

R-CODES NOTE:

ZONING: R20 + STRUCTURE PLAN NO. 13

SITE COVERAGE

SITE: 351m²
 ALLOWED COVER: 50% (175.5m²)
 ACTUAL COVER: 49.72% (174.51m²)

R-CODES VARIATION/PLANNING REQUIRED: YES

- 4.3.1.1 a) MAX FRONT SETBACK 5m
- 4.3.1.2 a) DUAL BOUNDARY WALLS
- 4.3.1.2 a) BOUNDARY WALL GREATER THAN 9m
- 4.2.1.5 d) GARAGE WIDTH > 50% (ACTUAL 58.9%)

BAL ASSESSMENT REQUIRED: YES

GARAGE NOTE:

- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING

PLUMBING NOTE:

- PLUMBING DRAINAGE PLAN DIAGRAMMATIC ONLY. FINAL POSITION TO BE DETERMINED BY PLUMBER ON SITE
- NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE, IF REQUIRED.

NOTE:

- PROVIDE CONDUIT & DRAW WIRE IN COMMON TRENCH TO METER BOX

STORMWATER:

- INTERCONNECTED SOAKWELLS BY BUILDER.
 ALL STORMWATER & SURFACE WATER DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH NCC VOL 2, A.S. 3500.3:2003 & LOCAL AUTHORITY REQUIREMENTS.

Soak Well Type	No.	Capacity
SW 1200x1200	2	2.7 m ³
Total Capacity		2.7 m ³
Roof Area GF		198.2 m ²
Total Area		198.2 m ²
Capacity Required (Area x 0.0130)		2.6 m ³
Extra Capacity Provided		0.1 m ³

SEWER RUN CALCULATOR:

Residence	1
F.F.L.	11.512
Sewer Invert	8.3
Sewer Length	22.5
Height	2237

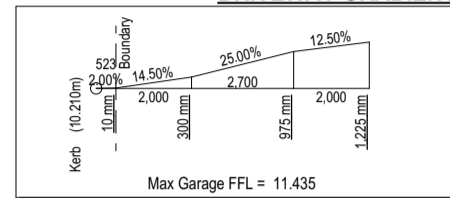


DO NOT SCALE FROM THIS DRAWING
 All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

LEGEND

⊕	SEC Dome
⊖	Power Pole
⊕ ⊖	Phone Pits
⊖	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

DRIVEWAY GRADIENT:



CLIENT NOTE

THE OWNER IS AWARE THAT IN REGARD TO SURVEY STRATA OWNERSHIP, THEY HAVE CERTAIN RESPONSIBILITIES AND ACCEPT THAT THEY ARE RESPONSIBLE TO CONTACT ADJOINING OWNER/S FOR FOLLOWING:

- * PROVIDE BUILDER ACCESS TO COMPLETE SERVICE RUNS THROUGH EASEMENTS AS NOTED ON THIS SITE PLAN AND CERTIFICATE OF TITLE
- * LOCATION OF POWER/GAS METER BOXES AND WATER METER
- * EXISTING COMMON DRIVEWAYS AND OR CROSSOVERS
- * ANY AGREEMENTS WITH ADJOINING PROPERTY OWNERS IN RELATION TO COMMON PROPERTY TO BE PROVIDED TO THE BUILDER IN WRITING PRIOR TO SITE WORK COMMENCEMENT

DISCLAIMER:

Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey inc. any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from inform. supplied by Water Corp.

DISCLAIMER:
 Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

NOTE:
 Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances. Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.

DISCLAIMER:
 Survey does not include verification of cadastral b'daries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based on dependent on the location of existing features should have those features' location verified in relation to the true b'dary.

