

NOTES:

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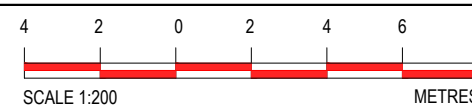
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VERTICAL DATUM IS APPROXIMATE A.H.D ONLY AND HEIGHTS HAVE BEEN ADOPTED FROM SEWER MANHOLE LID L6451.

- EXISTING BOUNDARY ———
- PROPOSED BOUNDARY - - - - -
- No. OF LOTS = 1
- LOT 1 AREA = 888m²
- No. OF PROPOSED LOTS = 2
- PROPOSED LOT 1 AREA = 420m²
- PROPOSED LOT 2 AREA = 468m²
- LOCAL AUTHORITY = CITY OF JOONDALUP
- ALL DIMENSIONS AND AREAS ARE SUBJECT TO SURVEY

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PROPOSED GREEN TITLE SUBDIVISION



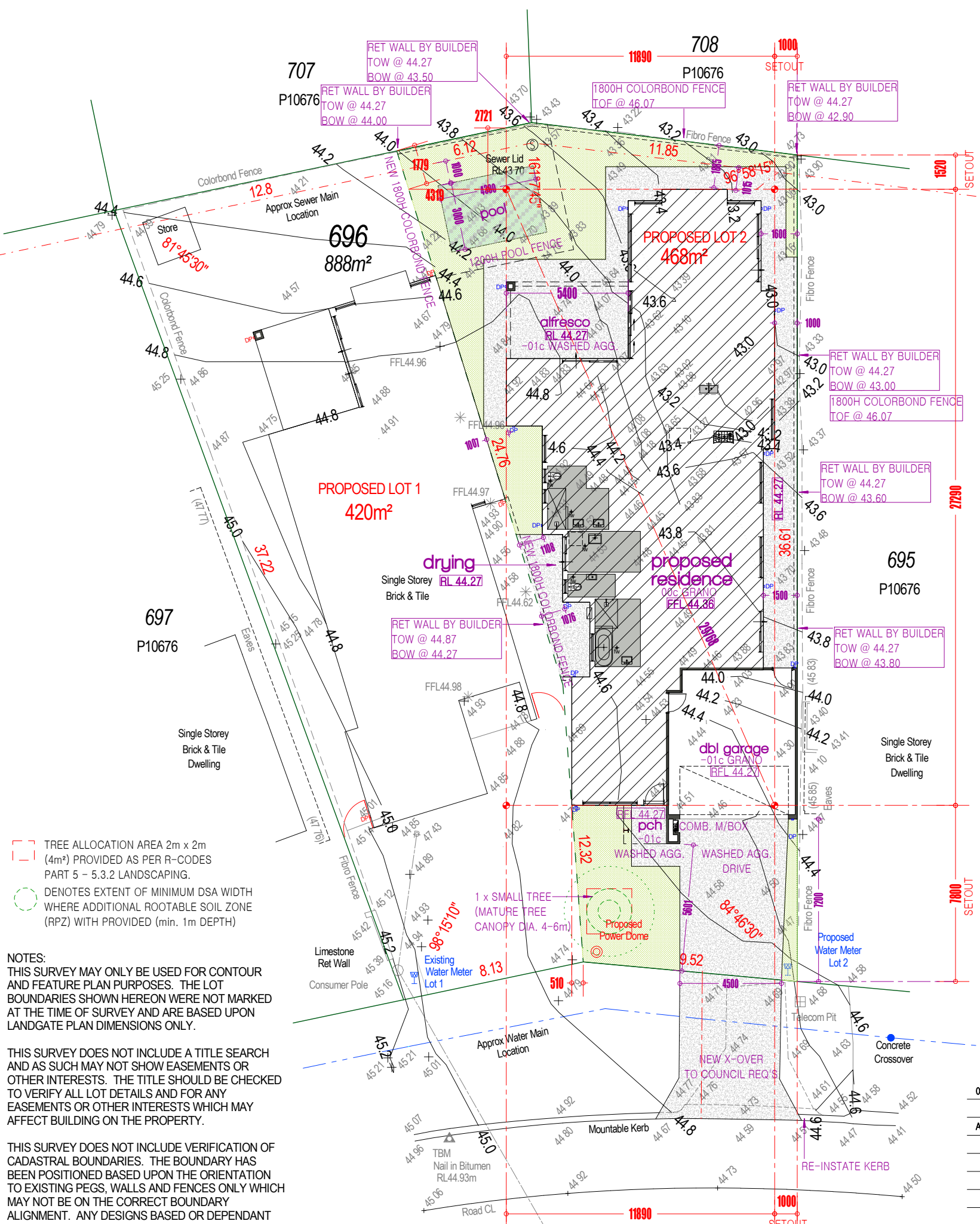
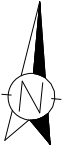
ST SPATIAL
CONSULTING SURVEYORS

Ph 08 9349 2062
PO Box 556
Balclatta WA 6914
info@stspatial.com.au

21 GLENBANK CRESCENT
KALLAROO WA 6025
LOT 696 ON PLAN 10676

DRAWN	P. PATERSON	8/6/2023
SURVEYOR	S. KOHLSCHIEIN	29/3/2023
CHECKED	P. SAID	11/4/2023
HORIZONTAL DATUM: ARBITRARY		
VERTICAL DATUM: AHD		

1	7/6/2023	DIMENSIONS AT 6m SETBACKS ADDED	PP	SK	PS	INTEGRO	DRAWING NUMBER 23071-02	REV 1	SIZE A3
No.	DATE	REVISION	DRAWN	SURVEYOR	CHECKED	CLIENT			



- TREE ALLOCATION AREA 2m x 2m (4m²) PROVIDED AS PER R-CODES PART 5 - 5.3.2 LANDSCAPING.
- DENOTES EXTENT OF MINIMUM DSA WIDTH WHERE ADDITIONAL ROOTABLE SOIL ZONE (RPZ) WITH PROVIDED (min. 1m DEPTH)

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client :	printed :
INTEGRO HOMES	23/11/2023
project :	10:58 AM
PROPOSED LOT 2 -GROUP DWELLING	revision :
LOT 696 #21 GLENBANK CRESCENT,	0
KALLAROO. WA. 6025	sheet :
	01/03
date :	job no :
JUN 2023	23-014
	scale :
	1:200 @ A3
date :	revision :
0 22-06-23	CONCEPT DRAWINGS ISSUED FOR CLIENT REVIEW.
18-08-23	DRAWINGS ISSUED FOR C.O.J DEVELOPMENT APPROVAL.
A 10-11-23	DRAWINGS AMMENDED FOR DA23/0743.

