

PAVING SCHEDULE			
	ID	TOP SURFACE [m ²]	PERIMETER [m]
Floor Finish - B'Paving	COURTYARD	17.96	17.97
Floor Finish - B'Paving	DRIVEWAY	5.72	12.00
Floor Finish - B'Paving	PATH 1	2.70	6.70
Floor Finish - B'Paving	PATH 2	6.51	14.04
Floor Finish - B'Paving	Porch	2.02	5.70
		34.91 m ²	56.41 m

GRANO SCHEDULE			
	ID	TOP SURFACE [m ²]	PERIMETER [m]
Floor Finish - Grano	Garage	31.02	24.00
		31.02 m ²	24.00 m

NOTE: BOUNDARY POSITION AS PER ALIGNMENT
WARNING: BOUNDARY RE-PEG SURVEY WILL BE REQUIRED TO CONFIRM, REPLACE AND/OR ADJUST BOUNDARY MARKS TO THE CORRECT POSITIONS.

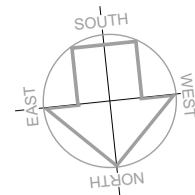
SITE COVERAGE

ZONED	R60/LDP
% ALLOWED	60%
SITE AREA	178.80m ²
SITE COV. AREA	104.37m ²

SITE COV. =58.4%

NOTE:

GARAGE COURSING HEIGHTS ARE INDEPENDENT OF MAIN RESIDENCE FLOOR LEVEL.
GARAGE COURSING HEIGHTS ARE REFERENCED TO GARAGE GRANO @ 0c (RL: 13.83).



LOT 3

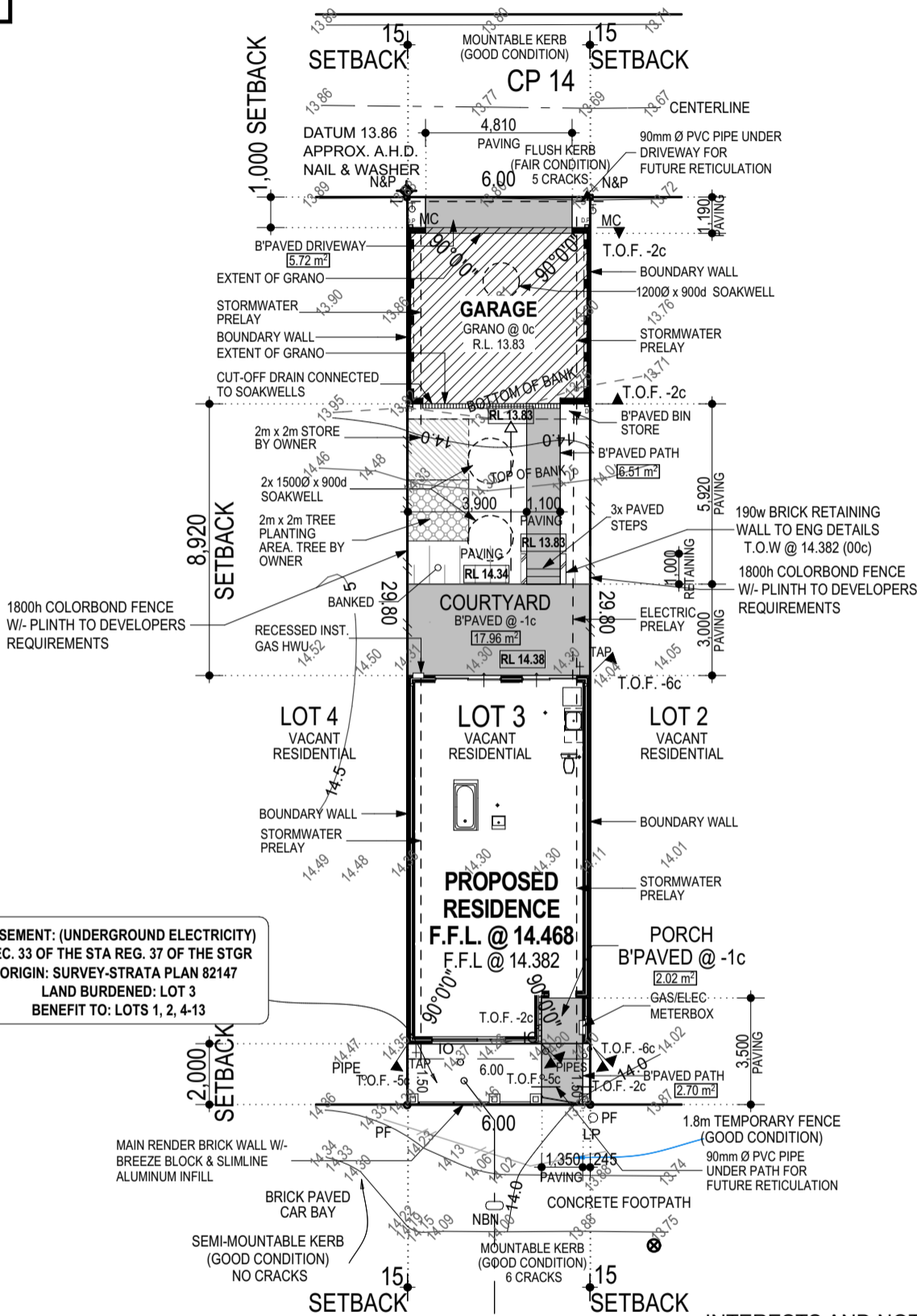
179 m²
SANDY

COMMON LEGEND

○ PF	PEG FOUND
○ Pdist	PEG DISTURBED
PG	PEG GONE
◆	DATUM / CONTROL
○ SV	STOP VALVE
○ HY (GROUND)	HYDRANT
○ FP	FLUSH POINT
⊗ TAP	WATER TAP
⊗ MC	METER CONNECTION
○ M	WATER METER
○	DRAINAGE MANHOLE
□	GRATE
□	SIDE ENTRY PIT
○ SEW	SEWER MANHOLE
○ IS	INSPECTION SHAFT
○ IO	INSPECTION OPENING
○ CP	CONSUMER POLE
○ PP	POWER POLE
○ LP	LAMP POST
○ SP	STAY POLE
○ PD	POWER DOME / PILLAR
TEL / NBN	TELSTRA / NBN PIT
□ GAS	GAS METER
× G	GAS LINE MARKER (PT)

- NOTE:**
STORMWATER TO BE DESIGNED & INSTALLED TO AS/NZ 3500.3, BCA 3.1.3 & LG REQUIREMENTS.
- NOTE:**
STORMWATER DISPOSAL TO BE CONNECTED TO SOAKWELLS.
STORMWATER TO COMPLY WITH AS 3500 & NCC 3.1.3 & LG REQUIREMENTS
- NOTE:**
FRONT LANDSCAPING BY BUILDER
- NOTE:**
ALL-BOUNDARY FENCING BY BUILDER, INCLUDING FRONT FENCING TO DEVELOPER GUIDELINES.
- GAS NOTE:**
- HIGH PRESSURE GAS LINE LOCATION IS TO MYKONOS VIEW AS PER ATCO DIAL BEFORE YOU DIG PLANS.
- CONFIRM LOCATION BEFORE COMMENCING WORK ON BREEZE WALL.
- BAL 12.5 NOTE:**
REFER TO SEPARATE BUSHFIRE CONSTRUCTION PLAN FOR DETAILS.

