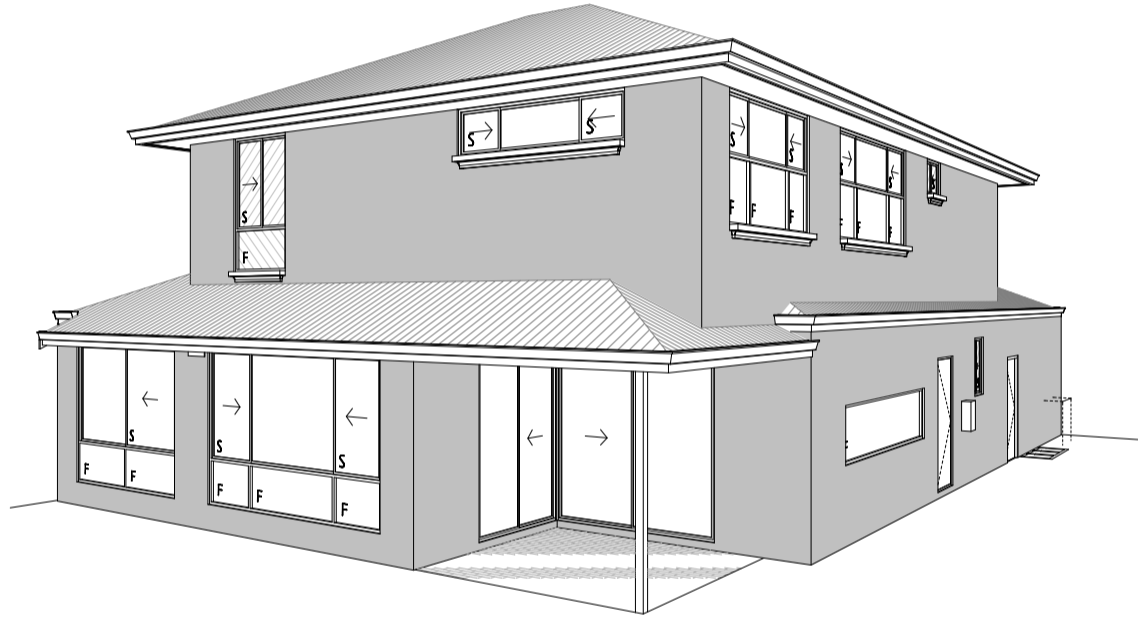
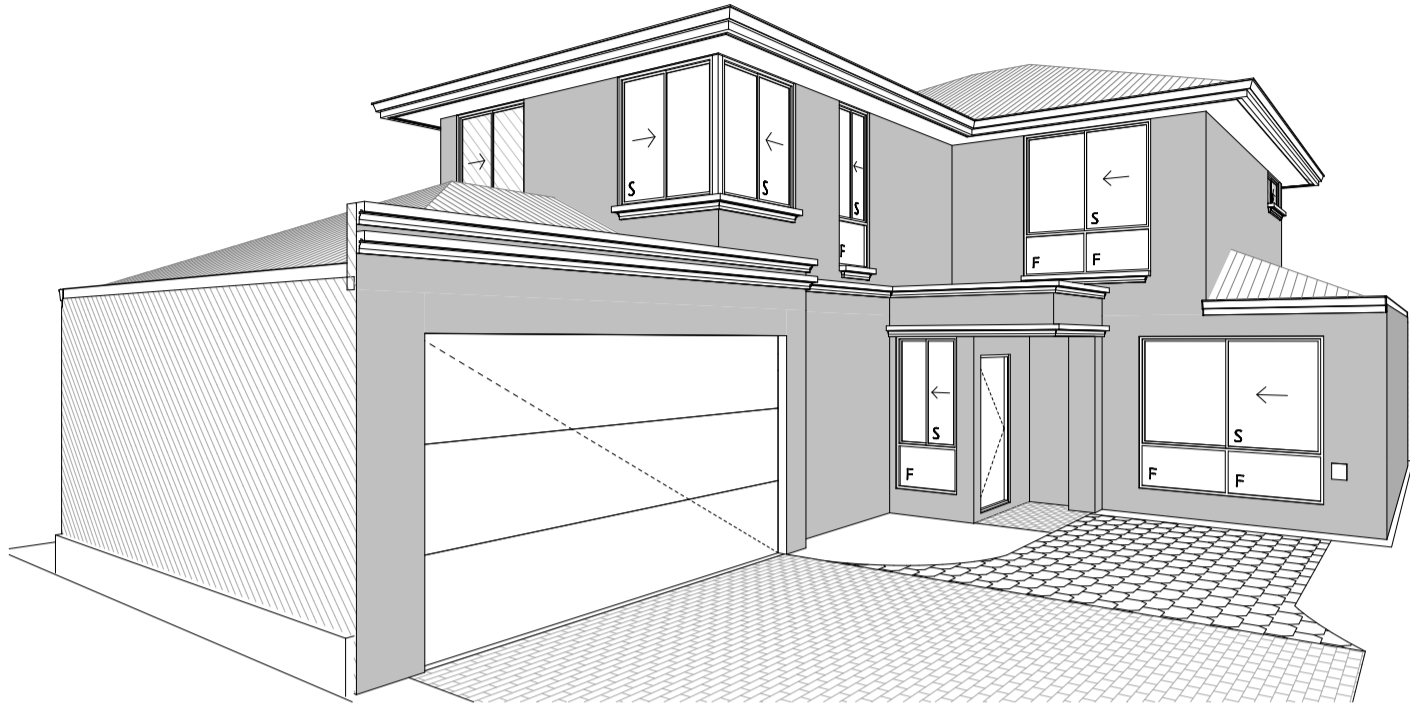




MODCO
RESIDENTIAL

RIVIERA



JOB NO. 1113 RH

PROPOSED DWELLING FOR:

MADELEINE ANNE TREZISE

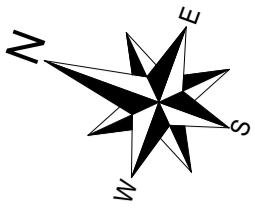
SITE ADDRESS

**LOT 2 (#85) MACQUARIE AVENUE,
PADBURY WA 6025**

Owner 1

Owner 2

Builder



LEGEND	
	Power Dome
	Power Pole
	Phone Pits
	Water Conn.
	Top Pillar/Post
	Top Wall
	Top Retaining
	Top Fence