- general notes**
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 - STRATA BOUNDARY LINES SHOWN ARE TO BE CONFIRMED BY LICENSED SURVEYOR & ARE FOR TOWN PLANNING PURPOSE ONLY.
 - THE PROPOSED SUBDIVISION BOUNDARIES ARE FOR BUILT STRATA PURPOSES ONLY.
 - ALL PLUMBING, ELECTRICAL, STORMWATER & IRRIGATION CONDUIT TO BE PRELAYS & INSTALLED PRIOR TO POURING CONCRETE OR LAYING PAVING.
 - EXTENT OF PAVING TO OWNERS SPECIFICATION. CONFIRM PRIOR TO LAYING.
 - REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR PILE FOOTING SIZES, LOCATION & DETAILS.
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RS robertsceresini
bespoke building design + drafting

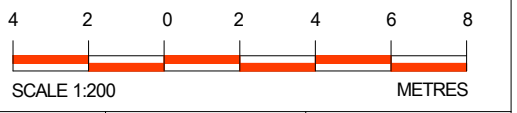
2/94 Telford Crescent
STIRLING, W.A. 6021
t. 0401 481 022
rsdesign@live.com.au
www.robertsceresinidesigns.com

GLENBANK CRESCENT

- EXISTING BOUNDARY
- PROPOSED BOUNDARY
- No. OF LOTS = 1
- LOT 1 AREA = 888m²
- No. OF PROPOSED LOTS = 2
- PROPOSED LOT 1 AREA = 420m²
- PROPOSED LOT 2 AREA = 468m²
- LOCAL AUTHORITY = CITY OF JOONDALUP
- ALL DIMENSIONS AND AREAS ARE SUBJECT TO SURVEY

PROPOSED GREEN TITLE SUBDIVISION

21 GLENBANK CRESCENT
KALLAROO WA 6025
LOT 696 ON PLAN 10676



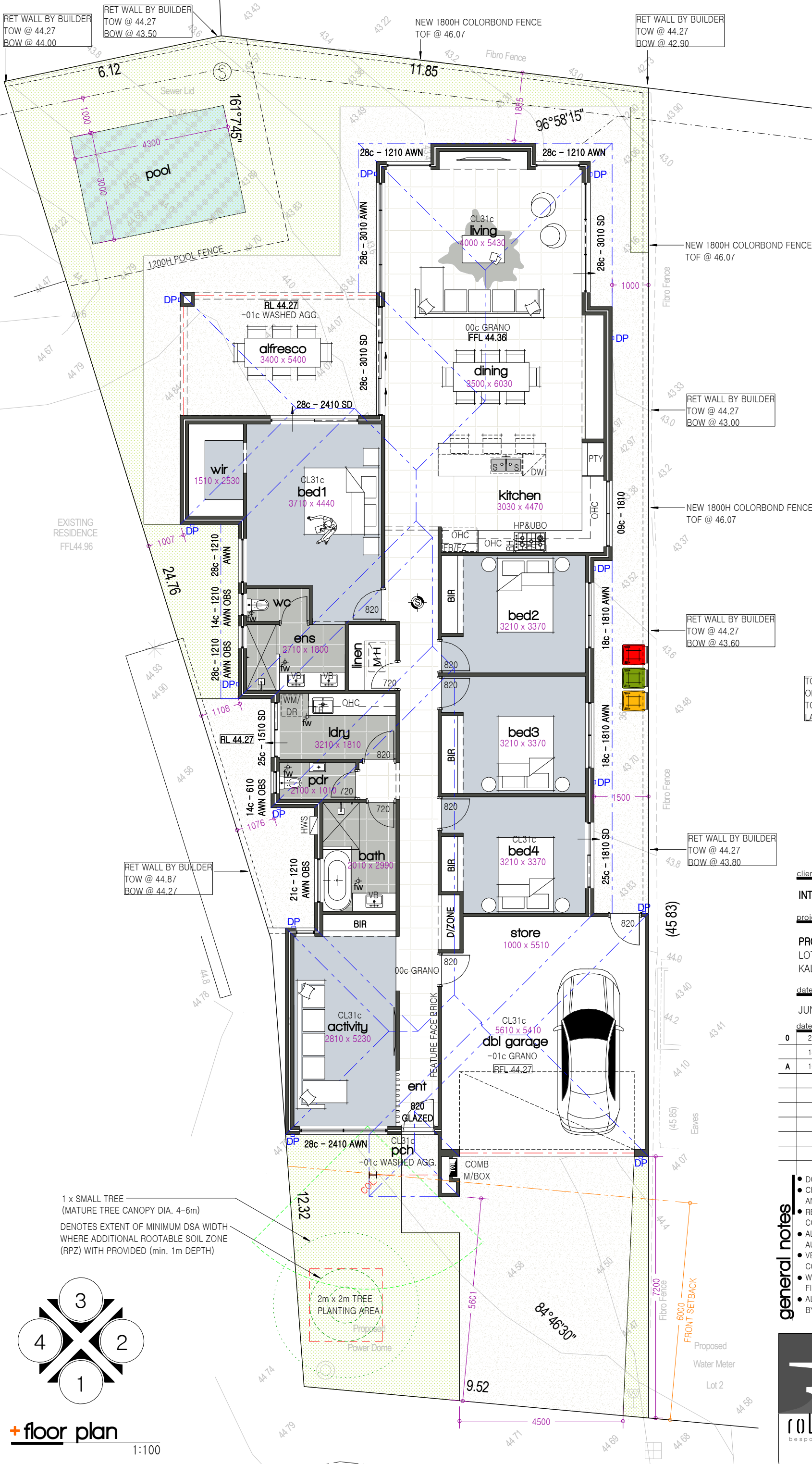
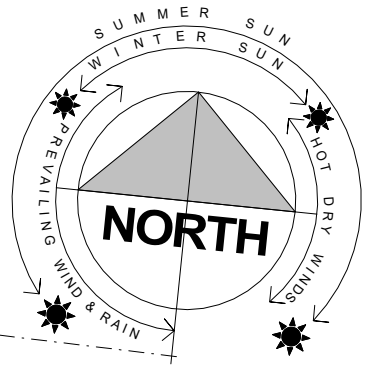
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ST SPATIAL
CONSULTING SURVEYORS

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info@stspatial.com.au

DRAWN	P. PATERSON	8/6/2023
SURVEYOR	S. KOHLSCHIEIN	29/3/2023
CHECKED	P. SAID	11/4/2023
HORIZONTAL DATUM: ARBITRARY		
VERTICAL DATUM: AHD		