EASEMENT: (UNDERGROUND ELECTRICITY)
SEC. 33 OF THE STA REG. 37 OF THE STGR
ORIGIN: SURVEY-STRATA PLAN 82147
LAND BURDENED: LOT 3
BENEFIT TO: LOTS 1, 2, 4-13



SITE PLAN
SCALE 1:200

INTERESTS AND NOTIFICATIONS REFER TO PLAN AND CERTIFICATE OF TITLE



SERVICE INFORMATION

SEWERAGE:	YES
WATER:	YES
PRELAI:	YES LEFT
GAS:	YES BTC
COMM.	YES
POWER:	U/G

TBE - To Be Establish; BTC - Builder To Confirm

THE INFORMATION ON THIS DRAWING IS CURRENT AS AT THE DATE OF SURVEY. SERVICES ARE TO BE CONFIRMED WITH RELEVANT AUTHORITIES. THIS INCLUDES WITHOUT LIMITATION: SEWERAGE, WATER SUPPLY, DRAINAGE, POWER SUPPLY, GAS SUPPLY & COMMUNICATIONS. FURTHER INTERESTS / NOTIFICATIONS / ENCUMBRANCES MAY BE LISTED ON THE CERTIFICATE OF TITLE.

AUTOMATED SURVEYS
LICENSED SURVEYORS and DEVELOPMENT CONSULTANTS
3 HASLER RD, OSBORNE PARK, WA 6017
P.O.Box 1862, Osborne Park DC WA 6916
Telephone (08) 9214 1777
www.automatedsurveys.com.au

C					
B					
A	05/10/2021	SITE SURVEY	SXC	BCM	
REV.	DATE OF SURVEY	DESCRIPTION	SURVEYOR	DRAFTER	CHECKED
BUILDER:	TERRACE		PLAN:	SP 82147	
REF.:	95345		C/T.:	2992/344	
H. Grid:	LOCAL	A.H.D level: 14.16	A.H.D. value	SEWER M/H	Distance from Datum: 41.97 m
V. Datum:	APPROX.	Local level: 14.16	derived from:	AD6011	

CLIENT:	MCDONALD
PROJECT:	LOT 3 MYKONOS VIEW, ILUKA
AUTHORITY:	CITY OF JOONDALUP
PLAN:	SITE SURVEY
UBD MAP:	145 /09 /17
PACKAGE:	A
SCALE:	1: 200 @ A3
Approx. distance:	0.40 km FROM COAST LINE 4.62 km FROM LAKE
SHEET:	1 of 1
DRAWING No.:	240532
REV:	A

TERRACE
Level 8, 67 Walters Drive, Osborne Park WA 6017
Tel: (08) 6461 5340
P.O. Box 131 Mt. Hawthorn WA 6915
Reg. Builder No. 6415 A.B.N. 54 009 063 076
terracewa.com.au

REVISION	VO #	DRN	DATE	CHK
	WD1	DJ	20.09.21	RS
	WD2	MR	25.10.21	MR
	WD3	RS	11.11.21	RS

CLIENT: _____
DATE: _____
CLIENT: _____
DATE: _____
BUILDER: _____
DATE: _____

CLIENT: MCDONALD
ADDRESS: LOT 3 MYKONOS VIEW ILUKA

WINDSOR
TERRACE SPECIFICATIONS 2c BLOCKS
MODEL N° 17465
MAP REF. 11.11.21
COASTAL CATEGORY ENGINEERS DETAIL
JOB N° 95345
SHEET N° 11 OF 11

GENERAL NOTES:

- THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.
- ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT ALLOW FOR PLASTER THICKNESS/ WALL LINING THICKNESS
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS.
- FLOOR WASTE, CEILING VENT & MANHOLE LOCATIONS ARE SUBJECT TO CHANGE AT THE BUILDER'S DISCRETION.
- THE BUILDER RESERVES THE RIGHT TO ADJUST WINDOW AND SLIDING DOOR SIZES, INTERNAL ROOM SIZES, AND O'ALL LENGTH AND WIDTH OF DWELLING, WHICH MAY RESULT IN A CHANGE IN THE O'ALL HOUSE AREA FROM THE ORIGINAL STANDARD HOUSE PLAN.
- DO NOT SCALE FROM THIS DRAWING. ALL SUB-CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.

TRADES/ SUPPLIERS/ SUPERVISORS NOTE:

- FOR TYPICAL TERRACE CONSTRUCTION DETAILS. REFER TO SEPARATE DETAILS DOCUMENT. CONTACT BUILDING SUPERVISOR IF REQUIRED.
- FOR NON-STANDARD TERRACE CONSTRUCTION DETAILS REFER TO DETAIL PLANS.

SUSPENDED FLOOR NOTE:

- 5c SUSPENDED FLOOR SYSTEM TO S.E. DETAILS.

BRICKLAYER NOTES:

- 230w CAVITY BRICKWORK, THIRD BOND & RENDER FINISH EXTERNALLY AS SHOWN ON FLOOR PLAN & ELEVATIONS.
- WEEPHOLES AT MINIMUM 1200 CENTRES TO CAVITY BRICKWORK

RENDERER NOTES:

- RENDERED BRICKWORK EXTERNALLY UNLESS NOTED OTHERWISE. REFER TO ADDENDA.
- INSTALL PLASTIC BEAD TO FRONT ENTRY DOOR SILL WHEN RENDERED
- DO NOT COVER WEEP HOLES WITH RENDER
- RENDER TO EXTEND DOWN TO TOP OF FOOTING

BOUNDARY WALL NOTE:

- FIRE SEPARATION TO NCC FIGURE 3.7.2.3

AIRCON NOTE:

- PROVIDE REVERSE CYCLE DUCTED AIR CONDITIONING TO CONTRACTORS PLAN.

ROOF PLUMBER NOTES:

- DOWNPIPES TO BE LOCATED AS PER PLANS BUT MAY BE RELOCATED AT SUPERVISORS DISCRETION.
- GUTTER BRACKETS TO BE INSTALLED @ 1200mm MAX CENTRES
- GUTTER AND DOWNPIPES TO BE INSTALLED TO NCC 3.5.3 & AS 2179.1 (METAL) / AS 1273 (UPVC)

ROOF CARPENTER NOTES:

- CONVENTIONAL TIMBER FRAMED ROOF APPLIES IN ACCORDANCE TO AS1684.
- ROOF FRAMING TO BE MINIMUM H2 TREATED TIMBER.

