

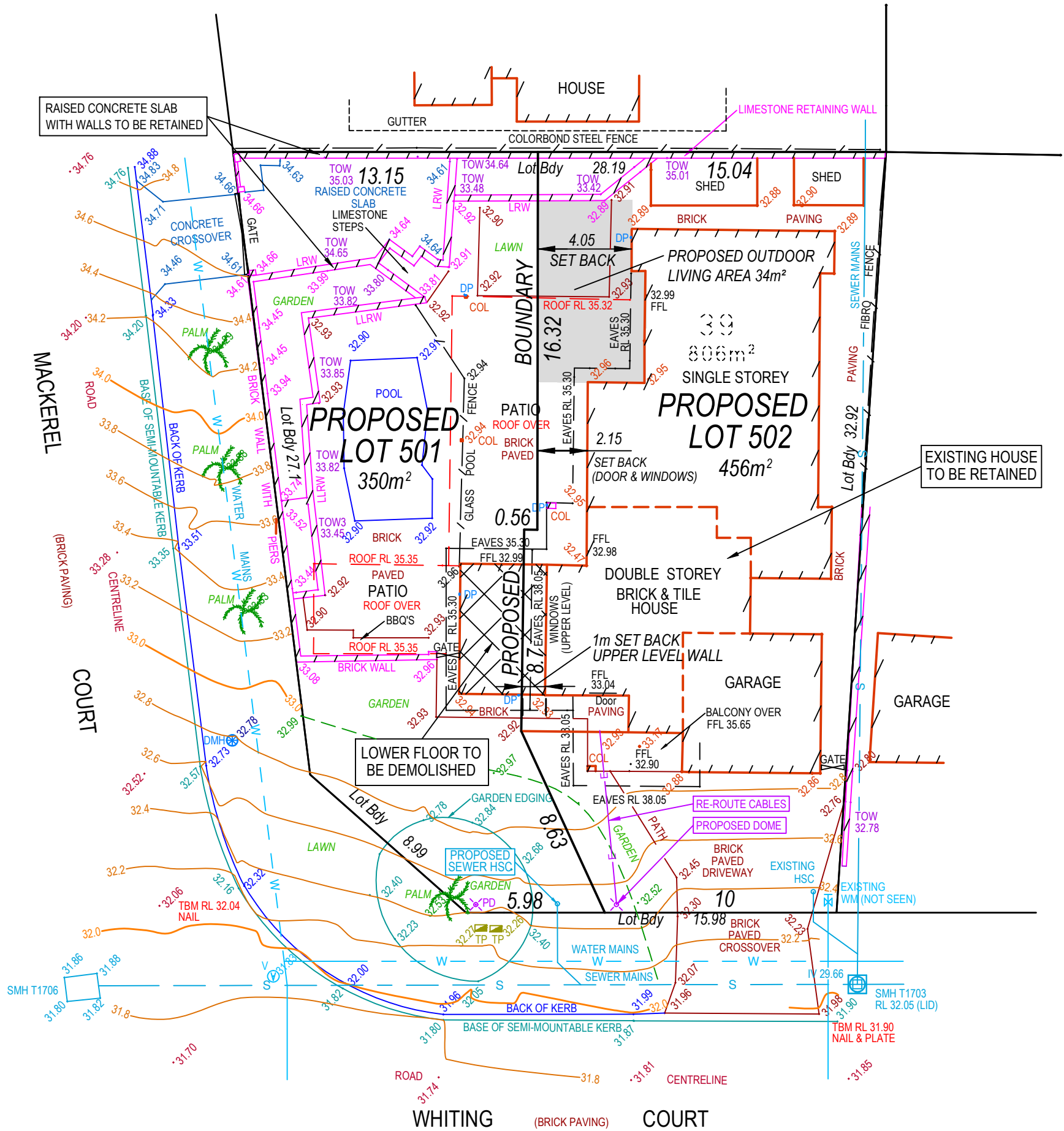


Tonkin

Proposed Residence at 7 Whiting Court, Sorrento

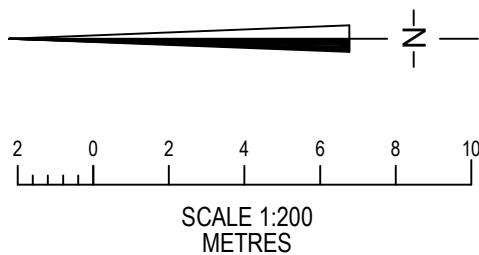


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LEGEND

- COL COLUMN
- DMH DRAINAGE MANHOLE
- DP DOWN PIPE
- FFL FINISHED FLOOR LEVEL
- HSC SEWER HOUSE CONNECTION
- IV INVERT LEVEL
- LLRW LOW LIMESTONE RETAINING WALL
- LRW LIMESTONE RETAINING WALL
- PD POWER DOME
- RL REDUCED LEVEL
- SMH SEWER MANHOLE
- TBM TEMPORARY BENCH MARK
- TOW TOP OF WALL
- TWP TELSTRA PIT
- V VALVE



NOTES:

1. THE INFORMATION SHOWN ON THIS DRAWING WAS CURRENT AT DATE OF SURVEY.
2. LOT BOUNDARY POSITION INDICATIVE ONLY. SUBJECT TO A RESURVEY.
3. LEVEL DATUM: AHD (APPROX). ORIGIN OF LEVELS: SEWER MANHOLE T1703 RL 32.05m (LID).
4. VISUAL SERVICES ONLY LOCATED BY SURVEY. NO UNDERGROUND SERVICE DETECTION CARRIED OUT.
5. FOR POSITIONS OF UNDERGROUND SERVICES CONTACT 'DIAL BEFORE YOU DIG'.
6. REFER TO CERTIFICATE OF TITLE FOR EASEMENTS AND OTHER INTERESTS / ENCUMBRANCES.

AS TO LOT 501; ALL STRUCTURES TO BE REMOVED & LOWER FLOOR SECTION OF EXISTING HOUSE TO BE DEMOLISHED PARKING WALLS TO BE RETAINED.

LOT SIZES SUBJECT TO SURVEY & WAPC APPROVAL

POSITIONS OF PROPOSED SERVICES ARE INDICATIVE ONLY

NO OF ORIGINAL LOTS : 1
 NO OF PROPOSED LOTS : 2
 TOTAL AREA : 806 m²
 LOT 39 ON P 16441 C/T 1806 - 319
 LOCAL AUTHORITY: CITY OF STIRLING