2	8/6/2023	PROPOSED WATER METER ADDED	PP	SK	PS	INTEGRO	DRAWING NUMBER 23071-02	REV 2	SIZE A3
No.	DATE	REVISION	DRAWN	SURVEYOR	CHECKED	CLIENT			



TOTAL BUILDING AREA = 240.55m² (51.3% PLOT RATIO)
 OPEN SPACE PROVIDED = 48.6%
 TOTAL LANDSCAPING PROVIDED = 108.89m² (23%)
 LANDSCAPING TO 6m FRONT SETBACK = 28.20m² (48.3%)

+ areas		
	area	perimeter
site	- 468.55m ²	
living	- 203.34m ²	79.96m
garage/store	- 37.21m ²	24.96m
alfresco	- 18.36m ²	17.60m
porch	- 3.23m ²	7.20m
total	- 262.14m²	129.72m

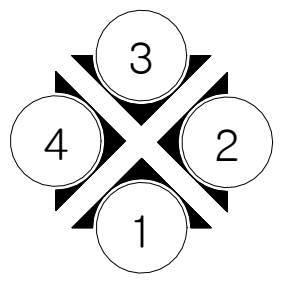
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project :	10:55 AM	
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LOT 696 #21 GLENBANK CRESCENT,	A	
KALLAROO, WA. 6025	sheet :	
	02/03	
date :	job no :	scale :
JUN 2023	23-014	1:100 @ A3
date :	revision :	
0	22-06-23	CONCEPT DRAWINGS ISSUED FOR CLIENT REVIEW.
	18-08-23	DRAWINGS ISSUED FOR C.O.J DEVELOPMENT APPROVAL.
A	10-11-23	DRAWINGS AMENDED FOR DA23/0743.

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 - CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS.
 - REFER TO ENGINEER'S DRAWINGS FOR STRUCTURAL WORK AND CONCRETE WORK.
 - ALL WORKS TO BE IN ACCORDANCE WITH MOST CURRENT AUSTRALIAN STANDARDS AND NCCS/ B.C.A REQUIREMENTS.
 - VERIFY ALL PLUMBING AND A/C DUCTS PRIOR TO POURING CONCRETE SUSPENDED SLAB.
 - WET AREA & APPLIANCE DETAILS PROVIDED BY OWNER. CONFIRM FIXTURES WITH OWNER PRIOR TO POURING CONCRETE SLAB.
 - ALL DETAILS MAY VARY ACCORDING TO ON SITE CONSTRUCTION BY OWNER/ BUILDER.

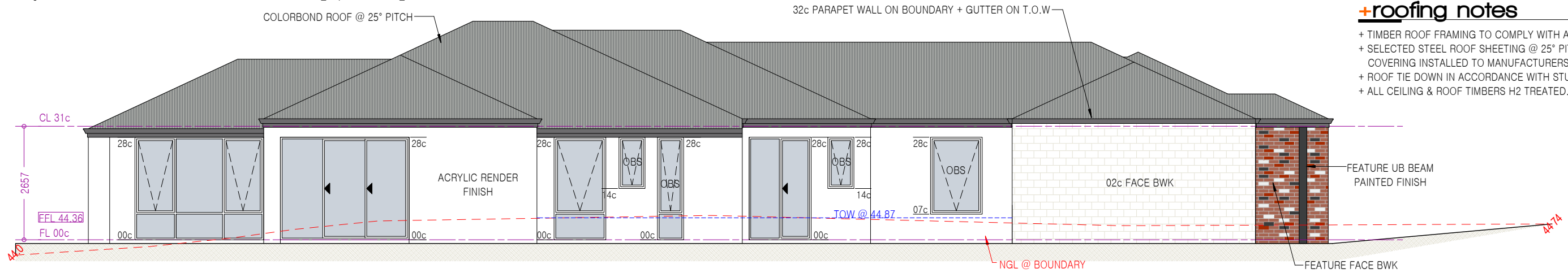
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1 x SMALL TREE (MATURE TREE CANOPY DIA. 4-6m)
 DENOTES EXTENT OF MINIMUM DSA WIDTH WHERE ADDITIONAL ROOTABLE SOIL ZONE (RPZ) WITH PROVIDED (min. 1m DEPTH)



+ floor plan
 1:100

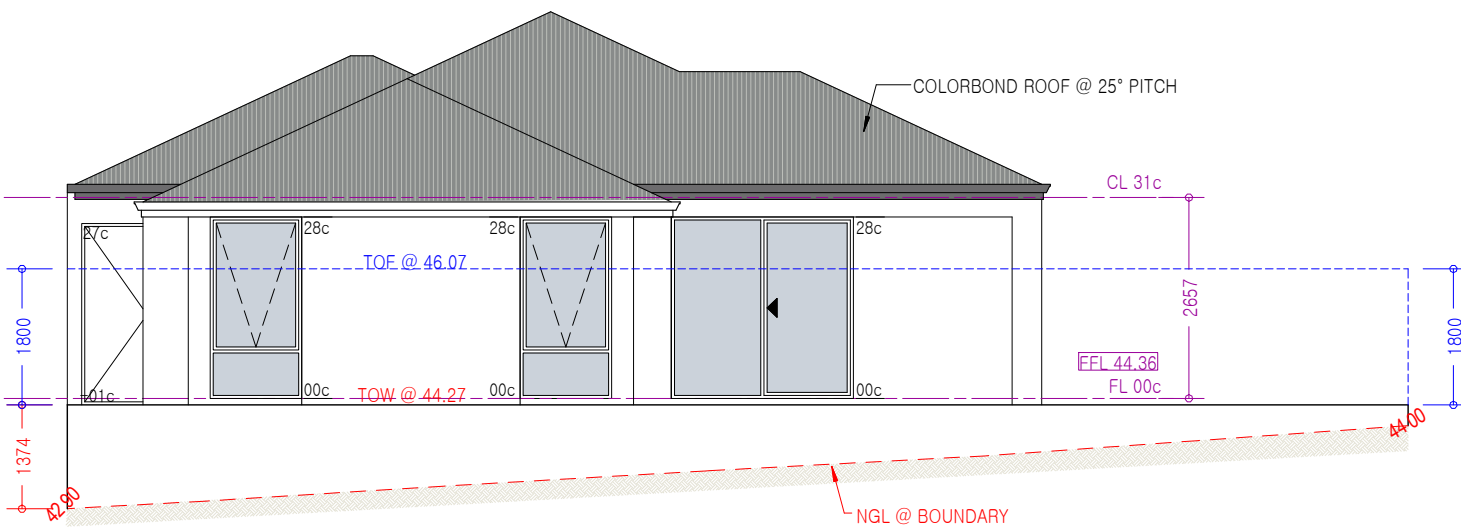


+roofing notes

- + TIMBER ROOF FRAMING TO COMPLY WITH A.S.1684
- + SELECTED STEEL ROOF SHEETING @ 25° PITCH. ROOF COVERING INSTALLED TO MANUFACTURERS SPECIFICATIONS.
- + ROOF TIE DOWN IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS.
- + ALL CEILING & ROOF TIMBERS H2 TREATED.