ROOF INSULATION NOTES:

- R4.0 CEILING INSULATION AS PER ADDENDA.

BAL 12.5:

- REFER TO SEPARATE BUSHFIRE DOCUMENTATION FOR ALL REQUIREMENTS.

N.C.C NOTES:

- ALL BALUSTRADE & HANDRAILS AS PER N.C.C (BCA VOL 2) CLAUSE 3.9.2.
- (S)HARD WIRED, INTERCONNECTING SMOKE ALARMS AS PER N.C.C (BCA VOL 2) CLAUSE 3.7.5 AND AS 3786.
- CONDENSATION MANAGEMENT (PLIABLE BUILDING MEMBRANES - AS 4200, EXHAUST SYSTEMS AND ROOF VENTILATION) TO BE AS PER NCC 3.8.7.

CEILING FIXER NOTES:

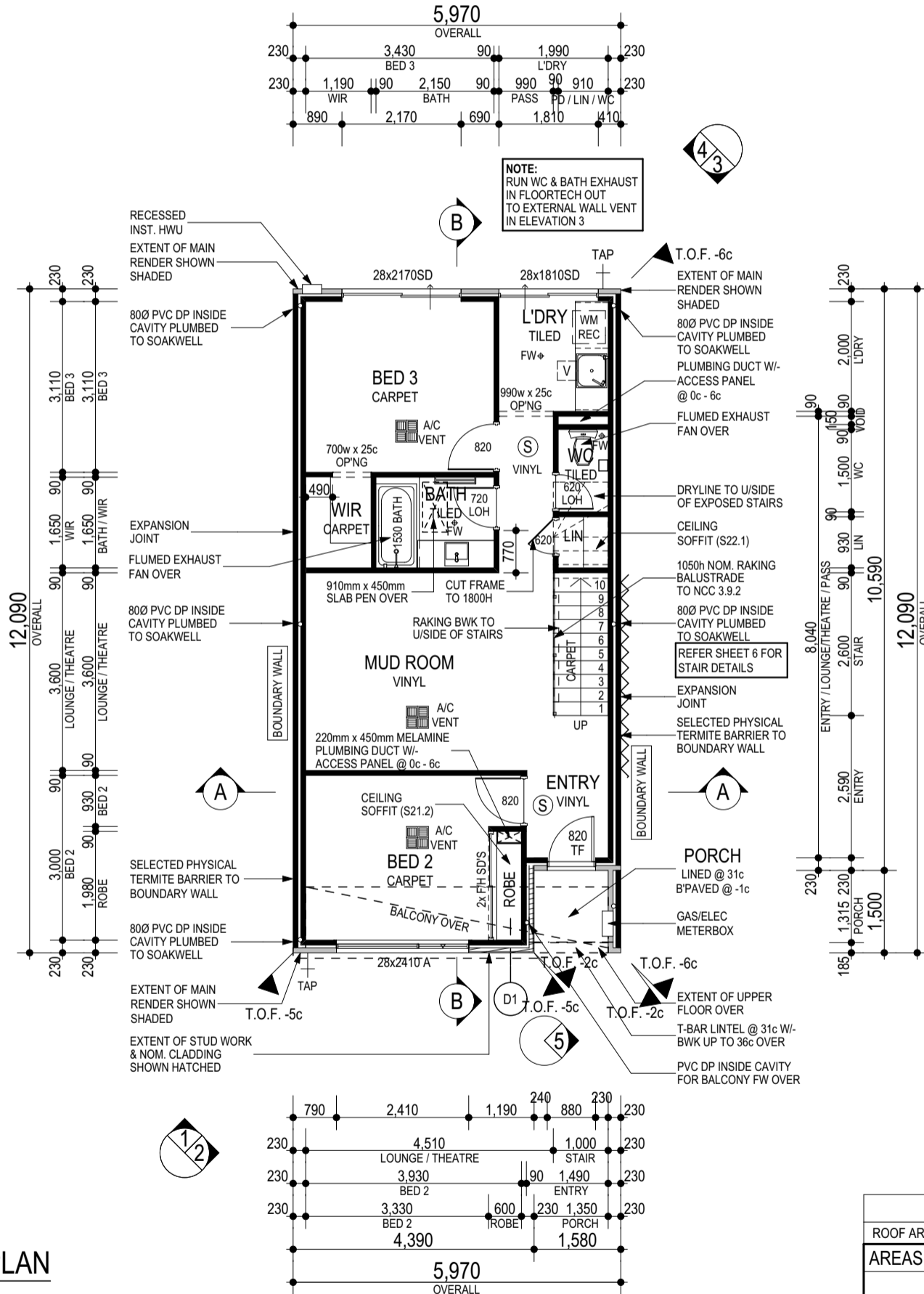
- CEILING @ 31c TO GROUND FLOOR UNLESS NOTED OTHERWISE.

FIXING CARPENTER NOTES:

- 450D SHELF & RAIL @1700 HIGH TO ROBES UNLESS OTHERWISE NOTED.
- 4x450D SHELVES TO LINEN.

6 STAR NOTE:

- EXTENT OF CAVITY INSULATION. REFER TO ADDENDA.



GROUND FLOOR PLAN

SCALE 1:100

TERRACE

Level 8, 67 Walters Drive, Osborne Park WA 6017
Tel: (08) 6461 5340
P.O. Box 131 Mt. Hawthorn WA 6915
Reg. Builder No. 6415 A.B.N. 54 009 063 076
terracewa.com.au

REVISION	VO #	DRN	DATE	CHK
	WD1	DJ	20.09.21	RS
AMENDS	WD2	MR	25.10.21	MR
ENGCHK	WD3	RS	11.11.21	RS

Sub-contractors to verify all dimensions on site.

CLIENT:
DATE:
CLIENT:
DATE:
BUILDER:
DATE:

CLIENT: MCDONALD
ADDRESS: LOT 3 MYKONOS VIEW ILUKA

WINDSOR
TERRACE SPECIFICATIONS 2c BLOCKS
MODEL N° 17465 DATE 11.11.21
MAP REF. WIND RATING
COASTAL CATEGORY ENGINEERS DETAIL
JOB N° 95345 SHEET N° 1 OF 11

GENERAL NOTES:

- THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.
- ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT ALLOW FOR PLASTER THICKNESS/ WALL LINING THICKNESS
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS.
- FLOOR WASTE, CEILING VENT & MANHOLE LOCATIONS ARE SUBJECT TO CHANGE AT THE BUILDER'S DISCRETION.
- THE BUILDER RESERVES THE RIGHT TO ADJUST WINDOW AND SLIDING DOOR SIZES, INTERNAL ROOM SIZES, AND O'ALL LENGTH AND WIDTH OF DWELLING, WHICH MAY RESULT IN A CHANGE IN THE O'ALL HOUSE AREA FROM THE ORIGINAL STANDARD HOUSE PLAN.
- DO NOT SCALE FROM THIS DRAWING. ALL SUB-CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.