DUG TO LEVEL
 11.11 ON LOT
 (SAND ONLY)

SOIL DESCRIPTION
 Sand
 Refer to Survey

NOTE:
 NOTIFICATION.
 REFER TO SEC 165 T.P.D. ACT
 SEE DOCUMENT N915238
 BAL RATING 12.5

COTTAGE & ENGINEERING SURVEYS
 Licensed Surveyors
 87-89 Guthrie Street, Osborne Park, Western Australia.
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.
 Email: perth@cottage.com.au Website: www.cottage.com.au

AREA:	351m ²
SHIRE:	JOONDALUP
D.PLAN:	403211
C/T VOLUMM:	2950
FOLIO:	83
MSD REF:	250-14/06

ROAD DESCR.:	BITUMEN
KERBING:	MOUNT
FOOTPATH:	CONC.
SOIL:	RTS
DRAINAGE:	GOOD
VEGETATION:	RTS

GAS:	YES	SSA/OLD AREAS:	SSA
WATER:	YES	C/JOB#:	484029
ELECTRICITY:	U/G	DATE:	27/10/20
PH/COMMS:	YES	SCALE:	1:200
SEWER:	YES	DRAWN:	J. GENOVESE
COASTAL:	NO		

UNLOGGED SS PLAN:	78020
ORIGINAL LOT:	62
LOT MISCLOSE:	N/A
SSL 1 MISCLOSE:	0.00
SSL 2 MISCLOSE:	0.00

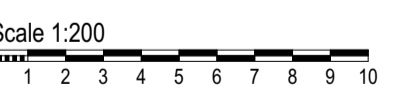
PROPOSED RESIDENCE FOR:
J. GARCIA & H. BROWN

ADDRESS:
SSL 2 (#37A) REVITALISE CIRCUIT, CRAIGIE

DRAWN:	PMI	SCALE:	1:100
DESIGNED:		SHEET:	3 OF 3
CHECKED:	KYW	SIZE:	A3
DATE:	26/11/2020	NEW	
MODEL:	ASCENT	JOB N°	160965

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V002 & V003	RZA	18-01-21			

SITE PLAN



SUMMIT HOMES GROUP
 BUILD | RENOVATE | DEVELOP

SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N1
CORROSION CLASSIFICATION - R3

BRICK NOTE

- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O

BUSHFIRE ATTACK LEVEL -12.5

CONSTRUCTION TO COMPLY FULLY
W/ NASH STANDARDS

ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE

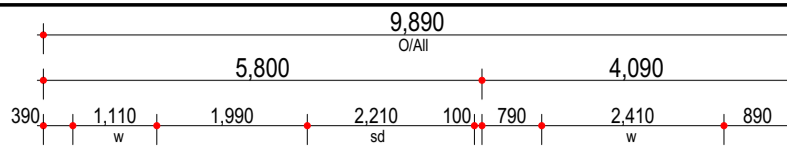
- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE
- RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

ROOF INSULATION NOTE

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN



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ALL DIMENSIONS TO BRICKWORK.