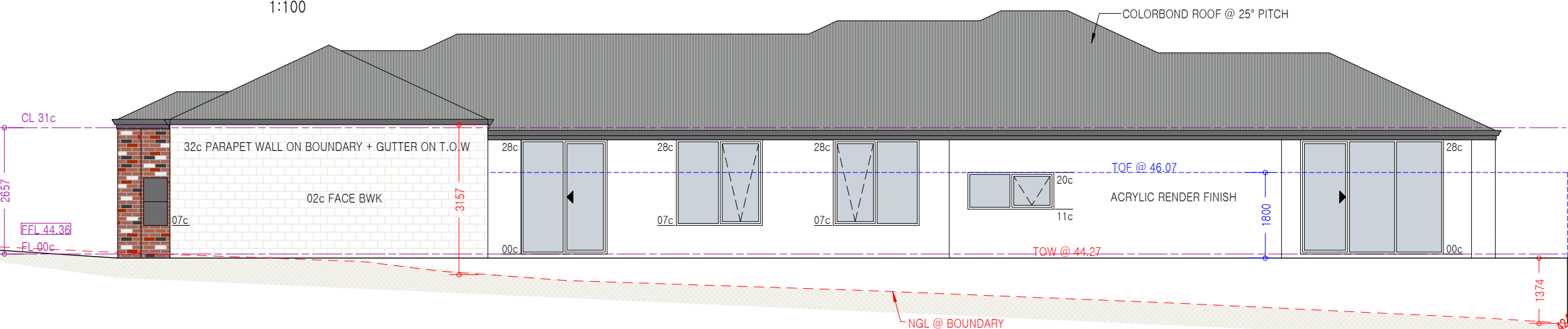
+west elevation 4

1:100



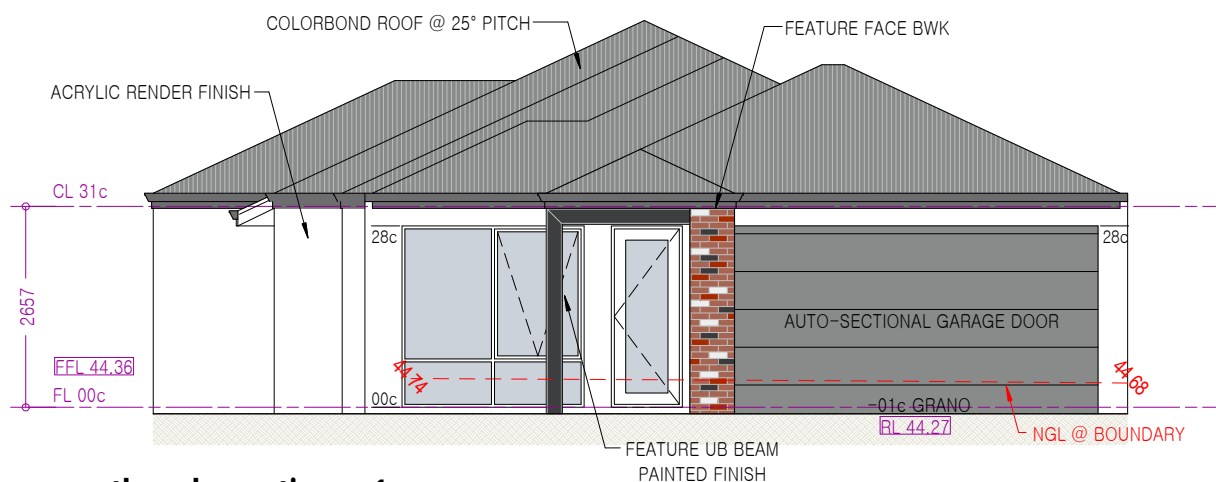
+north elevation 3

1:100



+east elevation 2

1:100



+south elevation 1

(STREETFRONT)

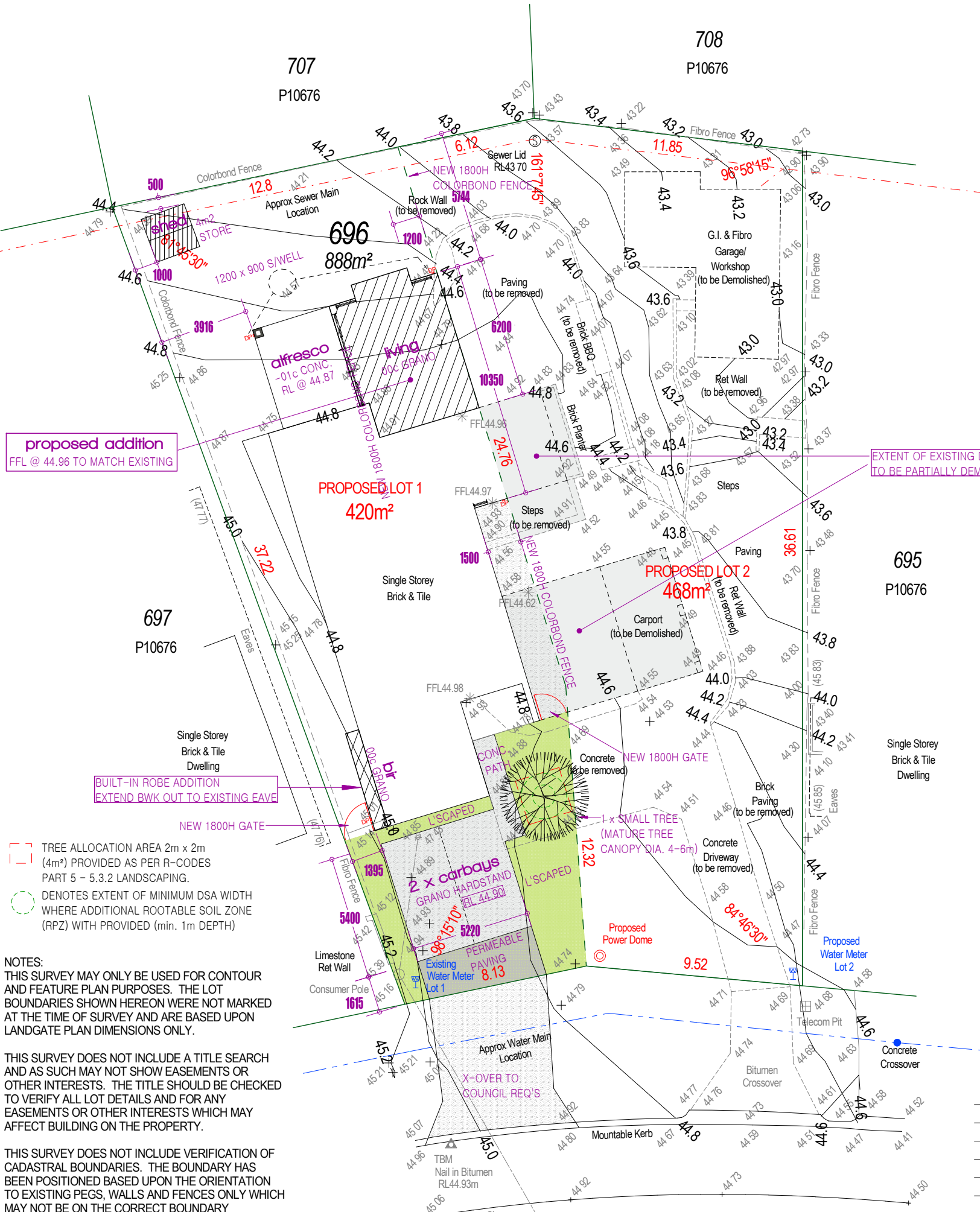
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client :	printed :	
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project :	4:21 PM	
revised :		
PROPOSED GROUPED DWELLING	A	
LOT 696 #21 GLENBANK CRESCENT,	sheet :	
KALLAROO, WA. 6025	03/03	
date :	job no :	scale :
JUN 2023	23-014	1:100 @ A3
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+ stormwater

