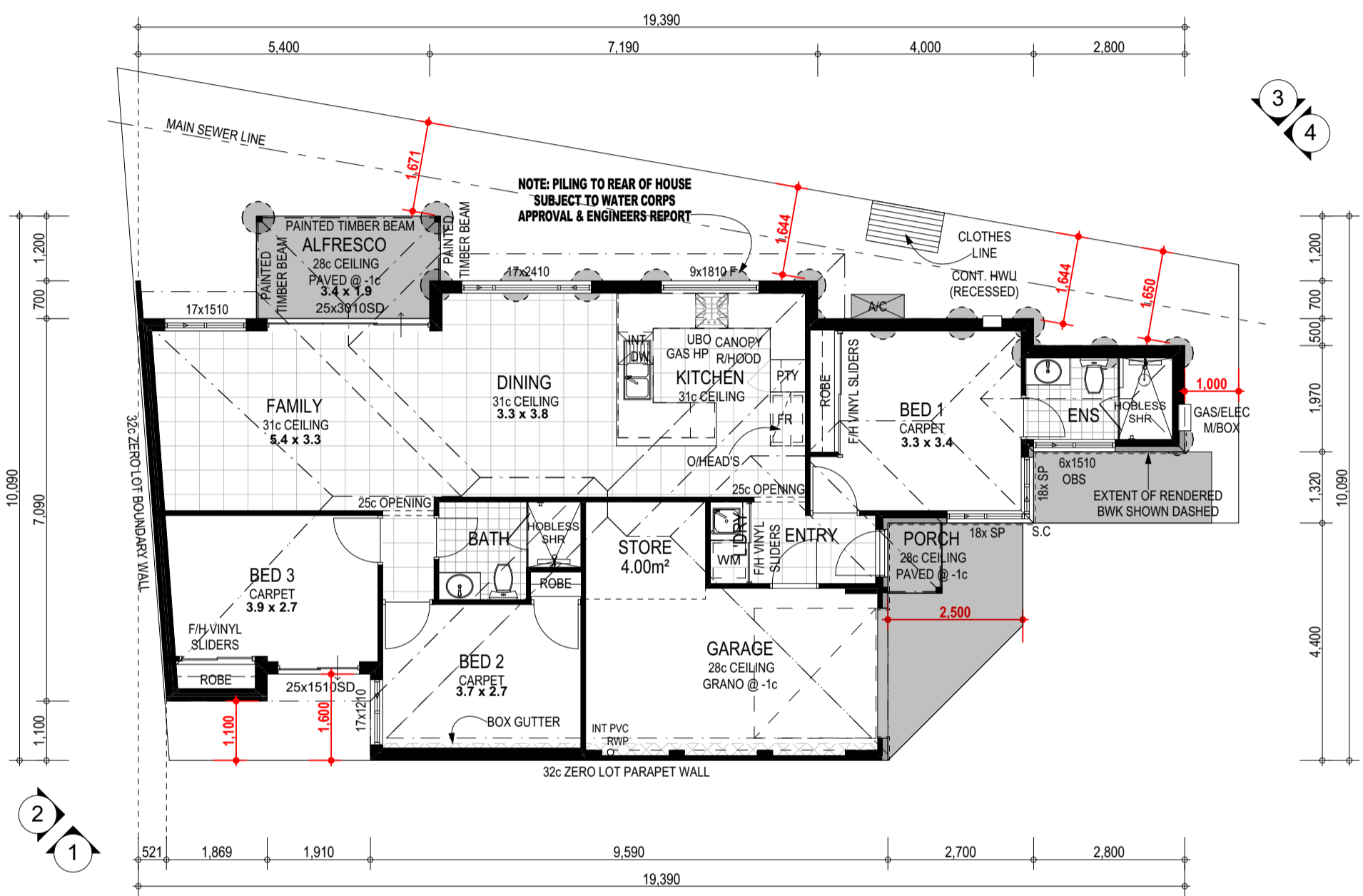
Ross North Group 40 YEARS STRONG
 Ross North Homes Custom Design RNH Investor Specification
 Job N°. 8764 - U2

PROPOSED NEW HOME:
 For Mr. A. Mackin
 At Lot 520 (#91) Twickenham Drive,
 Kingsley

V20.1 These are the plans referred to in our contract
 DATE
 OWNER BUILDER
 OWNER WITNESS