SORRENTO
 LOT 39 ON P 16441
 7 WHITING COURT
 PROPOSED GREEN
 TITLE SUBDIVISION

Zimoch Surveys

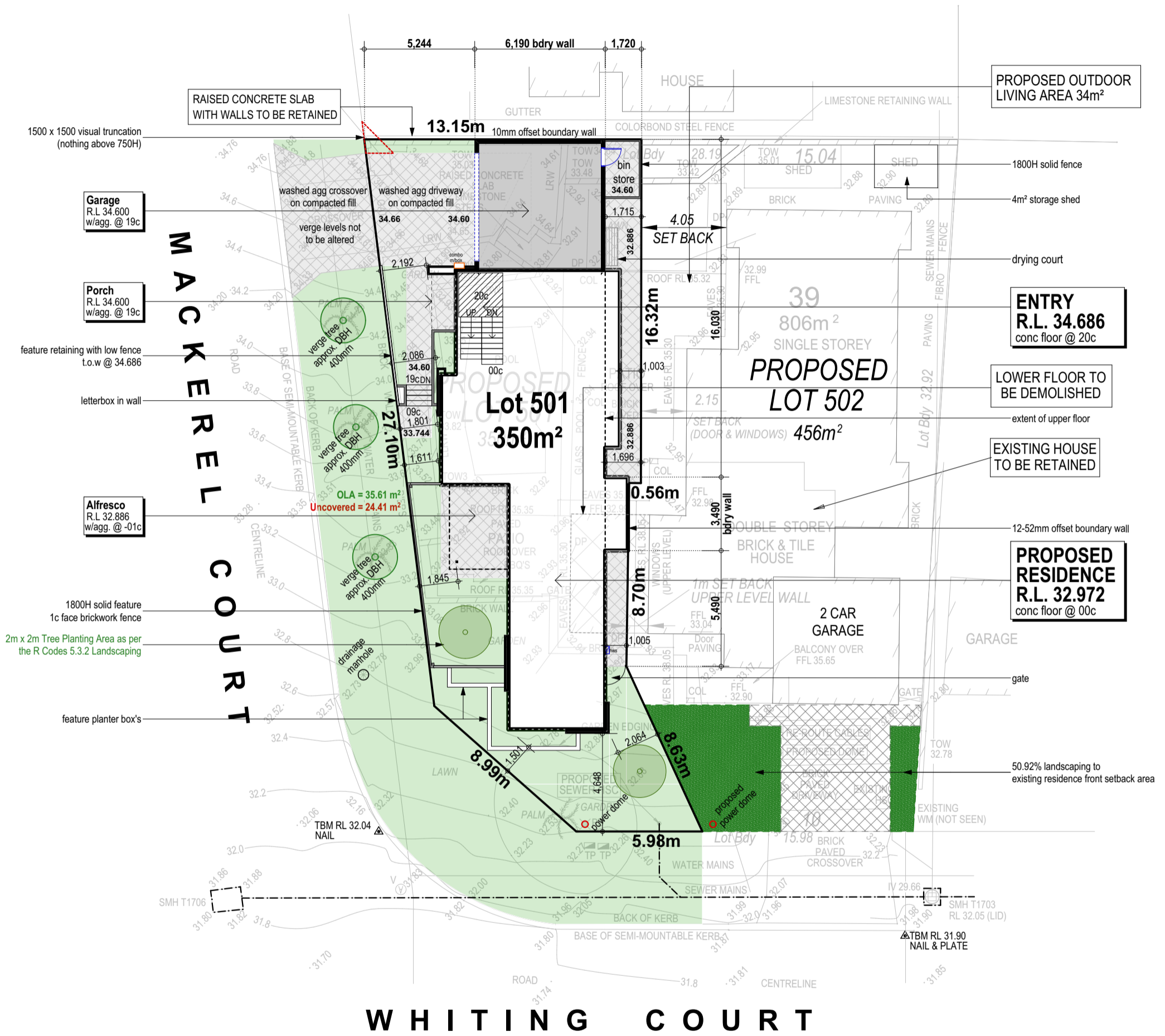
LAND AND ENGINEERING SURVEYORS
 1 LONGWOOD MEWS, LANDSDALE, WA 6065

Tel: 0448 270 878
 Email: markzimoch@iinet.net.au

SURVEYED	MZ	DRAWN	MS	DATE	26.10.2021
DATUM	AHD	C/FILE	21397 PS01 A.dwg	CHECKED	MZ
FB	LB	SCALE AT A3P		DRAWING NO	21397 PS01
REF. NO.	21397	1:200		SIGNED	REVISION A

Dimensions

All dimensions and offsets are indicative ONLY for council purposes and may vary at final documentation stage



Site Plan

scale 1:200

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Open Space Calculation

Lot Area:	350m ²
Allowable Site Coverage 50%:	175m ²
Actual Site Coverage:	174.95m ² (49.98%)

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checked M.A. drawn T.Denslow
scale 1:200 (A3) date 13.04.2022
issued for Planning Approval