DRAINAGE CALCULATIONS :

+ IMPERVIOUS AREA (flat roof area)	31.67m²
+ MULTIPLY BY 1.2 (roof multiplier)	38.00m²
+ MULTIPLY BY 0.0122 (coefficient)	0.46m³
+ REQUIRED CAPACITY (cubic metres)	0.55m³

+ STORMWATER SOAKWELL CAPACITY :
1.02 m³ PER 1200Ø x 900D - 1 TOTAL

- + ALL STORMWATER PIPES TO BE 90mm Ø PVC ON 1:60 MIN FALL.
- + OPEN GRATES TO THE BASE OF ALL DOWNPIPES.

NOTE :

+ CHEMICAL TERMITE TREATMENT AS PER AS3660.1. WHERE APPLICABLE, CHEMICAL TERMITE TREATMENT TO BE REPLENISHED VIA RETICULATION SYSTEM WITH AN EVEN AND CONTINUOUS DISTRIBUTION OF CHEMICAL INTO SOIL.

NOTE :

+ POSITION & SIZE OF ON-SITE SOAKWELL SYSTEM IS INDICATIVE ONLY & TBC BY CONTRACTOR ON SITE PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO COMPLY WITH COUNCIL HEALTH DEPARTMENTS REQUIREMENTS.
 + STORMWATER DISPOSAL AS PER MOST CURRENT BCA PART 3.5.2, 3.1.2 & AS/NZS 3500.0, AS/NZS 3500.5.

proposed addition
 FFL @ 44.96 TO MATCH EXISTING

EXTENT OF EXISTING DWELLING
 TO BE PARTIALLY DEMOLISHED

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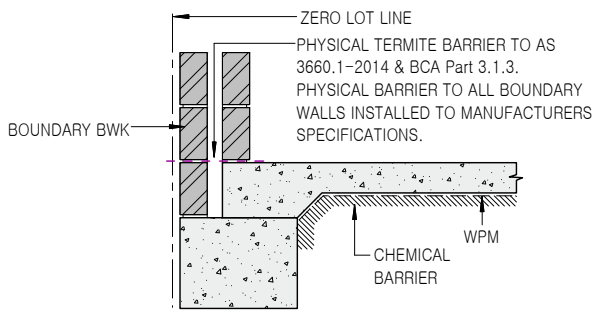
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+ termite treatment detail



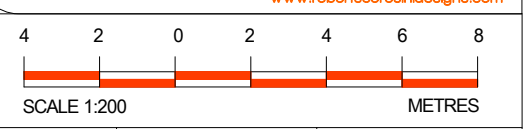
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GLENBANK CRESCENT

client :	printed :	
INTEGRO HOMES	23/11/2023	
project :	11:21 AM	
revision :		
SINGLE STOREY ADDITION	0	
LOT 696 #21 GLENBANK CRESCENT, KALLAROO, WA. 6025	sheet :	
	01/06	
date :	job no :	scale :
JUN 2023	23-014	1:200 @ A3
date :	revision :	
0 22-06-23	CONCEPT DRAWINGS ISSUED FOR CLIENT REVIEW.	
25-07-23	DRAWINGS ISSUED FOR BUILDING/ CDC APPROVAL.	