WIND: CLASS: T.B.A SHIELDING: T.B.A	DRN: R.M. 15/12/20 R.M. 06/01/21	DATE: 15/12/20 06/01/21	CHK'D: G.P. -	DESCRIPTION: PRECAL PLANNING
BPA: NO				
SCALE: 1:100				
SHEET: 3 of 3				

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**NOTE: PILING TO REAR OF HOUSE
SUBJECT TO WATER CORPS
APPROVAL & ENGINEERS REPORT**

3
4

2
1

SITE COVERAGE	
ZONED	R40
% ALLOWED	55%
SITE AREA	199.07m ²
SITE COV. AREA	128.61m ²
SITE COV. = 64.6%	
COMMON AREA (123m ² / 3)	41m ²
SITE AREA + COMMON AREA	240m ²
ADJUSTED SITE COVERAGE = 53.59%	
OUTDOOR LIVING REQUIREMENTS	
OUTDOOR LIVING	REQUIRED: 20.0m ² ACHIEVED: 23.2m ²
UNCOVERED AREA	REQUIRED: 13.3m ² ACHIEVED: 15.9m ²

NOTES:
 2c FACE BRICKWORK EXTERNALLY THROUGHOUT UNLESS NOTED OTHERWISE
 ESTABLISHED AREA - SITE SURVEY REQUIRED, LEVELS AND RETAINING TO BE DETERMINED
 PLANNING REQ. DUE TO O.L.A

Senior Design & Sales Consultant
 Peter Grickage
 Mobile: 0419 904 677
 Email: peterg@rossnorthgroup.com.au

PROJECT INFO:
 LDP: N/A
 Zoning: R40
 Primary Setbacks:
 Minimum N/A Maximum N/A
 Average N/A
 Estate: N/A
 Guidelines: N/A
 Climate Zone: 13
 BPA Zone: NO
 Coastal: N/A
 Acoustic Req: N/A

FLOOR AREAS		
	AREA	PERIMETER
HOUSE	105.58	60.26
GARAGE/STORE	21.42	20.78
ALFRESCO	6.34	10.62
PORCH	1.30	4.60
	134.64 m²	96.26 m
	AREA	PERIMETER
ROOF	139.01	58.09

Ross North Homes
 Custom Design
 RNH Investor Specification
 Job N°. 8765 - U3

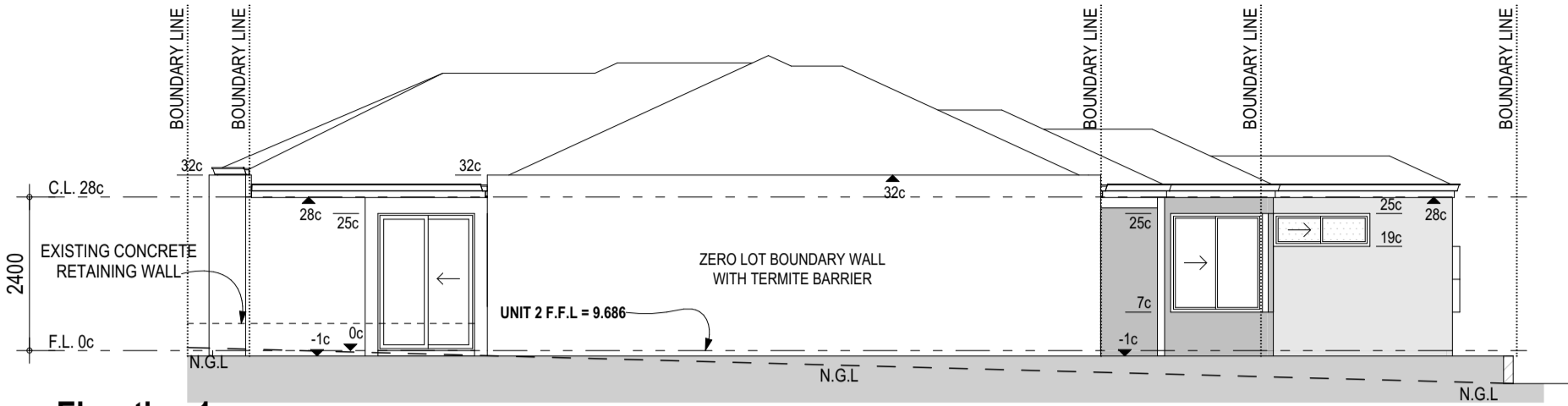
PROPOSED NEW HOME:
 For Mr. A. Mackin
 At Lot 520 (#91) Twickenham Drive,
 Kingsley