FFL +/- 20mm TOLERANCE

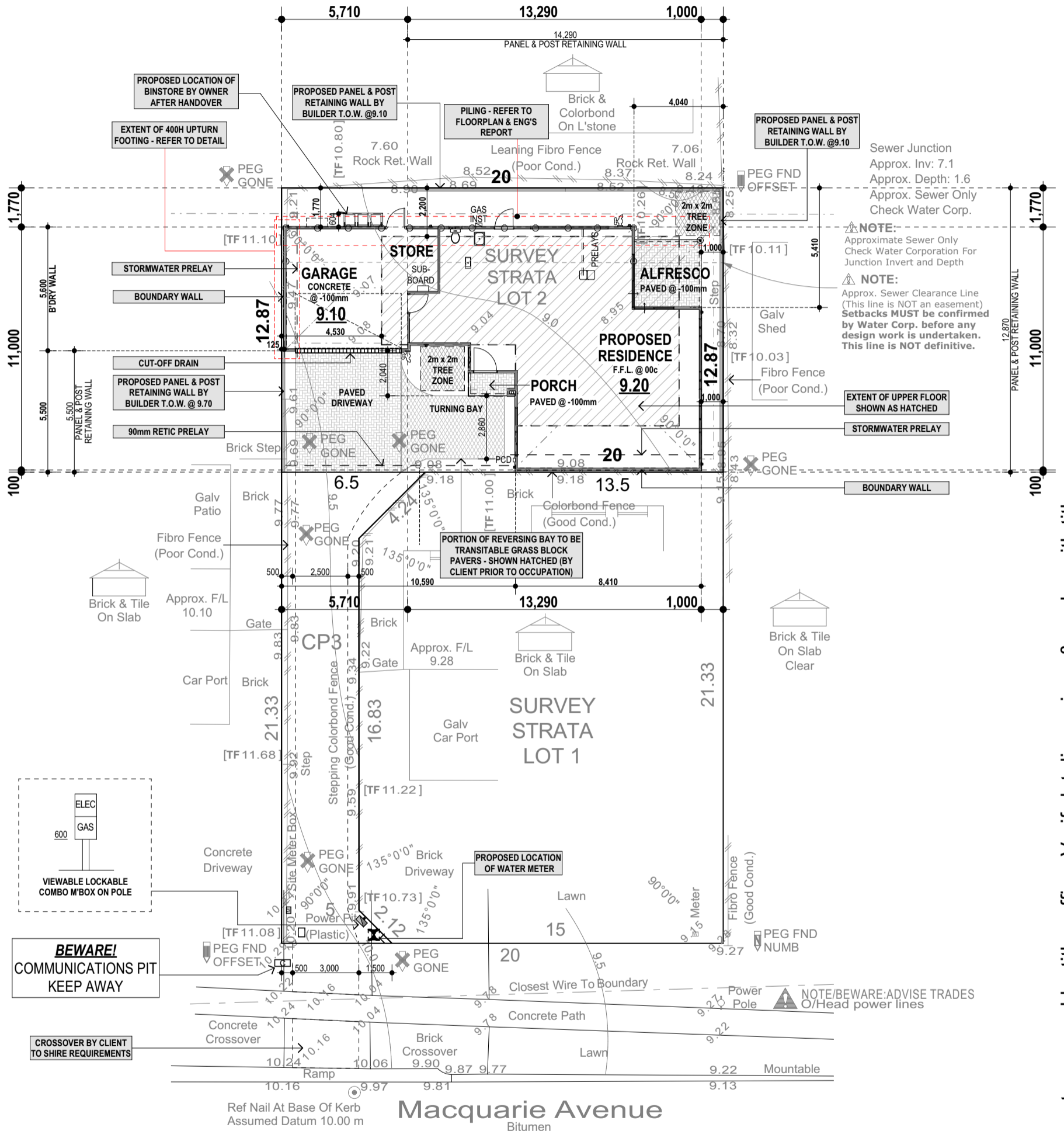
FENCING NOTE:
WHERE APPLICABLE, PLINTH TO FENCE BY CLIENT AFTER HANDOVER

CONCRETOR NOTE:
50mm SETDOWN TO ALL HOBLESS SHOWERS

EARTHWORKS:
1.5m EXTENT AROUND FOOTINGS

STORMWATER:
ENGINEER DESIGNED SOAKWELLS - REFER TO ENGINEERS REPORT IN CONJUNCTION WITH THE ADDENDA

PILING:
X15 PILES REQUIRED - REFER TO ENGINEERS REPORT FOR DEPTH. TO BE READ IN CONJUNCTION W/ THE ADDENDA



Site Plan - PROPOSED
1:200

SSL 2 MISCLOSE	0.000 m
SSL 1 MISCLOSE	0.003 m
CP3 MISCLOSE	0.003 m

Scale 1:200
0 2 4 6 8

COTTAGE SURVEYS

87-89 Guthrie Street
Osborne Park, WA 6017
PO Box 1611
Osborne Park
Business Centre WA 6917
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

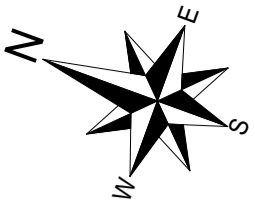
JOB # 510437
CLIENT Trezise
ADDRESS #85 Macquarie Avenue
SUBURB Padbury
LGA CITY OF JOONDALUP
DRAWN B. Smith

GPS Lat: -31.796569 Long: 115.768985
ORDER # 1113RH
LOT Survey Strata Lot 2 (SP 83417 - Unapproved)
Original Lot 484 (Plan 11890)
AREA 257m²
DATE 29 Sep 21 SSA No

ROADS Bitumen
KERBS Mountable
FOOTPATH Concrete
SOIL Sand
DRAINAGE Good
VEGETATION Light Grass Cover

ELEC. U/Ground / O/Head
COMMS. Yes
WATER Yes
GAS Check Alinta
SEWER Yes
COASTAL No (Approximate Only Confirm With Shire)