JOB No. 2504
SHEET No. 01 of 06

REV No. Rev - xx.xx.xxxx

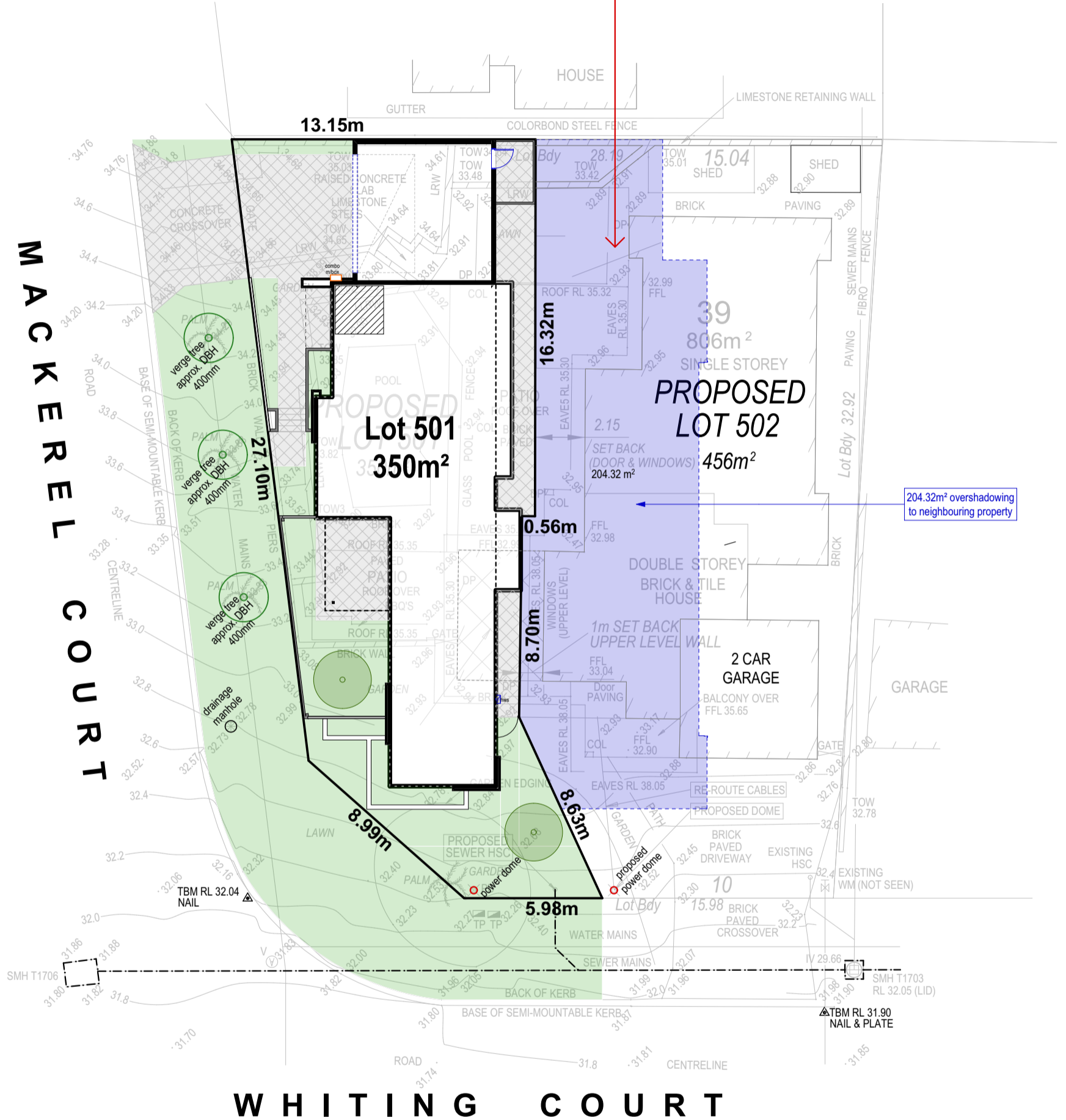
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5.4.2 Solar access

Although the overshadowing is over the 25% allowed.

- As the adjoining lot is also a narrow lot and part of the subdivision that created the 2 lots, the proposed setbacks to the upper floor are similar to the upper floor setbacks of the existing dwelling.
- It is becoming more common for lots to be subdivided with 2 street fronts and therefore the design positively contributes to the future development context and streetscape.

Overall the design makes effective use of space and will have no negative impact to the adjoining property.