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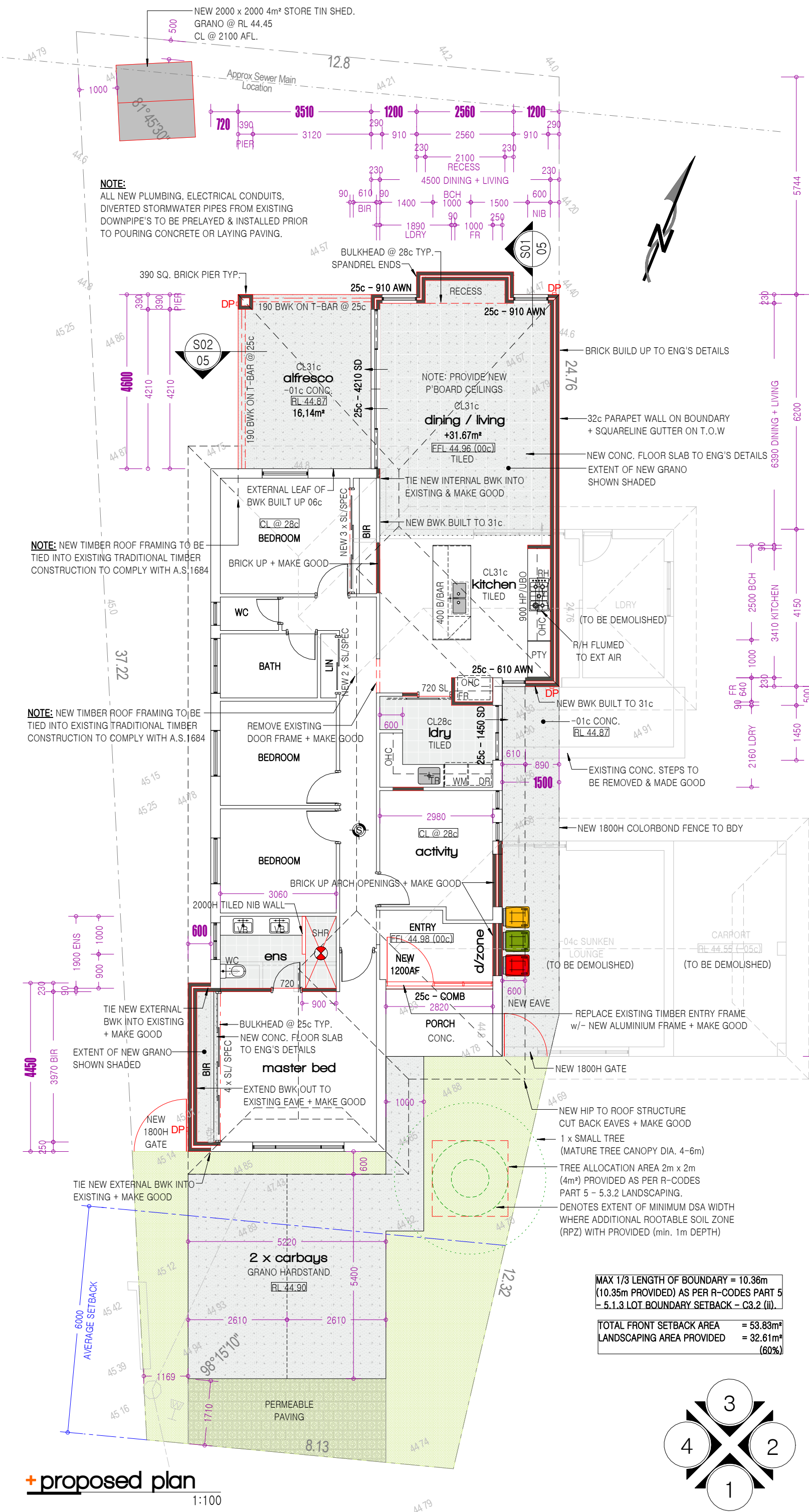
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2	8/6/2023	PROPOSED WATER METER ADDED	PP	SK	PS	INTEGRO	DRAWING NUMBER	REV	SIZE
No.	DATE	REVISION	DRAWN	SURVEYOR	CHECKED	CLIENT	23071-02	2	A3



ROOFING NOTE :

- + ALL TIMBER ROOF FRAMING IN ACCORDANCE WITH AS 1684.
- + STRUCTURAL STEEL IN ACCORDANCE WITH NCC 3.4.4.
- + L.V.L'S IN ACCORDANCE TO ENGINEERS & MANUFACTURERS SPECIFICATIONS.
- + PROVIDE WESPINE H2 BLUE TREATED TIMBER TO ANY ROOF FRAMING.
- + PROVIDE H3 TREATED TIMBER TO ANY EXTERNAL FRAMING.
- + ALL ROOF CLADDING, FLASHING AND PLUMBING IN ACCORDANCE WITH NCC PART 3.5 & AS/NZ 3500.3, AS/NZ 3500.5
- + ALL DOWNPIPES SHOWN ON PLAN ARE INDICATIVE ONLY. FINAL POSITIONS SHALL BE DETERMINED BY ROOF PLUMBER ON SITE.
- + PROVIDE 600mm WIDE HARDIFLEX LINED BOXED EAVES U.N.O

CONCRETOR NOTE :

- + RECESS SHOWER SLAB 30mm EXTRA & PROVIDE REFLUX VALVE TO HOBLESS SHR.
- + **INSTALL ELECTRICAL & PLUMBING PRELAY TO KITCHEN ISLAND BENCH PRIOR TO CONCRETE POUR. (WHERE APPLICABLE).**
- + STEPDOWNS TO WET AREAS AS PER ENG'S DETAILS.
- + DROP FOOTINGS AS INDICATED.
- + PROVIDE SLAB THICKENINGS AS INDICATED ON ENGINEER'S STRUCTURAL DRAWINGS.

NOTE :

- + DENOTES HARDWIRED SMOKE DETECTOR. ELECTRICIAN TO SUPPLY AND INSTALL APPROVED SMOKE ALARM IN ACCORDANCE WITH AS 3786 AND PART 3.7.2.2 OF MOST CURRENT NCCS AND BCA REQUIREMENTS.

NOTE :

- + THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS.
- + REFER TO ENG'S PLANS FOR ROOF BEAMS LAYOUT & STRUCTURAL SPECIFICATIONS.

NOTE :

- + REFER TO ENERGY EFFICIENCY REPORT SHEETS FOR LIGHT & VENTILATION REQ'S.

NOTE :

- + DIMENSIONS ARE TO BRICKWORK ONLY. PLASTER MARGIN NOT ALLOWED FOR.

NOTE :

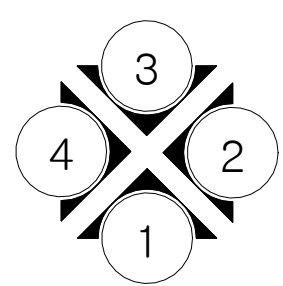
- + CEILING EXHAUST FAN TO BE FLUMED TO EXTERNAL AIR.

client :	printed :
INTEGRO HOMES	23/11/2023
project :	11:15 AM
SINGLE STOREY ADDITION	0
LOT 696 #21 GLENBANK CRESCENT, KALLAROO, WA. 6025	sheet :
	02/06
date :	job no :
JUN 2023	23-014
	scale :
	1:100 @ A3
date :	revision :
0	22-06-23
	25-07-23
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MAX 1/3 LENGTH OF BOUNDARY = 10.36m
(10.35m PROVIDED) AS PER R-CODES PART 5
- 5.1.3 LOT BOUNDARY SETBACK - C3.2 (ii).