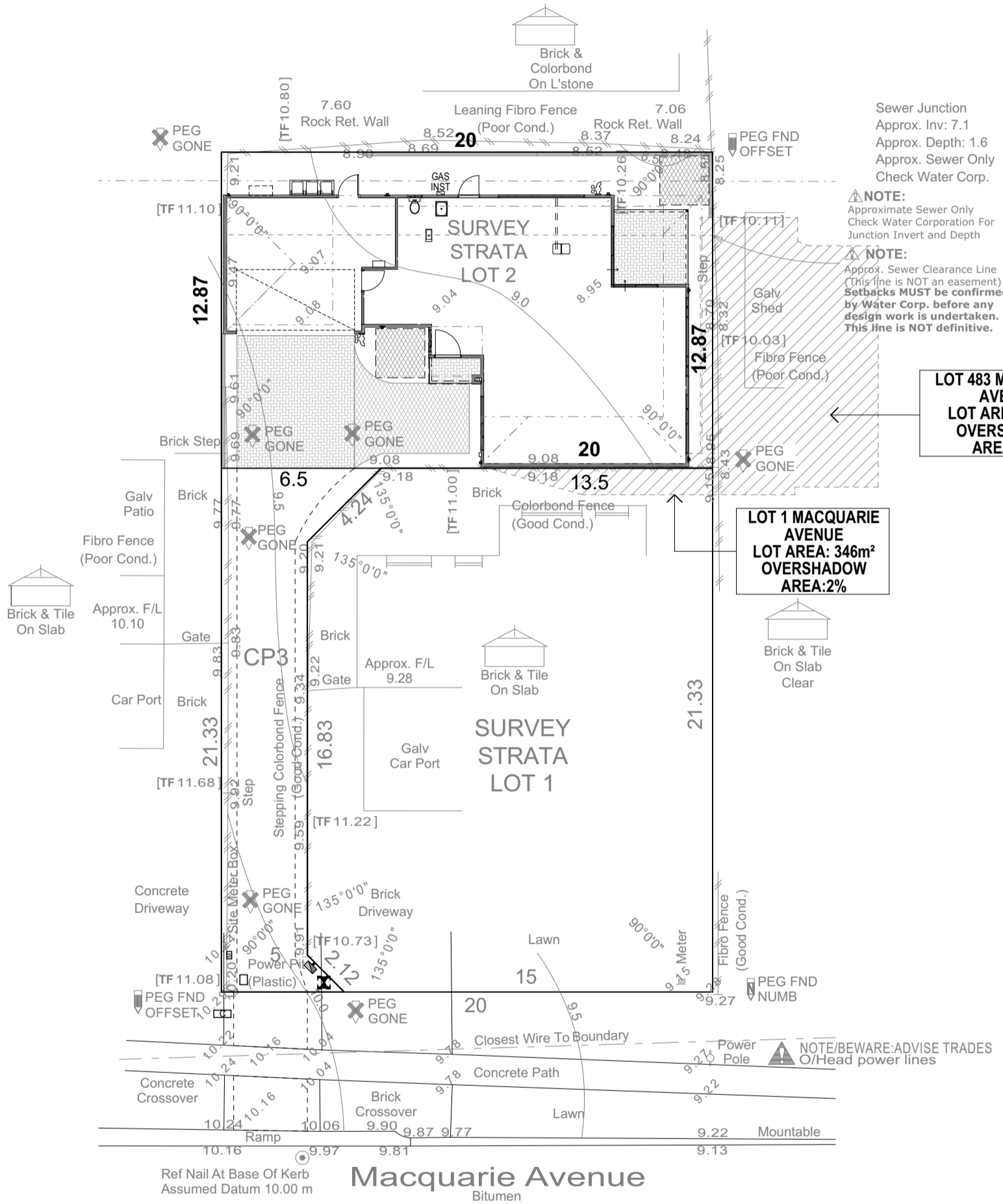
WARNING: Plan not yet approved by titles office. Verify lot dimensions & angles with title.



⊕	Power Dome
⊙	Power Pole
⊕	Phone Pits
⊕	Water Conn.
⊕	Top Pillar/Post
[TF 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

LEGEND:

[Hatched Box] - 12nn JUNE 21st OVERSHADOWING



Site Plan - Overshadowing
1:200

SSL 2 MISCLOSE
0.000 m
SSL 1 MISCLOSE
0.003 m
CP3 MISCLOSE
0.003 m



WARNING: Plan not yet approved by titles office. Verify lot dimensions & angles with title.



87-89 Guthrie Street
Osborne Park, WA 6017

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


ELEC. U/Ground / O/Head
COMMS. Yes
WATER Yes
GAS Check Alinta
SEWER Yes
COASTAL No

(Approximate Only Confirm With Shire)