CONCRETOR/BRK LAYER NOTE

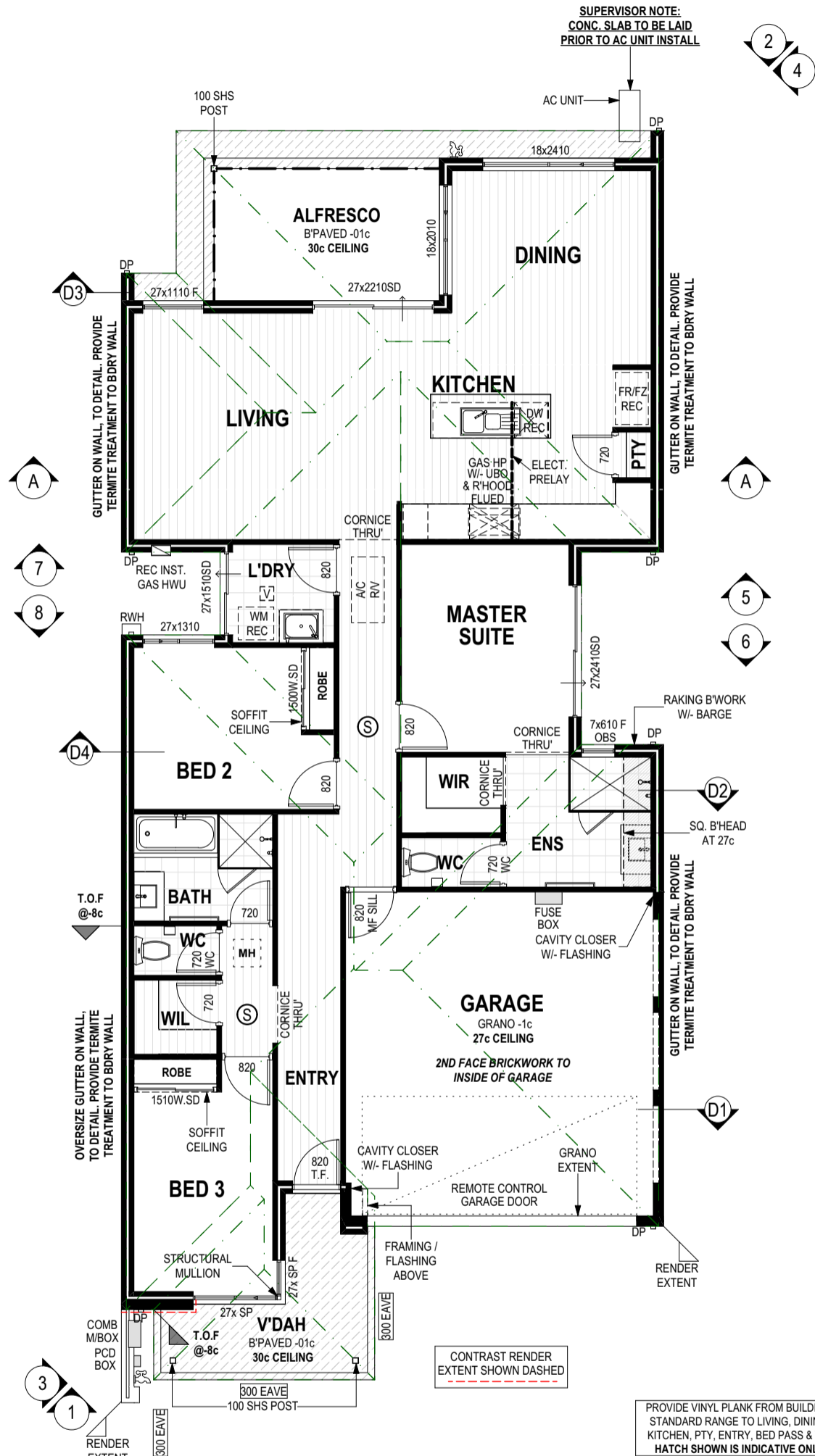
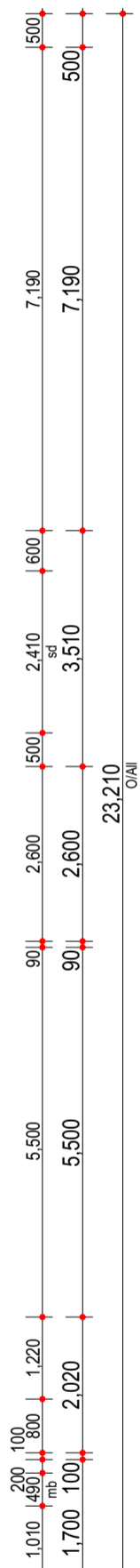
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS AT -3c UNLESS NOTED OTHERWISE.

PLUMBER NOTE

- NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE.

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.



SUPERVISOR NOTE:
CONC. SLAB TO BE LAID PRIOR TO AC UNIT INSTALL

GUTTER ON WALL, TO DETAIL. PROVIDE TERMITITE TREATMENT TO BDRY WALL

GUTTER ON WALL, TO DETAIL. PROVIDE TERMITITE TREATMENT TO BDRY WALL

OVERSIZE GUTTER ON WALL, TO DETAIL. PROVIDE TERMITITE TREATMENT TO BDRY WALL

GUTTER ON WALL, TO DETAIL. PROVIDE TERMITITE TREATMENT TO BDRY WALL

CONTRAST RENDER EXTENT SHOWN DASHED

- PROVIDE VINYL PLANK FROM BUILDERS STANDARD RANGE TO LIVING, DINING, KITCHEN, PTY, ENTRY, BED PASS & WIL HATCH SHOWN IS INDICATIVE ONLY
- PROVIDE CARPET FROM BUILDERS STANDARD RANGE TO ALL BEDROOMS (INC. ROBES)
- PROVIDE BLINDS THROUGHOUT (INC. WET AREAS)

FIXING CARPENTER NOTE

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY

CEILING MATERIAL NOTE

- V'DAH (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.
- GARAGE - HARDIFLEX C.L.
- ALFRESCO - PLASTERBOARD C.L.