Overshadowing Plan

scale 1:200

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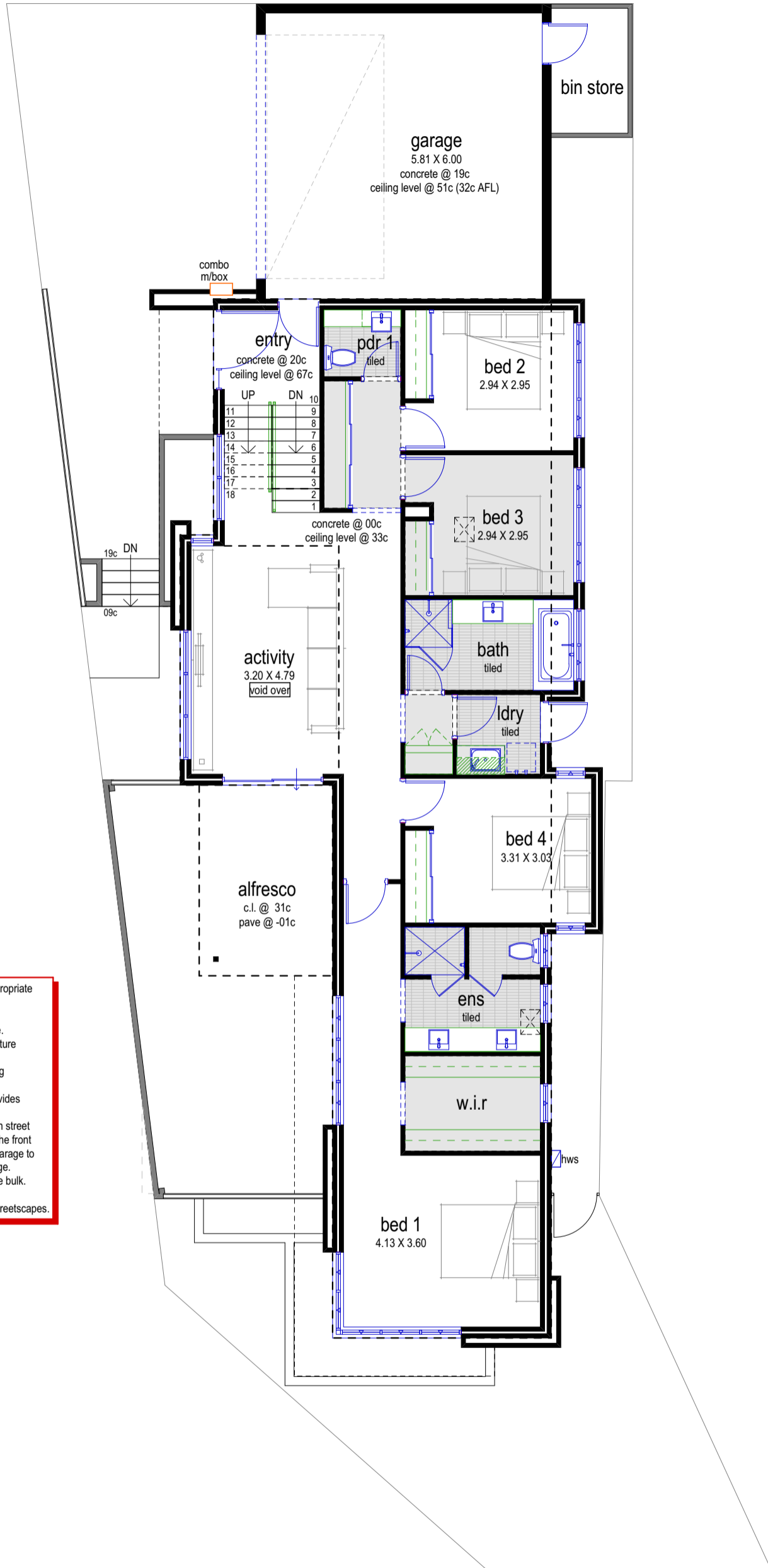


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5.1.2 Street Setback

The proposed setback to the original secondary street is setback an appropriate distance in order to,

- Contribute to and is consistent with the established streetscape.
- Provides adequate privacy and open space by proposing a mixture of fencing styles.
- Is a much improved outcome to the streetscape than the existing 1800 high solid brick fence that does not allow for surveillance.
- The design allows for OLA to be orientated to the north and provides surveillance to the street.
- Relocating the front door would allow for a design to comply with street setbacks however this would provide a poor design outcome as the front door would be well away from the garage. The relocation of the garage to Whiting Court would create a streetscape dominated by the garage.
- The proposed floor levels follow the natural contours to minimise bulk.

Overall the design positively contributes to the primary and secondary streetscapes.