TRADES/ SUPPLIERS/ SUPERVISORS NOTE:

- FOR TYPICAL TERRACE CONSTRUCTION DETAILS. REFER TO SEPARATE DETAILS DOCUMENT. CONTACT BUILDING SUPERVISOR IF REQUIRED.
- FOR NON-STANDARD TERRACE CONSTRUCTION DETAILS REFER TO DETAIL PLANS.

SUSPENDED FLOOR NOTE:

- 5c SUSPENDED FLOOR SYSTEM TO S.E. DETAILS.

BRICKLAYER NOTES:

- 230w CAVITY BRICKWORK, THIRD BOND & RENDER FINISH EXTERNALLY AS SHOWN ON FLOOR PLAN & ELEVATIONS.
- WEEPHOLES AT MINIMUM 1200 CENTRES TO CAVITY BRICKWORK

RENDERER NOTES:

- RENDERED BRICKWORK EXTERNALLY UNLESS NOTED OTHERWISE. REFER TO ADDENDA.
- INSTALL PLASTIC BEAD TO FRONT ENTRY DOOR SILL WHEN RENDERED
- DO NOT COVER WEEP HOLES WITH RENDER
- RENDER TO EXTEND DOWN TO TOP OF FOOTING

BOUNDARY WALL NOTE:

- FIRE SEPARATION TO NCC FIGURE 3.7.2.3

AIRCON NOTE:

- PROVIDE REVERSE CYCLE DUCTED AIR CONDITIONING TO CONTRACTORS PLAN.

ROOF PLUMBER NOTES:

- DOWNPIPES TO BE LOCATED AS PER PLANS BUT MAY BE RELOCATED AT SUPERVISORS DISCRETION.
- GUTTER BRACKETS TO BE INSTALLED @ 1200mm MAX CENTRES
- GUTTER AND DOWNPIPES TO BE INSTALLED TO NCC 3.5.3 & AS 2179.1 (METAL) / AS 1273 (UPVC)

ROOF CARPENTER NOTES:

- CONVENTIONAL TIMBER FRAMED ROOF APPLIES IN ACCORDANCE TO AS1684.
- ROOF FRAMING TO BE MINIMUM H2 TREATED TIMBER.

ROOF INSULATION NOTES:

- R4.0 CEILING INSULATION AS PER ADDENDA.

BAL 12.5:

- REFER TO SEPARATE BUSHFIRE DOCUMENTATION FOR ALL REQUIREMENTS.

RESTRICTED OPENING NOTE:

- RESTRICTED OPENING AS PER NCC 3.9.2.6 & 3.9.2.7

N.C.C NOTES:

- ALL BALUSTRADE & HANDRAILS AS PER N.C.C (BCA VOL 2) CLAUSE 3.9.2.
- (S) HARD WIRED, INTERCONNECTING SMOKE ALARMS AS PER N.C.C (BCA VOL 2) CLAUSE 3.7.5 AND AS 3786.
- CONDENSATION MANAGEMENT (PLIABLE BUILDING MEMBRANES - AS 4200, EXHAUST SYSTEMS AND ROOF VENTILATION) TO BE AS PER NCC 3.8.7.

CEILING FIXER NOTES:

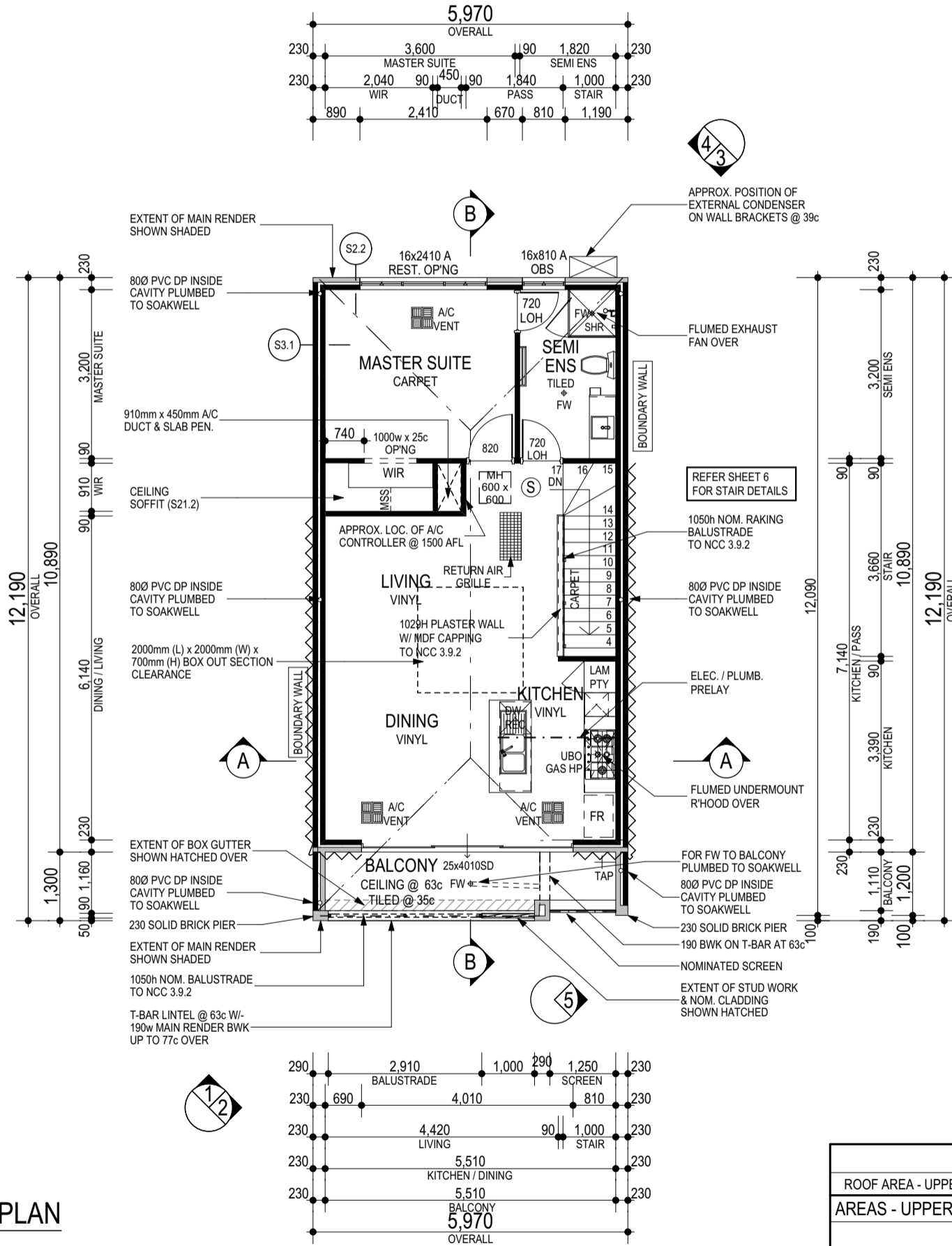
- CEILING @ 64c (28c AFL) + PLATE TO FIRST FLOOR UNLESS NOTED OTHERWISE

FIXING CARPENTER NOTES:

- 450D SHELF & RAIL @ 1700 HIGH TO WIR UNLESS OTHERWISE NOTED.
- PROVIDE MID-SHELF SUPPORT WHERE NOTED "MSS" TO ANY SHELF OVER 2.4M LONG.