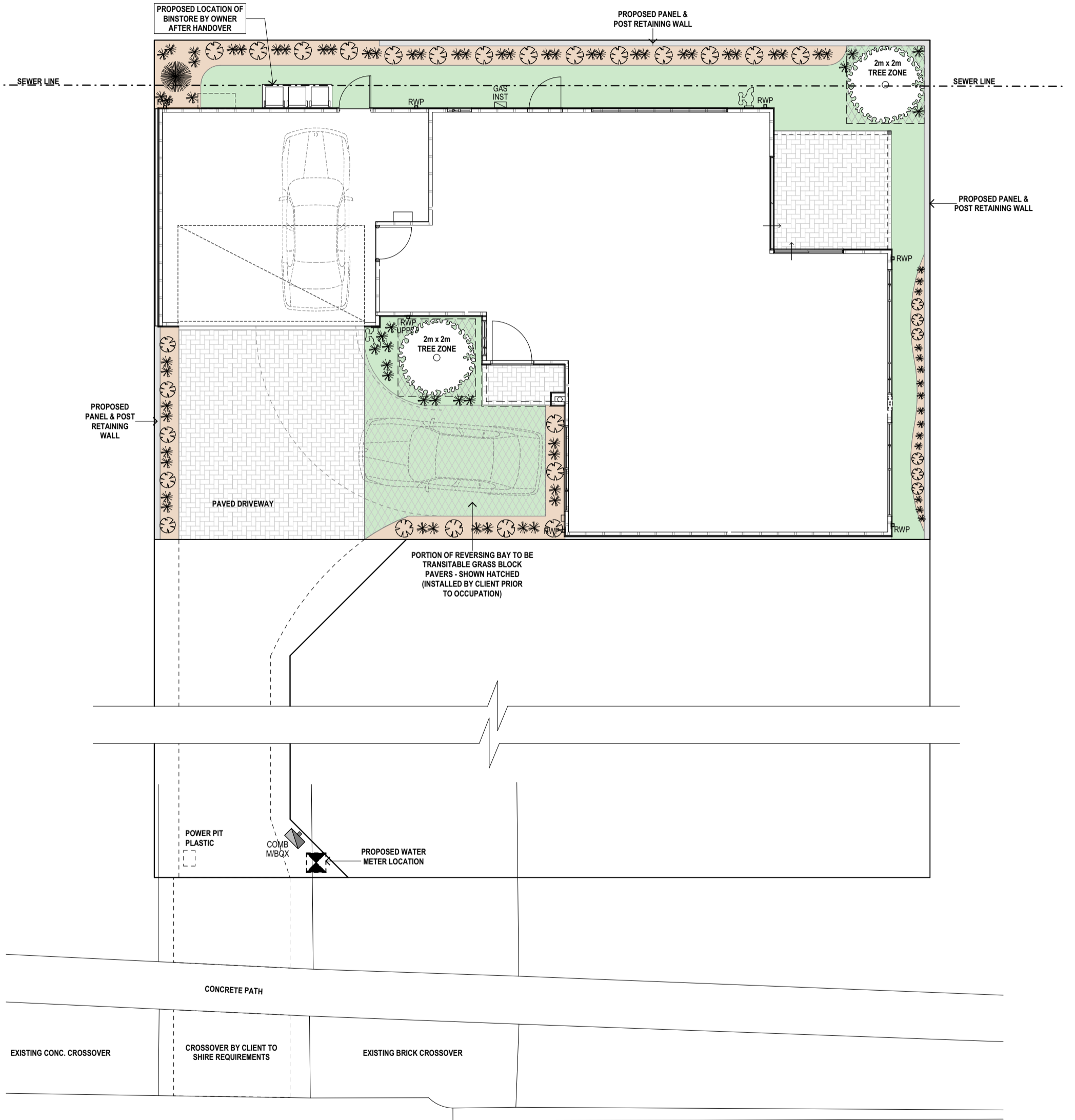
BOTANICAL SCHEDULE

-  **MATURE TREE**
MAGNOLIA GRANDIFLORA (LITTLE GEM)
(45L POT)
-  **MEDIUM SHRUBS**
LEUCOPHYTA BROWNI
(SILVER CUSHION BUSH)
-  **STRAPPY LEAFED PLANTS**
ANIGOZANTHOS
(KANGAROO PAW)
BUSH DIAMOND
-  **GROUND COVERS**
OPHIPOGON JAPONICUS
(MONDO GRASS)

LEGEND

-  **SELECTED PAVING**
AS PER ADDENDA
-  **MULCHED GARDEN BEDS**
-  **LAWN AREA**
WINTER GREEN COUCH



NOTE: LANDSCAPE BY CLIENT AFTER HANDOVER.



MACQUARIE AVENUE

Landscaping Plan

1:100

JOB NO: 1113		INDIVIDUAL DESIGN W/- CUSTOM ELEVATION				Owner 1
  © COPYRIGHT 2022	DATE	REVISION	DRN	CLIENT: MADELEINE ANNE TREZISE	Owner 2	
	07/10/2021	CONTRACT DRAWINGS	CE	ADDRESS: LOT 2 (#85) MACQUARIE AVENUE, PADBURY WA 6025		
	18/10/2021	AMENDMENTS	CE			
	15/11/2021	PRESTART CV1, CV3 & CV 4	RC			
	27/01/2022	FURNITURE LAYOUT	GP			
16/03/2022	AMENDMENTS	FV				
23/06/2022	FINALS CHECK	CE	Builder			
SHEET 3 OF 18		DRN: CE	DATE: 07/10/2021	SCALE: 1:100		

- REFER TO ENGINEER'S N1 WIND LOADING DETAILS
- CORROSION CLASSIFICATION R3
- CEILING TO 2665 AFL UNLESS NOTED OTHERWISE
- R2.0 INSULATION TO INTERNAL & EXTERNAL WALLS
- R4.1 CEILING INSULATION TO HOUSE AND GARAGE ONLY
- REVERSE CYCLE A/C SYSTEM TO HOME REFER TO ADDENDA
- ANTICON INSULATION TO ENTIRE ROOF
- UPTURN FOOTINGS

SITE MANAGER'S NOTE:

GENERAL NOTE:
ALL DIMENSIONS STATED ON THESE DRAWINGS RELATE TO STEEL STUD WALL SETOUT ONLY. CLADDING, PLASTER, TILES AND OTHER FINISHES WILL ALTER THE FINAL DIMENSIONS. CARE SHOULD BE TAKEN TO CONSIDER SUCH ALLOWANCES WHEN CALCULATING CLEARANCES REQUIRED.