Ground Floor Plan

scale 1:100

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Building Area

Ground Floor:	138.90m ²
Garage:	38.32m ²
Alfresco:	11.20m ²
Porch:	5.61m ²
Upper Floor:	129.24m ²
Balcony:	11.20m ²
Total Area:	334.47m²

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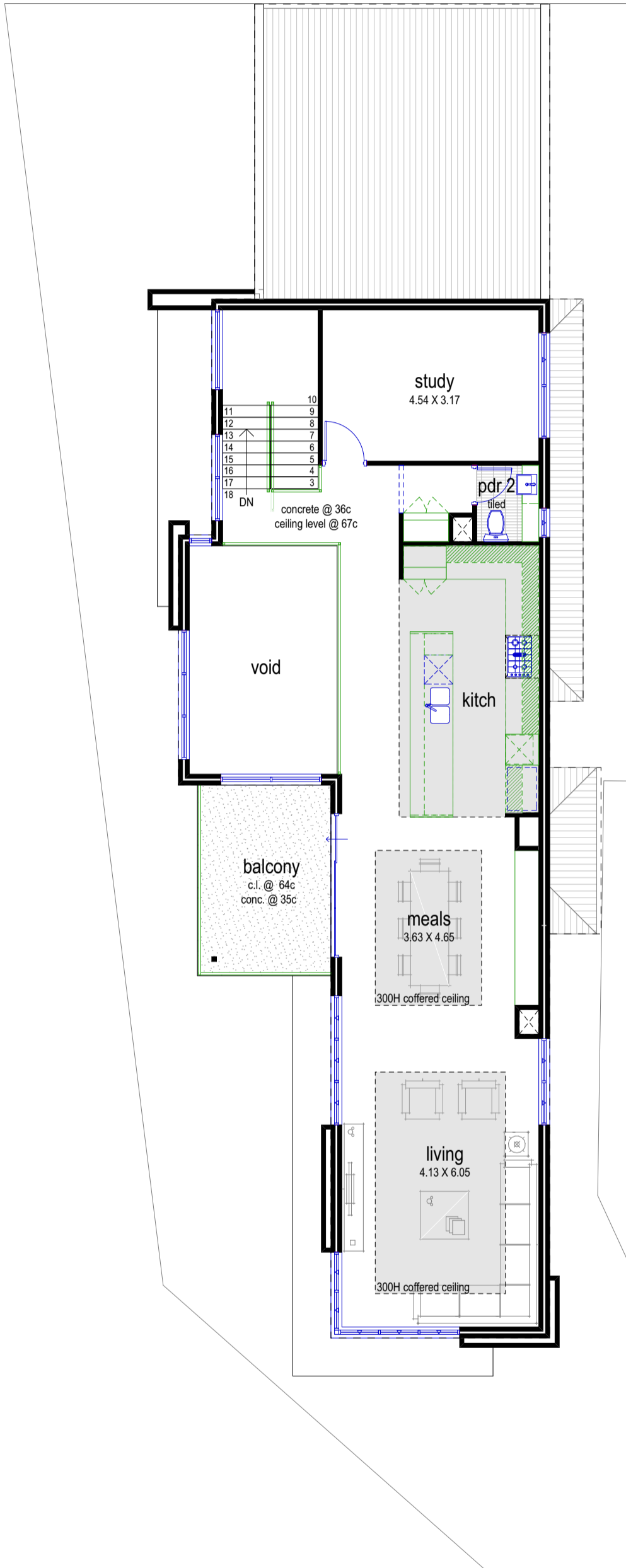


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03 of 06



5.1.3 Lot Boundary Setback

Although the upper floor setback does not comply.

- The proposed reduced setback is only to a portion of the lot due to the irregular shape of the lot.
- The proposed location of the wall with the reduced setback is adjacent to the existing dwelling with no opening to the ground floor.
- There is no overlooking as there are no major openings to habitable rooms along this length of wall.

Overall the design makes effective use of space and will have no negative impact to the adjoining property.