6 STAR NOTE:

- EXTENT OF CAVITY INSULATION. REFER TO ADDENDA.



FIRST FLOOR PLAN
SCALE 1:100

ROOF AREAS FIRST		
ROOF AREA - UPPER [m2 ON THE FLAT]	67.36	
AREAS - UPPER		
	PERIM. (m)	AREA (m2)
HOUSE (FIRST)	33.72	65.01
BALCONY	14.54	7.61
		72.62 m ²

TERRACE

Level 8, 67 Walters Drive, Osborne Park WA 6017
Tel: (08) 6461 5340
P.O. Box 131 Mt. Hawthorn WA 6915
Reg. Builder No. 6415 A.B.N. 54 009 063 076
terracewa.com.au

REVISION	VO #	DRN	DATE	CHK
	WD1	DJ	20.09.21	RS
AMENDS	WD2	MR	25.10.21	MR
ENGCHK	WD3	RS	11.11.21	RS

Sub-contractors to verify all dimensions on site.

CLIENT:

DATE:

CLIENT:

DATE:

BUILDER:

DATE:

CLIENT: MCDONALD

ADDRESS: LOT 3 MYKONOS VIEW ILUKA

WINDSOR

TERRACE SPECIFICATIONS 2c BLOCKS

MODEL N°	DATE
17465	11.11.21
MAP REF.	WIND RATING
COASTAL CATEGORY	ENGINEERS DETAIL
JOB N°	SHEET N°
95345	2 OF 11

GENERAL NOTES:

- THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.
- ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT ALLOW FOR PLASTER THICKNESS OR CORNER BEADING.
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS.
- THE BUILDER RESERVES THE RIGHT TO ADJUST DOOR SIZES, INTERNAL ROOM SIZES, AND O'ALL LENGTH AND WIDTH OF DWELLING, WHICH MAY RESULT IN A CHANGE IN THE O'ALL HOUSE AREA FROM THE ORIGINAL STANDARD HOUSE PLAN.
- DO NOT SCALE FROM THIS DRAWING. ALL SUB-CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.

CEILING FIXER NOTES:

- CEILING TO GARAGE AS NOTED.

BRICKLAYER NOTES:

- 90w BRICKWORK, THIRD BOND & RENDER FINISH EXTERNALLY AS SHOWN ON FLOOR PLAN & ELEVATIONS.
- WEEPHOLES AT MINIMUM 1200 CENTRES TO CAVITY BRICKWORK

ROOF PLUMBER NOTES:

- DOWNPIPES TO BE LOCATED AS PER PLANS BUT MAY BE RELOCATED AT SUPERVISORS DISCRETION.
- GUTTER BRACKETS TO BE INSTALLED @ 1200mm MAX CENTRES
- GUTTER AND DOWNPIPES TO BE INSTALLED TO NCC 3.5.3 & AS 2179.1 (METAL) / AS 1273 (UPVC)

ROOF CARPENTER NOTES:

- CONVENTIONAL TIMBER FRAMED ROOF APPLIES IN ACCORDANCE TO AS1684.
- ROOF FRAMING TO BE MINIMUM H2 TREATED TIMBER.

TRADES/ SUPPLIERS/ SUPERVISORS NOTE:

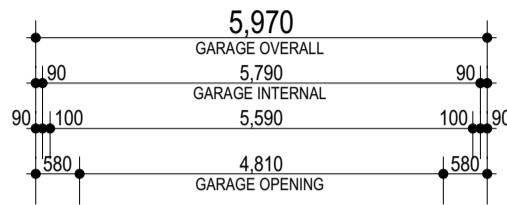
- FOR TYPICAL TERRACE CONSTRUCTION DETAILS. REFER TO SEPARATE DETAILS DOCUMENT. CONTACT BUILDING SUPERVISOR IF REQUIRED.
- FOR NON-STANDARD TERRACE CONSTRUCTION DETAILS REFER TO DETAIL PLANS.

RENDERER NOTES:

- RENDERED BRICKWORK EXTERNALLY UNLESS NOTED OTHERWISE. REFER TO ADDENDA.
- DO NOT COVER WEEP HOLES WITH RENDER
- RENDER TO EXTEND DOWN TO TOP OF FOOTING

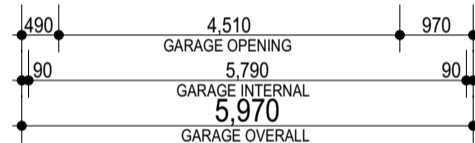
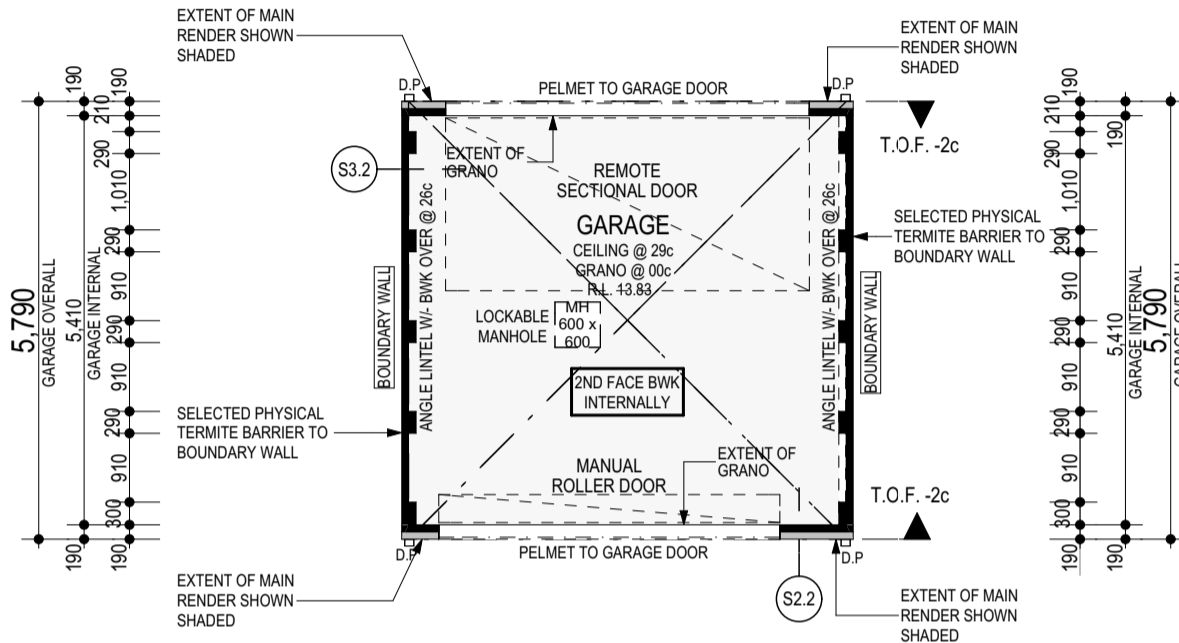
BOUNDARY WALL NOTE:

- FIRE SEPARATION TO NCC FIGURE 3.7.2.3



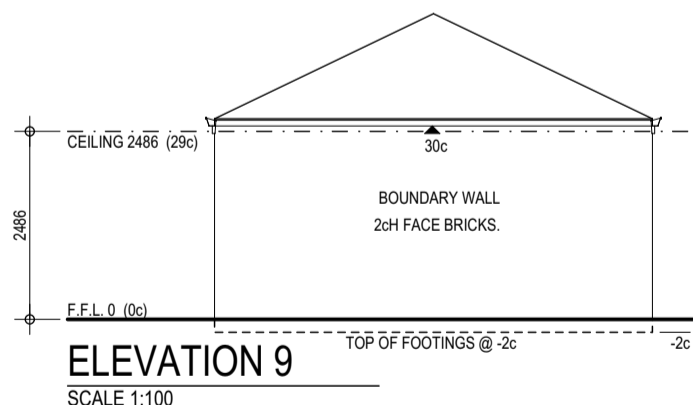
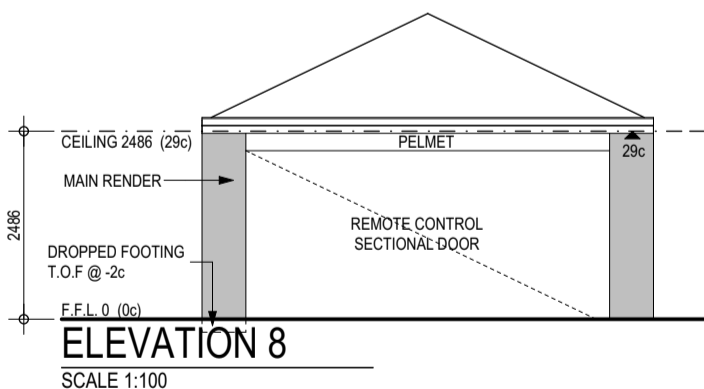
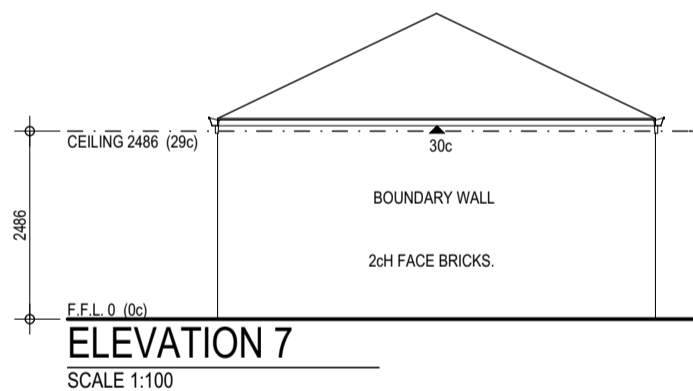
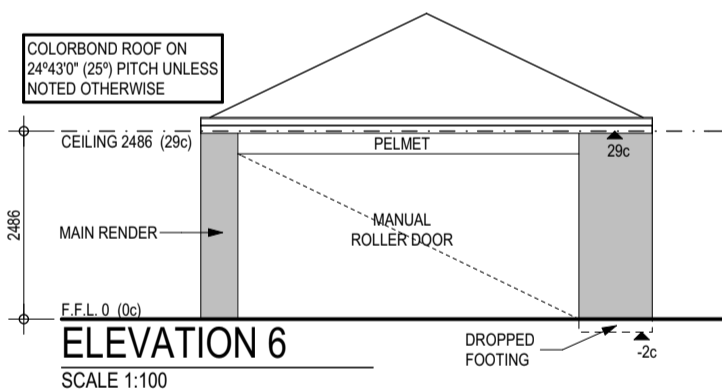
NOTE:

GARAGE COURSING HEIGHTS ARE INDEPENDENT OF MAIN RESIDENCE FLOOR LEVEL. GARAGE COURSING HEIGHTS ARE REFERENCED TO GRANO @ -1c (RL: 13.874)



FREESTANDING GARAGE PLAN

SCALE 1:100



ROOF AREAS GARAGE		
ROOF AREA - GARAGE [m2 ON THE FLAT]	33.52	
AREAS - GARAGE		
	PERIM. (m)	AREA (m2)
GARAGE	23.52	34.57
		34.57 m ²

TERRACE

Level 8, 67 Walters Drive, Osborne Park WA 6017
Tel: (08) 6461 5340
P.O. Box 131 Mt. Hawthorn WA 6915
Reg. Builder No. 6415 A.B.N. 54 009 063 076
terracewa.com.au

REVISION	VO #	DRN	DATE	CHK
	WD1	DJ	20.09.21	RS
AMENDS	WD2	MR	25.10.21	MR
ENGCHK	WD3	RS	11.11.21	RS
Sub-contractors to verify all dimensions on site.				