CABINERY NOTE:
ALL CABINERY AND BENCHTOPS MAY BE SUBJECT TO SITE MEASURE AND MAY VARY FROM THE NOTED DIMENSIONS

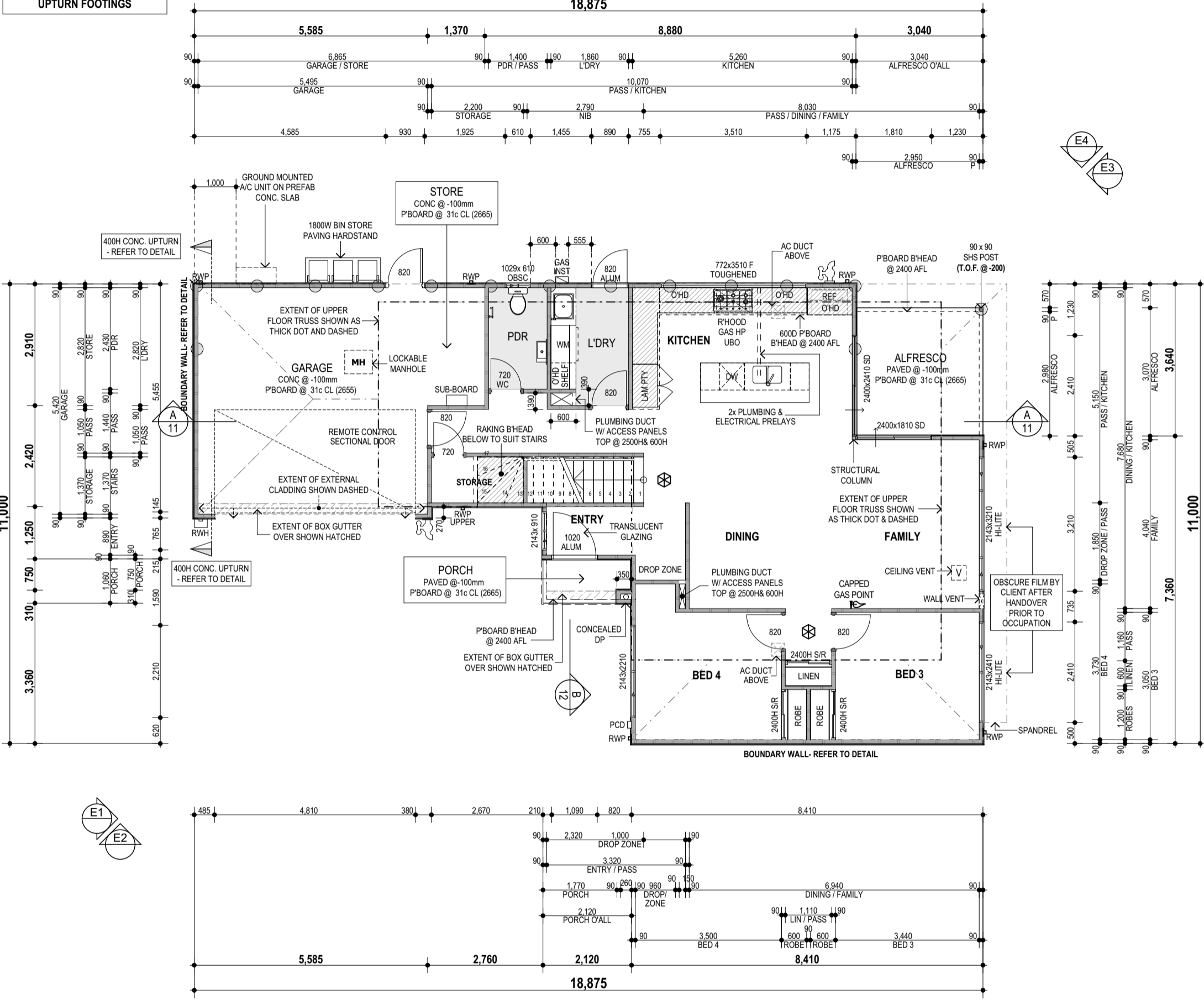
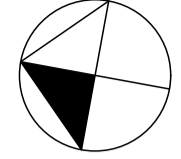
CONCRETOR NOTE:
25mm SETDOWN REQUIRED TO SAND PADON WET AREAS.

CEILING FIXER NOTE:
CEILINGS TO BUILT IN ROBES TO BE 2400mm HIGH U.N.O. FULL HEIGHT CEILINGS TO WIP'S, PANTRY AND WIR'S U.N.O.

PLUMBER NOTE:
NUMBER AND PLACING OF RWP'S IS APPROXIMATE AND GOVERNED BY ROOF STRUCTURE AND AT PLUMBER'S DISCRETION.

FIXING CARPENTER NOTE:

- 450W SHELF & RAIL AT 1800AFL TO WIR'S & BIR'S WITH SLIDING DOORS U.N.O
- 450W SHELF & RAIL AT 1650AFL TO BIR'S WITH HINGED DOORS U.N.O
- 4x450W SHELVES TO SCLRY'S, WIL'S & WIP'S AT 500AFL, 900AFL, 1300AFL & 1800AFL U.N.O
- 4x450W SHELVES TO PTRY & LINENS WITH HINGED DOORS AT 500AFL, 900AFL, 1300AFL & 1650AFL U.N.O
- TOILET ROLL HOLDERS TO BE FIXED 650AFL U.N.O.
- DOOR CLEARANCES TO BE 25mm THROUGHOUT



Ground Floor Plan

1:100

Area Calc	Value	Total
PORCH	2.14	
ALFRESCO	9.33	
GROUND FLOOR	106.23	(49.280m)
GARAGE	31.30	
UPPER FLOOR	93.20	(44.080m)
STORE	3.99	
Total	246.19 m²	

PAVING AREA
37.75

ROOF AREA (PITCHED)
202.39

JOB NO: 1113		INDIVIDUAL DESIGN W/- CUSTOM ELEVATION				Owner 1
 © COPYRIGHT 2022	DATE	REVISION	DRN	CLIENT:	MADELEINE ANNE TREZISE	Owner 2
	07/10/2021	CONTRACT DRAWINGS	CE	ADDRESS: LOT 2 (#85) MACQUARIE AVENUE, PADBURY WA 6025		Owner 3
	18/10/2021	AMENDMENTS	CE			Owner 4
	15/11/2021	PRESTART CV1, CV3 & CV 4	RC			Owner 5
	27/01/2022	FURNITURE LAYOUT	GP			Owner 6
16/03/2022	AMENDMENTS	FV	Owner 7			
23/06/2022	FINALS CHECK	CE	Owner 8	Builder		
SHEET 8 OF 18		DRN: CE		DATE: 07/10/2021		SCALE: 1:100

REFER TO ENGINEER'S
N1 WIND LOADING DETAILS

CORROSION CLASSIFICATION
R3

CEILING TO 2665 AFL UNLESS
NOTED OTHERWISE

R2.0 INSULATION TO
INTERNAL & EXTERNAL WALLS

R4.1 INSULATION TO HOUSE
AND GARAGE ONLY

REVERSE CYCLE A/C
SYSTEM TO HOME
REFER TO ADDENDA

ANTICON INSULATION TO
ENTIRE ROOF

NOTE 1:
RESTRICTED OPENING TO
BED 3 WINDOW AS PER NCC
REQUIREMENTS

SITE MANAGER'S NOTE:

GENERAL NOTE:

ALL DIMENSIONS STATED ON THESE DRAWINGS RELATE TO STEEL STUD WALL SETOUT ONLY. CLADDING, PLASTER, TILES AND OTHER FINISHES WILL ALTER THE FINAL DIMENSIONS. CARE SHOULD BE TAKEN TO CONSIDER SUCH ALLOWANCES WHEN CALCULATING CLEARANCES REQUIRED.

CABINETRY NOTE:

ALL CABINETRY AND BENCHTOPS MAY BE SUBJECT TO SITE MEASURE AND MAY VARY FROM THE NOTED DIMENSIONS

CONCRETOR NOTE:

25mm SETDOWN REQUIRED TO SAND PADON WET AREAS.