GARAGE NOTE

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

RENDER WALL NOTE

- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS

TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.
- FINAL POSITIONS/NUMBER OF GARAGE PIERS TO BE DETERMINED UPON RECEIPT OF ENG'S CERT. PLANS.

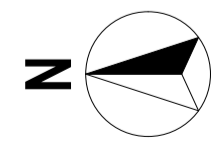
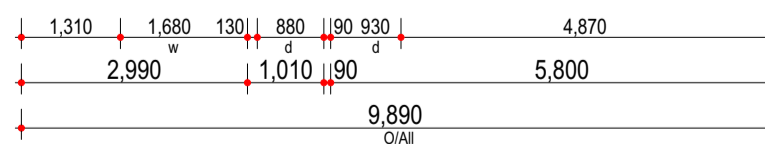
DOOR NOTE

- TOILET DOOR TO COMPLY W/ CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2
- ALL DOOR & DOOR HARDWARE AS PER ADDENDUM

PROPOSED RESIDENCE FOR:

J. GARCIA & H. BROWN

ADDRESS:
SSL 2 (#37A) REVITALISE CIRCUIT,
CRAIGIE



	Area m ²	Perim. L/m
1. FLOOR PLAN	137.90	68.20
2. GARAGE	35.50	24.26
3. V'DAH	7.32	14.08
4. ALFRESCO	11.18	13.80
5. TOTAL AREA	191.90	71.88
6. ROOF	196.20	71.24



DRAWN: PMI	SCALE: 1:100	Issue Name: V002 & V003	Drawn: RZA	Date: 18-01-21	Issue Name:	Drawn:	Date:
DESIGNED:	SHEET: 1 OF 3						
CHECKED: KYW	SIZE: A3						
DATE: 26/11/2020	NEW						
MODEL: ASCENT	JOB N° 160965						

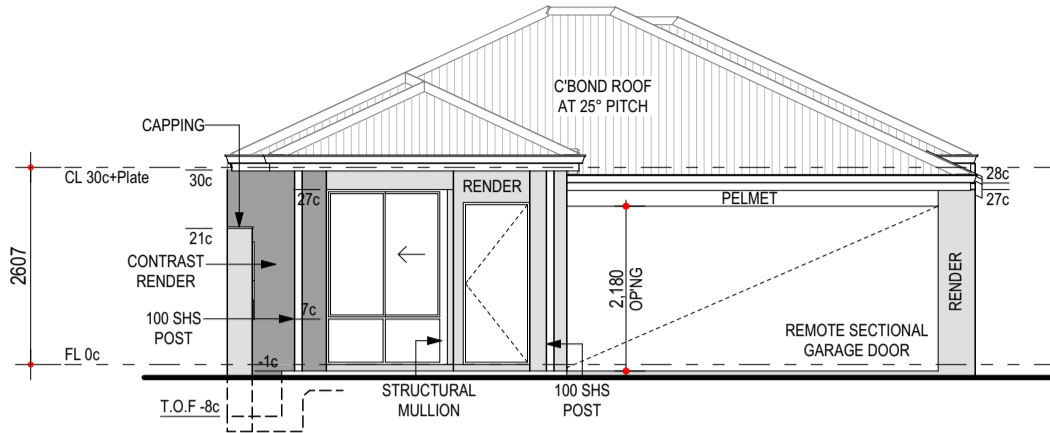
ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