TOTAL FRONT SETBACK AREA = 53.83m²
LANDSCAPING AREA PROVIDED = 32.61m² (60%)



RS DESIGN
individual | functional | sustainable

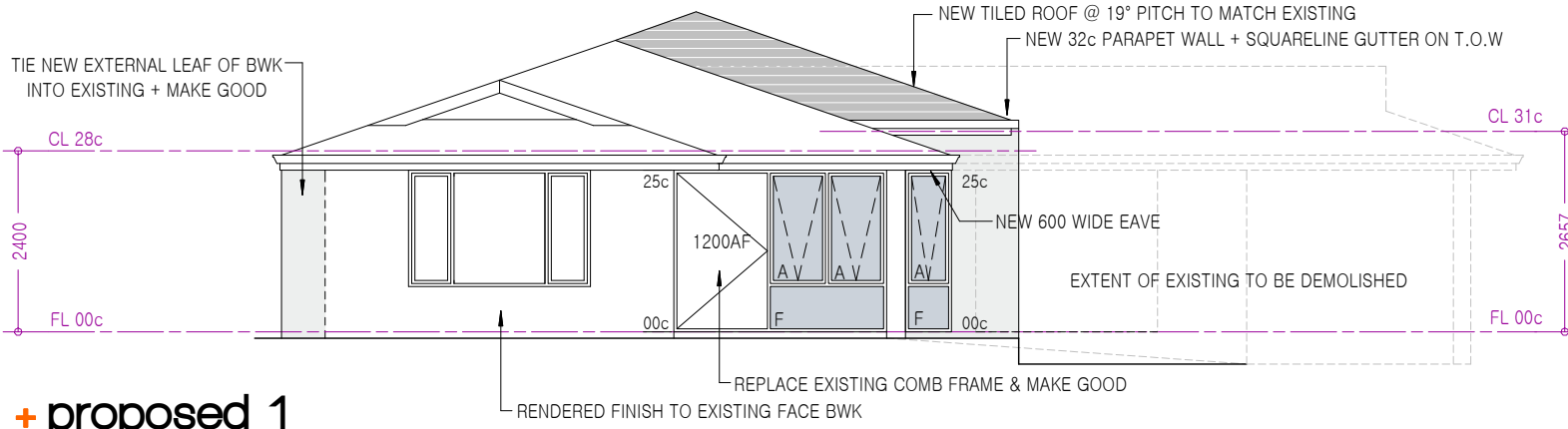
residential
commercial
council approvals
land developments
renovations & additions

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2/94 Telford Crescent
STIRLING, WA. 6021
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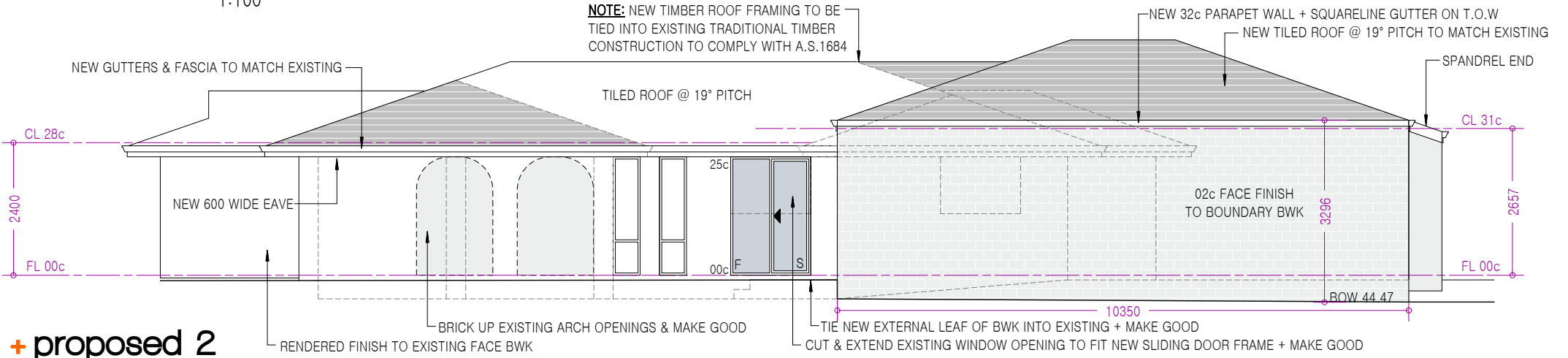
+ roofing notes:

- TIMBER ROOF FRAMING TO COMPLY WITH A.S.1684
- SELECTED ROOF TILES @ 19° PITCH. ROOF COVERING INSTALLED TO MANUFACTURERS SPECIFICATIONS.
- ROOF TIE DOWN IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS
- ALL CEILING & ROOF TIMBERS H2 TREATED.