CEILING FIXER NOTE:

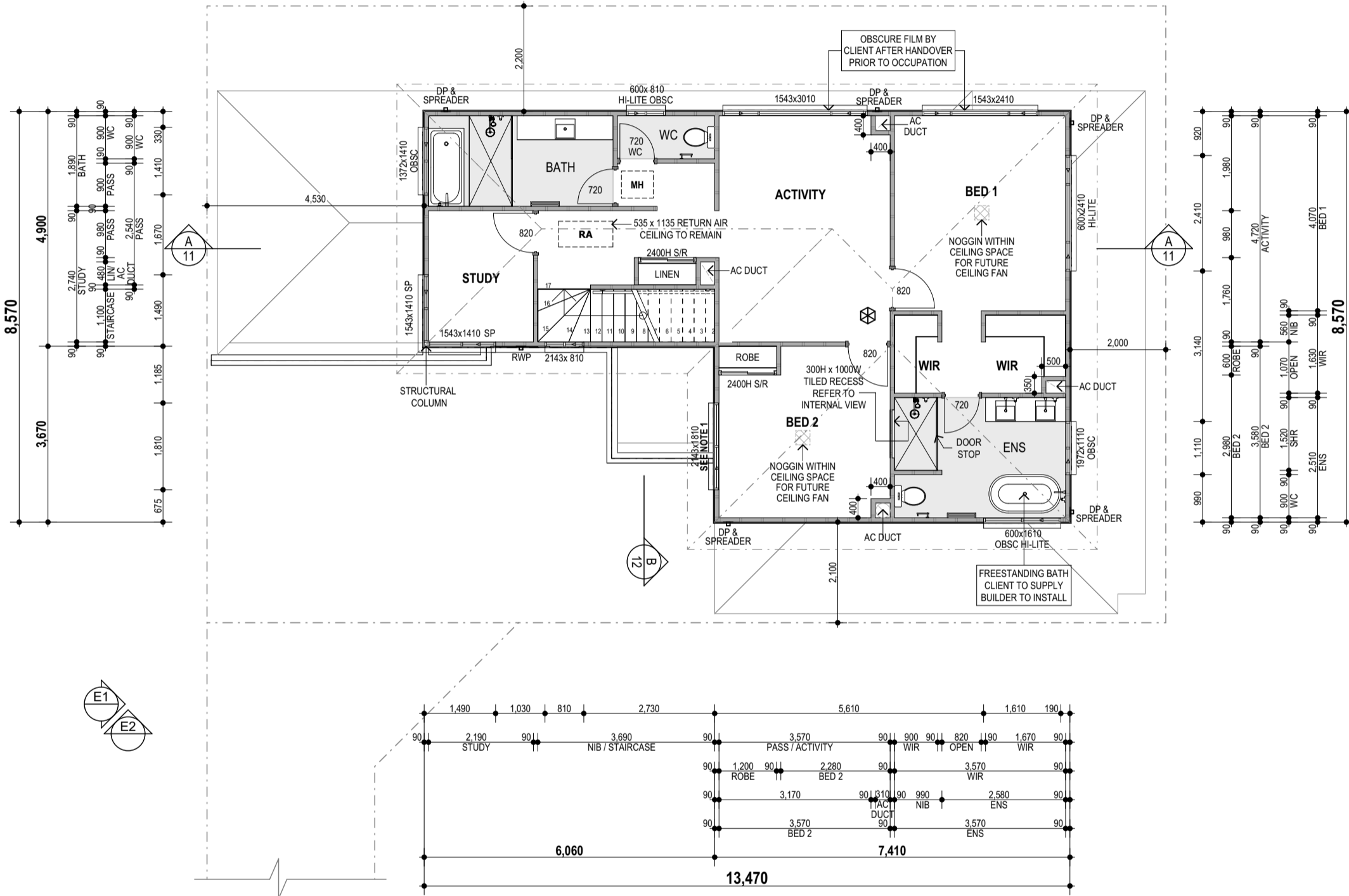
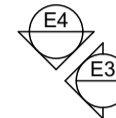
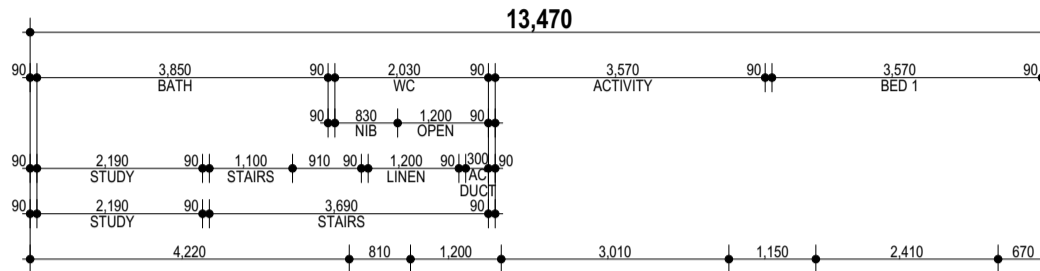
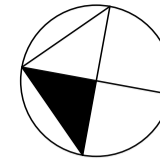
CEILINGS TO BUILT IN ROBES TO BE 2400mm HIGH U.N.O. FULL HEIGHT CEILINGS TO WIP'S, PANTRY AND WIR'S U.N.O.

PLUMBER NOTE:

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2. 450W SHELF & RAIL AT 1650AFL TO BIR'S WITH HINGED DOORS U.N.O
3. 4x450W SHELVES TO SCLRY'S, WIL'S & WIP'S AT 500AFL, 900AFL, 1300AFL & 1800AFL U.N.O
4. 4x450W SHELVES TO P'TRY & LINENS WITH HINGED DOORS AT 500AFL, 900AFL, 1300AFL & 1650AFL U.N.O
5. TOILET ROLL HOLDERS TO BE FIXED 650AFL U.N.O.
6. DOOR CLEARANCES TO BE 25mm THROUGHOUT