V20.1 These are the plans referred to in our contract
 DATE
 OWNER BUILDER
 OWNER WITNESS

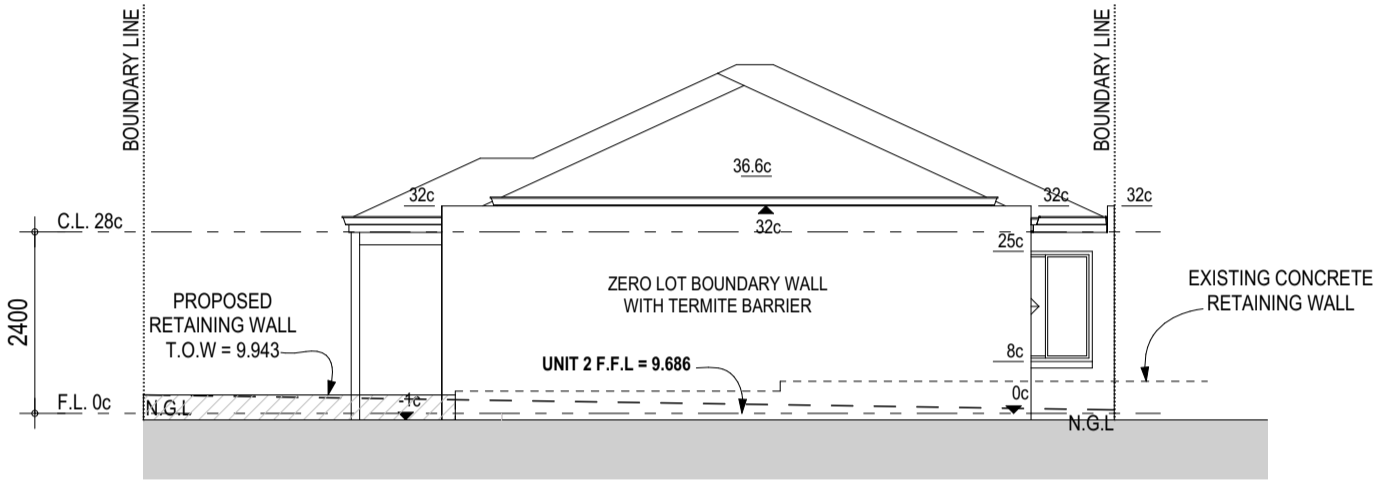
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SHIELDING: T.B.A	R.M	15/12/20	-	PRECAL
BPA: NO	R.M	06/01/21	-	PLANNING
SCALE: 1:100	-	-	-	-
SHEET: 2 of 3	-	-	-	-