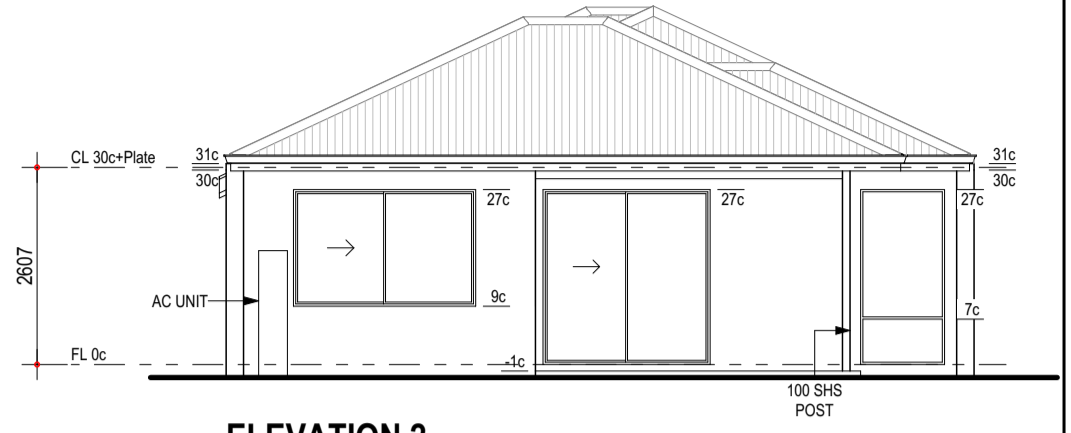
WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288

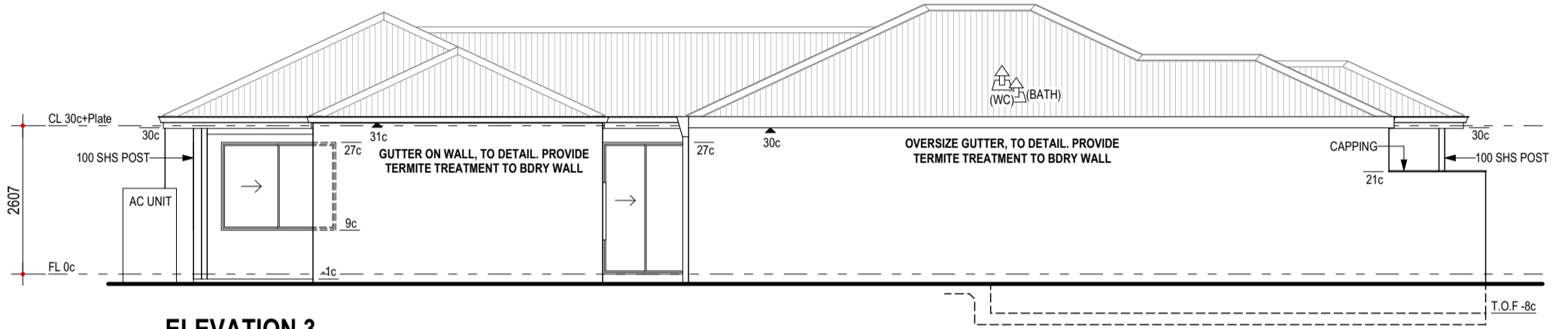
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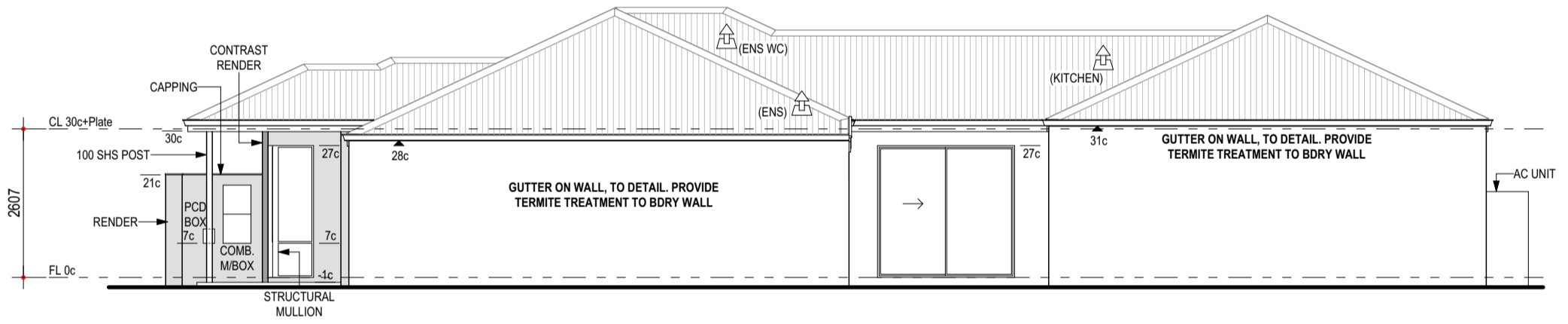
ELEVATION 1