Upper Floor Plan
1:100



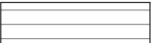

ROOF AREA (PITCHED)
202.39

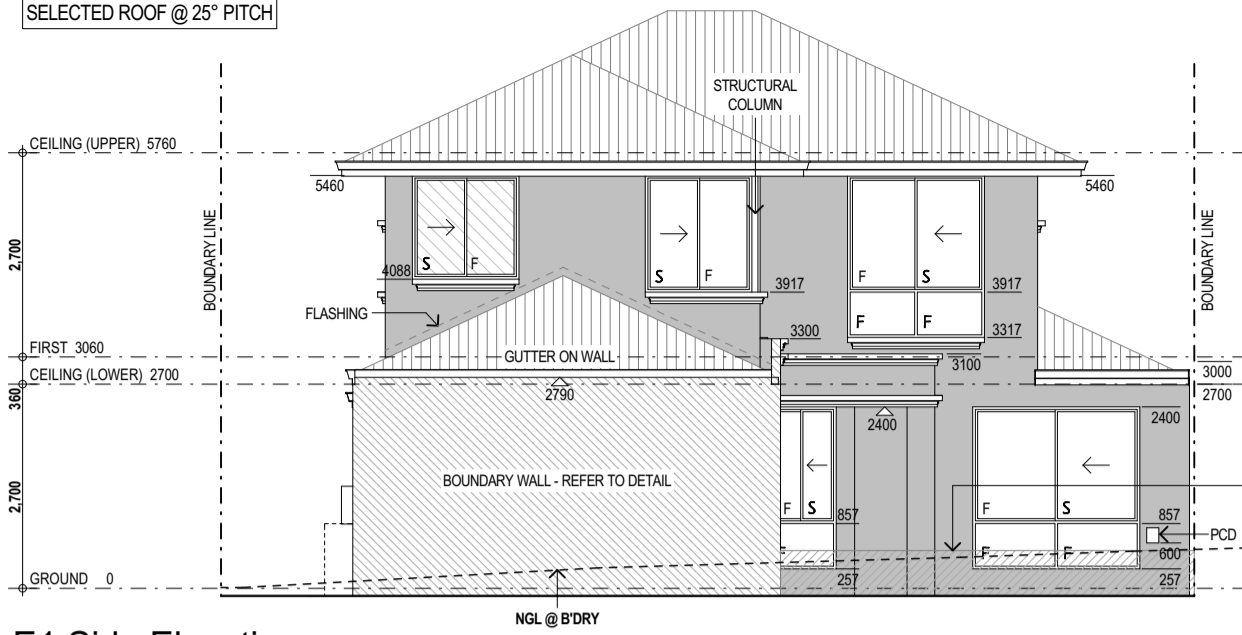
Area Calc	
. PORCH	2.14
. ALFRESCO	9.33
. GROUND FLOOR	106.23 (49.280m)
. GARAGE	31.30
. UPPER FLOOR	93.20 (44.080m)
. STORE	3.99
Total	246.19 m²

JOB NO: 1113		INDIVIDUAL DESIGN W/- CUSTOM ELEVATION			OWNER	
 © COPYRIGHT 2022	DATE	REVISION	DRN	CLIENT:	MADELEINE ANNE TREZISE	Owner 1
	07/10/2021	CONTRACT DRAWINGS	CE	ADDRESS:	LOT 2 (#85) MACQUARIE AVENUE, PADBURY WA 6025	Owner 2
	18/10/2021	AMENDMENTS	CE			Builder
	15/11/2021	PRESTART CV1, CV3 & CV 4	RC			
	27/01/2022	FURNITURE LAYOUT	GP			
16/03/2022	AMENDMENTS	FV				
23/06/2022	FINALS CHECK	CE				
SHEET 9 OF 18		DRN: CE		DATE: 07/10/2021		SCALE: 1:100