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NOTE:
CONVENTIONAL TIMBER
ROOF FRAMING IN
ACCORDANCE WITH AS 1684

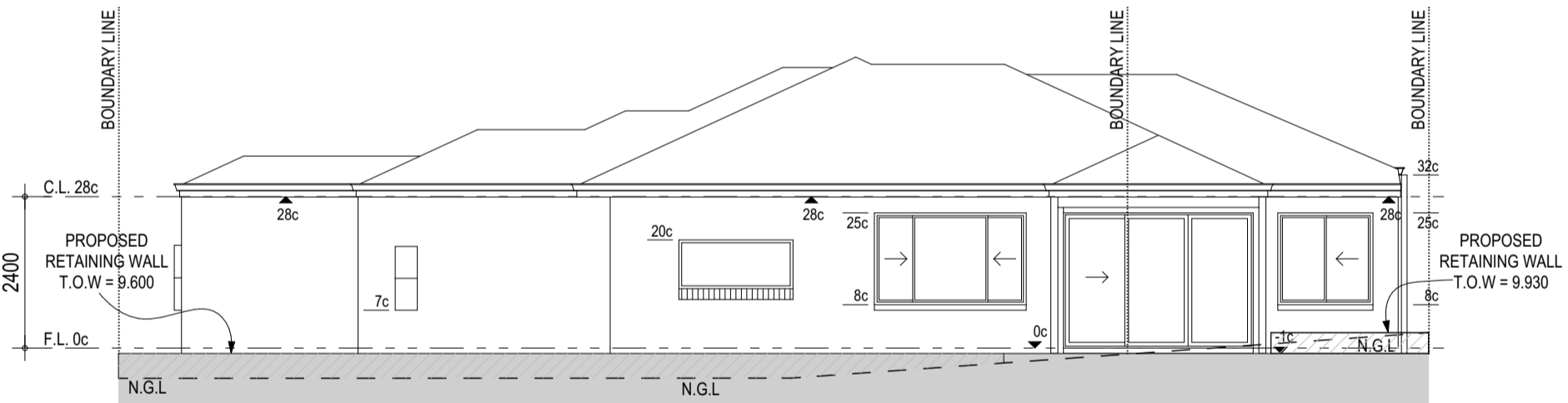


Elevation 1

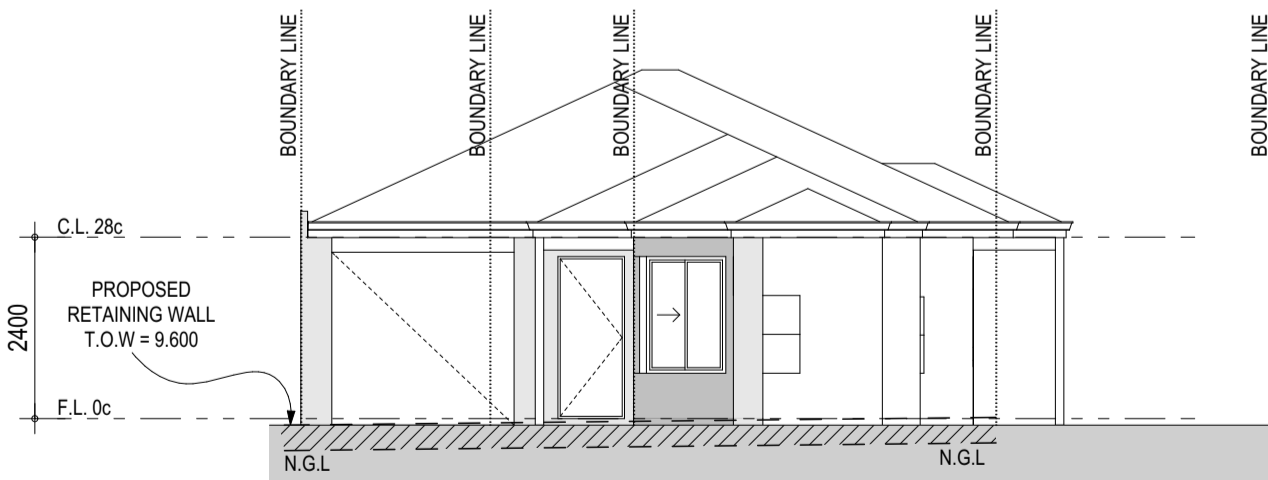


Elevation 2

ELEVATION LEGEND	
ROOF COVER	COLORBOND @ APPROX. 25° PITCH
BRICKWORK	2c FACE BRICK
	RENDERED BRICKWORK
	CONTRASTING RENDERED BRICKWORK
	FOOTING AS PER ENGINEERS (SHOWN DASHED)
DL	DOUBLE LINTELS
	RETAINING WALL
	NATURAL GROUND LEVEL AT BOUNDARY
	BOUNDARY LINE



Elevation 3



Elevation 4



Ross North Homes
Custom Design
RNH Investor Specification
Job N° **8765 - U3**

PROPOSED NEW HOME:
For Mr. A. Mackin
At Lot 520 (#91) Twickenham Drive,
Kingsley

V20.1

These are the plans referred to in our contract

DATE	
OWNER	BUILDER
OWNER	WITNESS

WIND:	CLASS: T.B.A	DRN	DATE	CHK'D	DESCRIPTION
	SHIELDING: T.B.A	R.M	15/12/20	-	PRECAL
BPA:	NO	R.M	06/01/21	-	PLANNING
SCALE:	1:100				
SHEET:	3 of 3				

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Plumber Note floor wastes to be located as per plumbing plan

Rainwater pipes (RWP) positions shall be located as indicated on plans - roof plumber shall contact the office/supervisor if any change in positioning is required.