CLIENT:
DATE:
CLIENT:
DATE:
BUILDER:
DATE:

CLIENT: MCDONALD
ADDRESS: LOT 3 MYKONOS VIEW ILUKA

WINDSOR	
TERRACE SPECIFICATIONS	2c BLOCKS
MODEL N°	DATE
17465	11.11.21
MAP REF.	WIND RATING
COASTAL CATEGORY	ENGINEERS DETAIL
JOB N°	SHEET N°
95345	5 OF 11

ELEVATION NOTES:

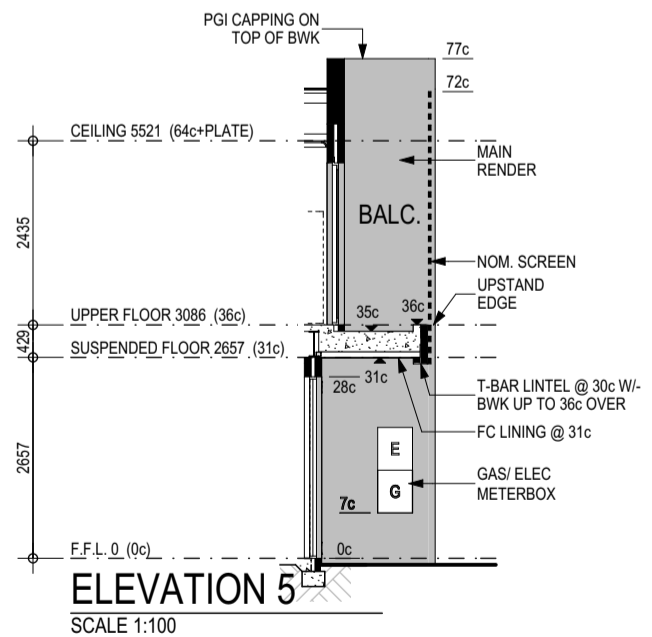
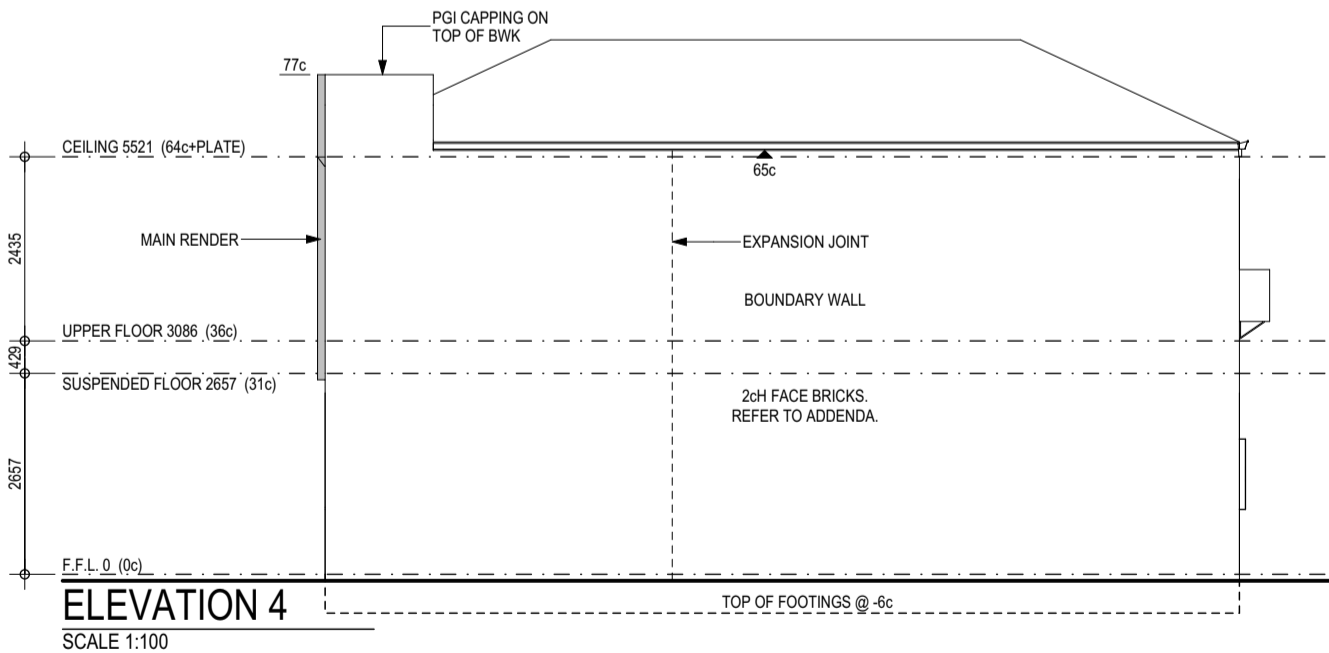
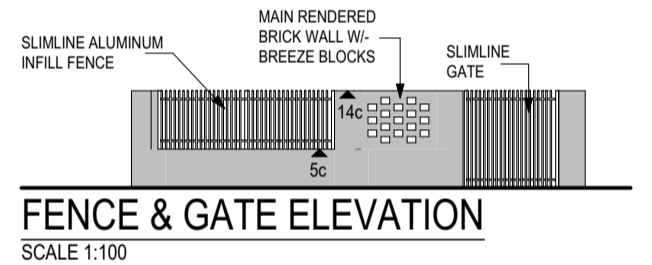
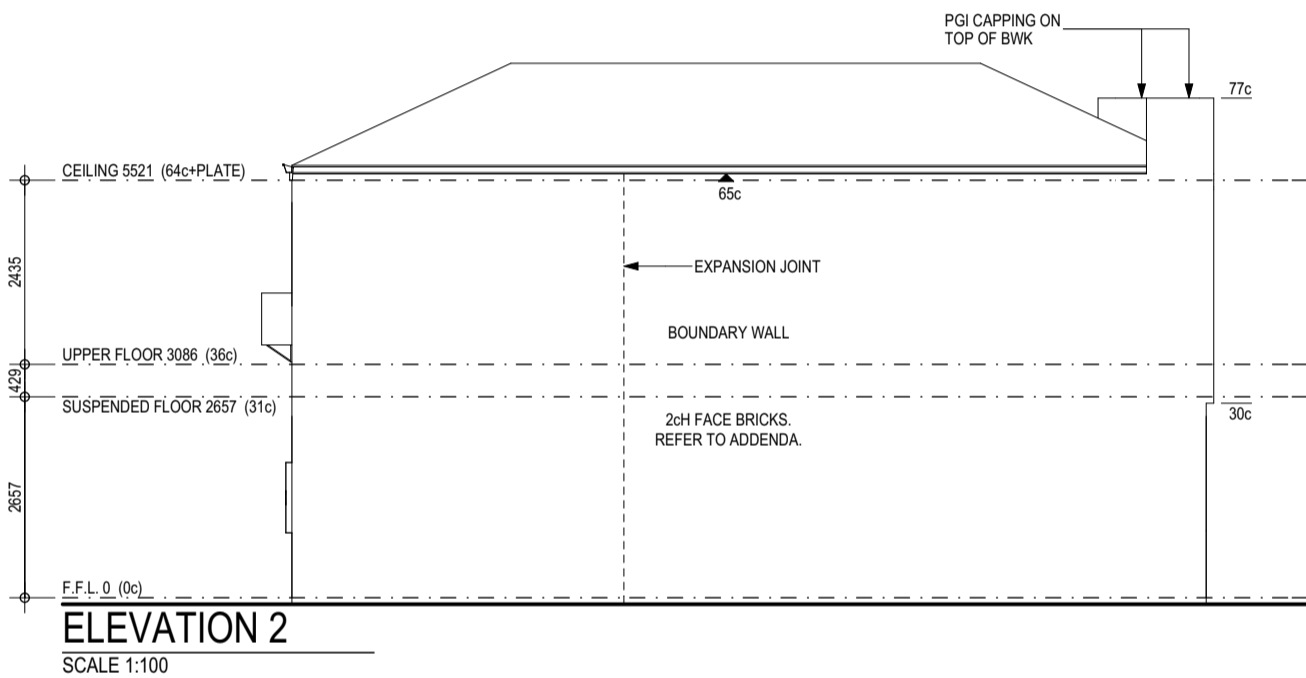
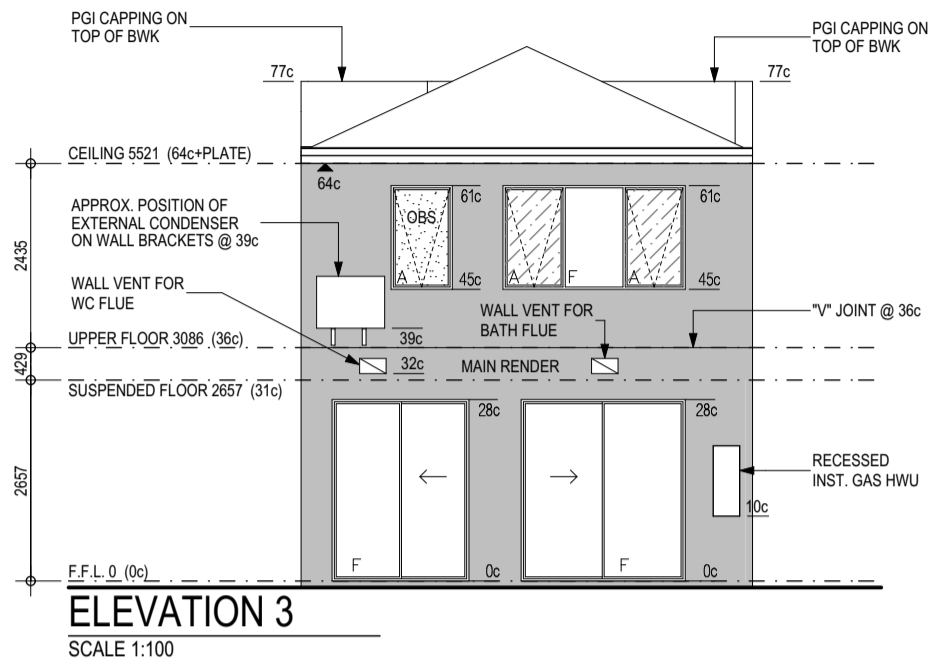
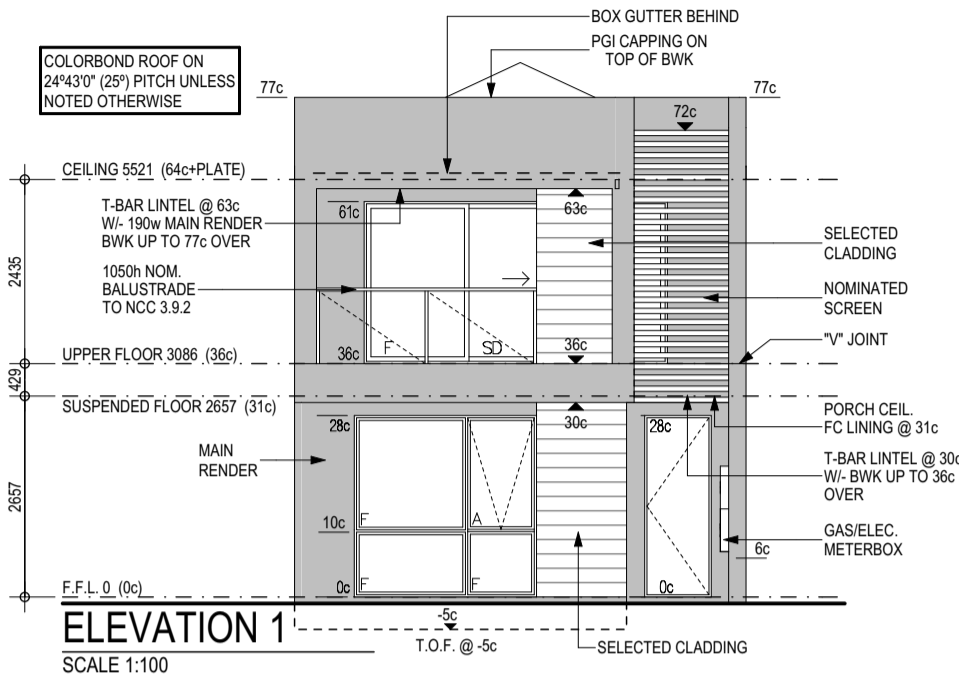
- CONVENTIONAL ROOF FRAME APPLIES.
- ROOF TIE DOWN/FIXING STRAPS TO COMPLY WITH AS 3700 OR AS 4773 OR AS PER ENGINEER'S DETAIL.
- GLAZING DESIGNED AND CONSTRUCTED IN ACCORDANCE TO AS1288 AND AS2047. ALL SUB-CONTRACTORS TO CHECK DIMENSIONS & NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.
- ALL DIMENSIONS TO BRICKWORK.
- RESTRICTED OPENING AS PER NCC 3.9.2.6 & 3.9.2.7