SELECTED ROOF @ 25° PITCH

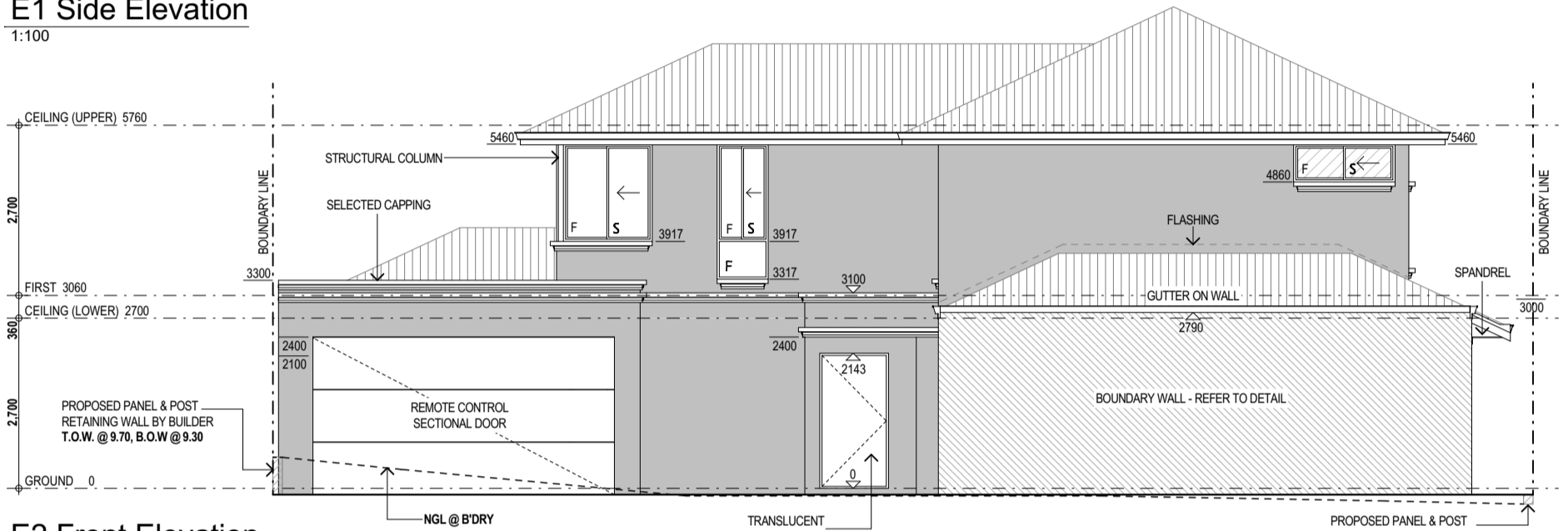
REPRESENTATIONAL LEGEND - REFER TO ADDENDA FOR CLADDING TYPE

- MAIN COLOUR 
- CONTRAST COLOUR 1 
- CLADDING 1 
- B'DRY WALL 



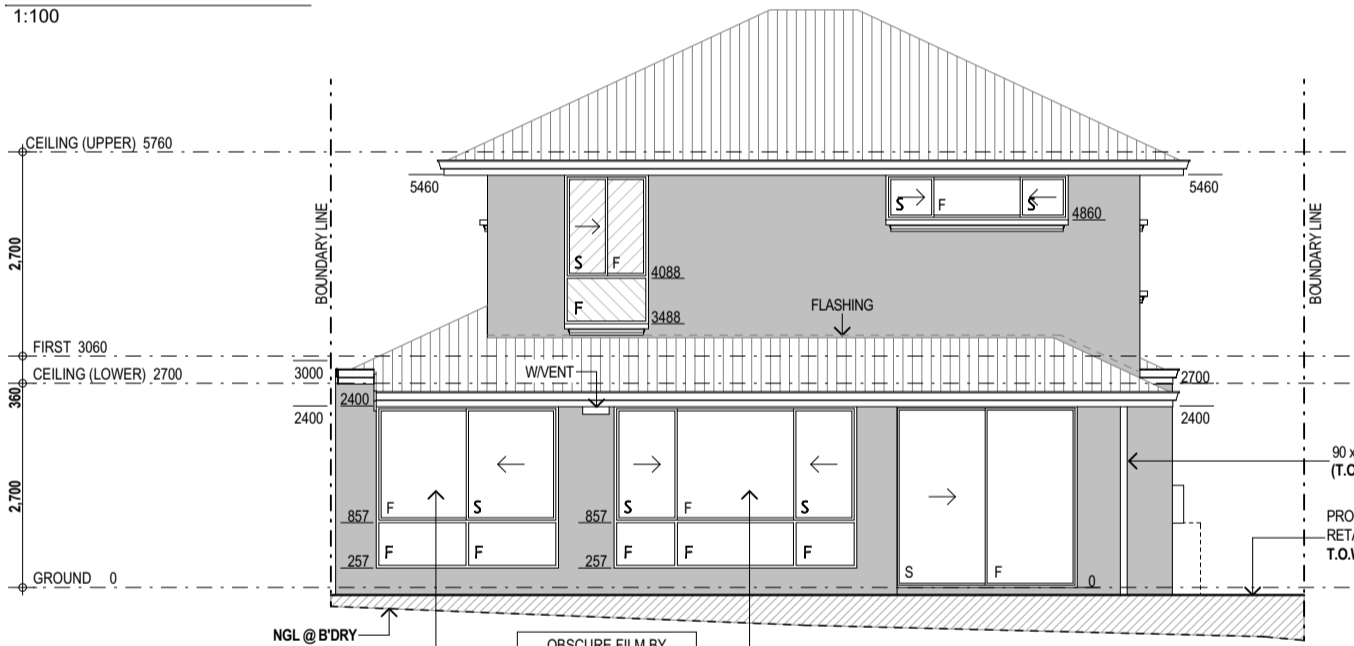
E1 Side Elevation

1:100



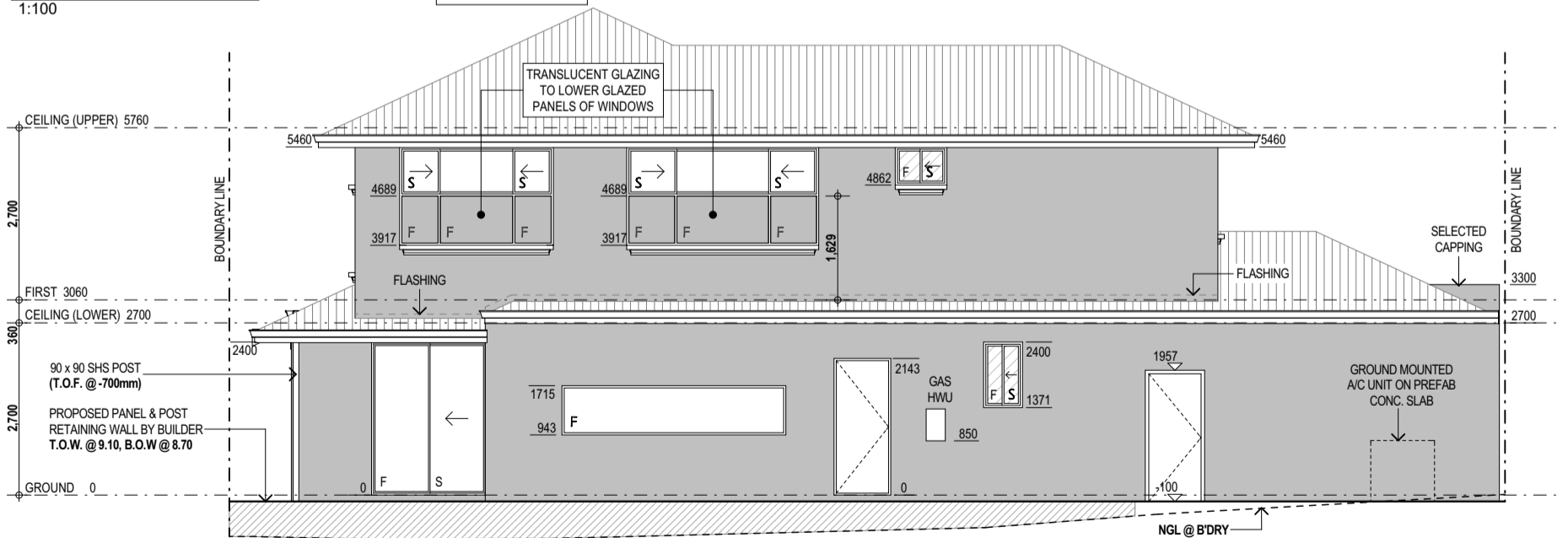
E2 Front Elevation

1:100




E3 Side Elevation

1:100



E4 Rear Elevation

1:100

JOB NO: 1113		INDIVIDUAL DESIGN W/- CUSTOM ELEVATION				
 <p>© COPYRIGHT 2022</p>	DATE	REVISION	DRN	CLIENT:	MADELEINE ANNE TREZISE	Owner 1
	07/10/2021	CONTRACT DRAWINGS	CE		
	18/10/2021	AMENDMENTS	CE			
	15/11/2021	PRESTART CV1, CV3 & CV 4	RC			
	27/01/2022	FURNITURE LAYOUT	GP			
16/03/2022	AMENDMENTS	FV		ADDRESS:	LOT 2 (#85) MACQUARIE AVENUE,	Owner 2
23/06/2022	FINALS CHECK	CE			PADBURY WA 6025
SHEET 10 OF 18		DRN: CE	DATE: 07/10/2021	SCALE: 1:100		Builder