Upper Floor Plan

scale 1:100

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Building Area

Ground Floor:	138.90m ²
Garage:	38.32m ²
Alfresco:	11.20m ²
Porch:	5.61m ²
Upper Floor:	129.24m ²
Balcony:	11.20m ²
Total Area:	334.47m²

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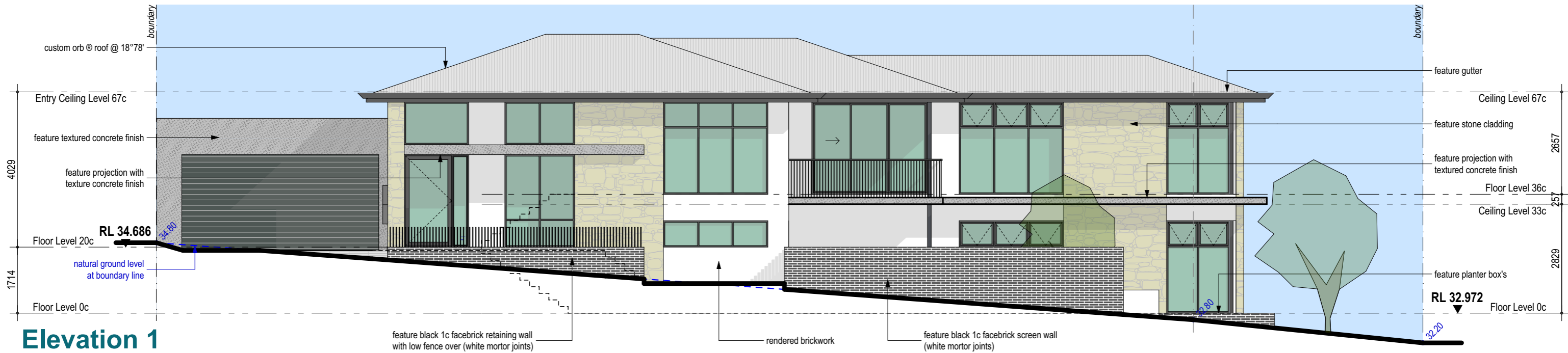


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Elevation 1



Elevation 2

scale 1:100

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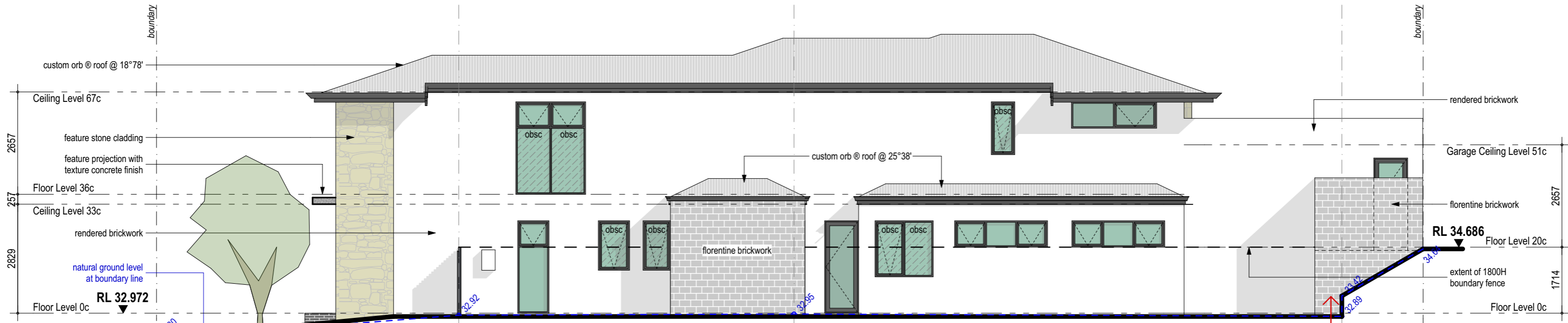
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Elevation 3
scale 1:100

5.3.7 Site works

Although there is a small section of retaining over 0.5m.



- It is not visible from the street.
- It does not create any overlooking.
- The site has a significant slope in this area and the proposed retaining responds to the natural features of the site.
- This small section of retaining allows for effective use of land for the benefit of residents and has no negative impact on the adjoining properties.

Overall the proposed design respects the natural ground level, follows the contours of the land and will complement the streetscape.



Elevation 4
scale 1:100

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