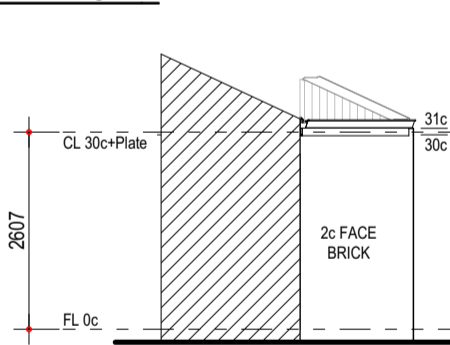
ELEVATION 2



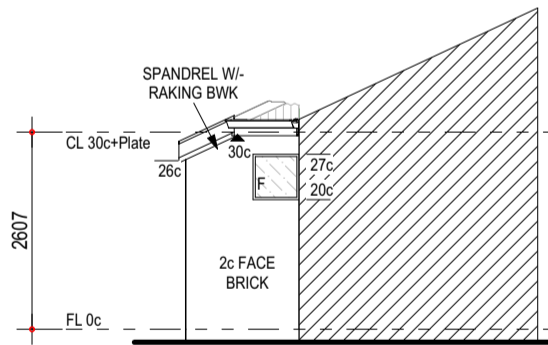
ELEVATION 3



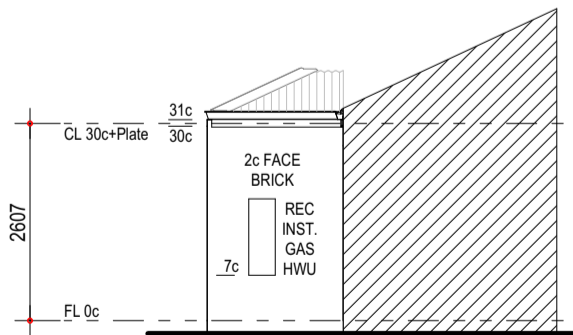
ELEVATION 4



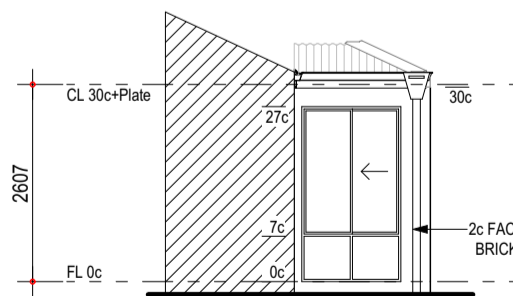
ELEVATION 5



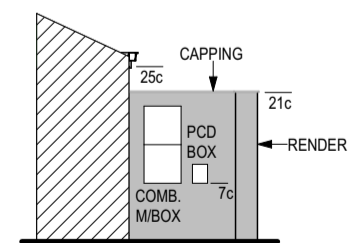
ELEVATION 6



ELEVATION 7



ELEVATION 8



ELEVATION 9

PROPOSED RESIDENCE FOR:
J. GARCIA & H. BROWN

ADDRESS:
 SSL 2 (#37A) REVITALISE CIRCUIT,
 CRAIGIE

DRAWN: PMI SCALE: 1:100
 DESIGNED: SHEET: 2 OF 3
 CHECKED: KYW SIZE: A3
 DATE: 26/11/2020 NEW
 MODEL: JOB N°
 ASCENT 160965

Issue Name	Drawn	Date	Issue Name	Drawn	Date
V002 & V003	RZA	18-01-21			

ELEVATIONS



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 HOMES GROUP

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