WINDOW SUPPLIER NOTE:

- SHADED WINDOWS INDICATE OBSCURE GLAZING.
- GLAZING DESIGNED AND CONSTRUCTED AND CONSTRUCTED IN ACCORDANCE TO AS1288 AND AS2047.

LEGEND:

MAIN RENDER:	
SELECTED CLADDING:	
OBSCURED GLAZING:	
RESTRICTED OPENING:	
SHOWN HATCHED:	



TERRACE

Level 8, 67 Walters Drive, Osborne Park WA 6017
Tel: (08) 6461 5340
P.O. Box 131 Mt. Hawthorn WA 6915
Reg. Builder No. 6415 A.B.N. 54 009 063 076
terracewa.com.au

REVISION	VO #	DRN	DATE	CHK
	WD1	DJ	20.09.21	RS
AMENDS	WD2	MR	25.10.21	MR
ENGCHK	WD3	RS	11.11.21	RS
Sub-contractors to verify all dimensions on site.				

CLIENT:
DATE:
CLIENT:
DATE:
BUILDER:
DATE:

CLIENT: MCDONALD
ADDRESS: LOT 3 MYKONOS VIEW ILUKA

© COPYRIGHT

WINDSOR

TERRACE SPECIFICATIONS 2c BLOCKS

MODEL N°	DATE
17465	11.11.21
MAP REF.	WIND RATING
COASTAL CATEGORY	ENGINEERS DETAIL
JOB N°	SHEET N°
95345	3 OF 11