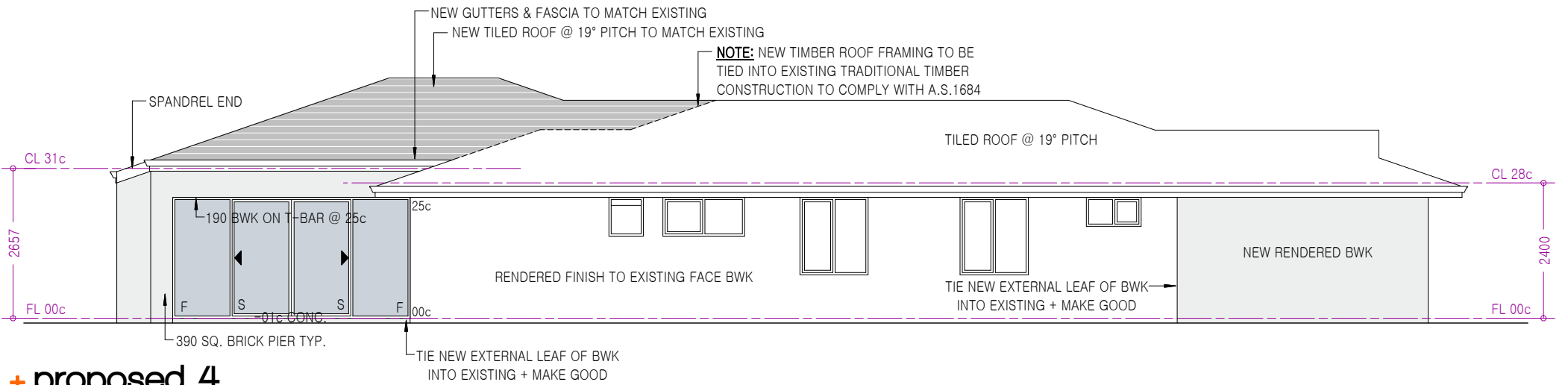
+ proposed 1

1:100



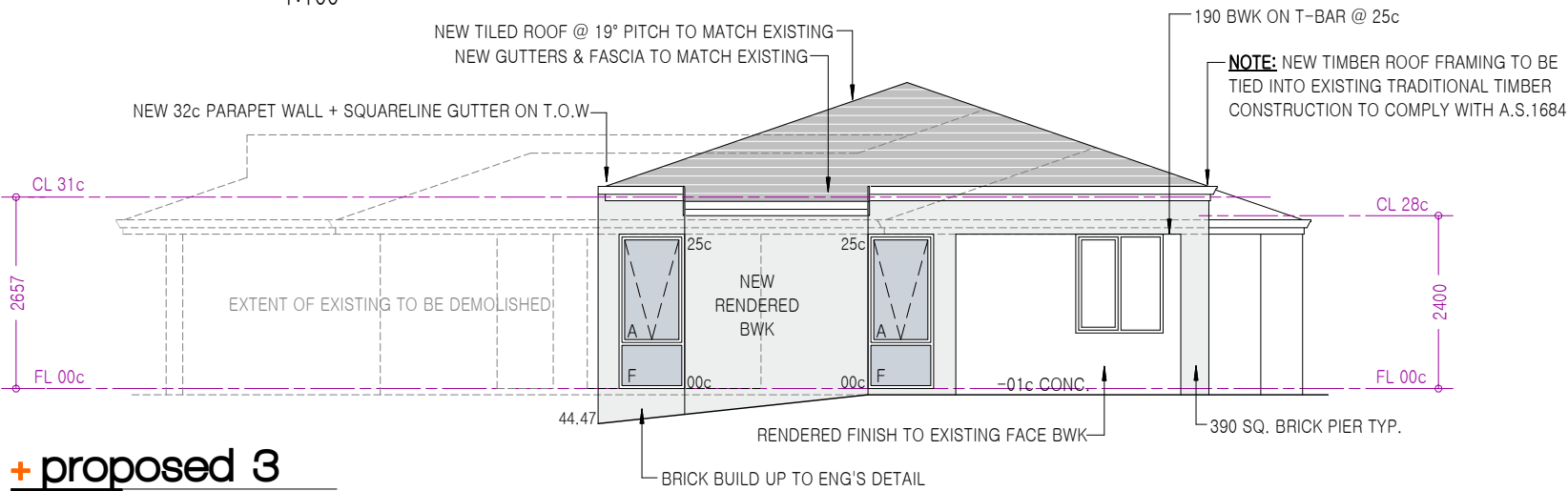
+ proposed 2

1:100



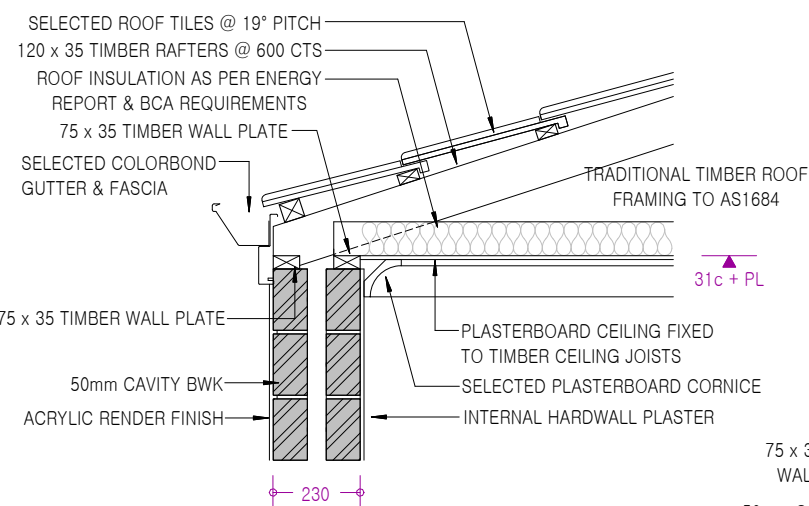
+ proposed 4

1:100



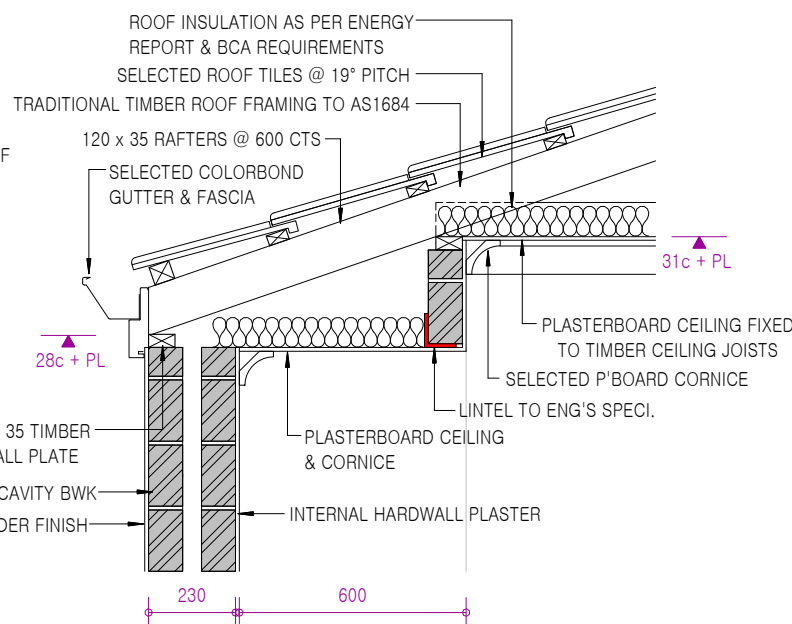
+ proposed 3

1:100



+typ. flush eaves detail

1:20



+typ. brick bulkhead detail

1:20

client :	printed :
INTEGRO HOMES	25/07/2023
project :	2:20 PM
SINGLE STOREY ADDITION	revision :
LOT 696 #21 GLENBANK CRESCENT,	0
KALLAROO, WA. 6025	sheet :
date :	04/06
JUN 2023	scale :
23-014	1:100 @ A3
date :	revision :
0	22-06-23
	25-07-23
	CONCEPT DRAWINGS ISSUED FOR CLIENT REVIEW.
	DRAWINGS ISSUED FOR BUILDING/ CDC APPROVAL.

general notes

- DO NOT SCALE FROM THE DRAWINGS.
- CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS.
- REFER TO ENGINEER'S DRAWINGS FOR STRUCTURAL WORK AND CONCRETE WORK.
- ALL WORKS TO BE IN ACCORDANCE WITH MOST CURRENT AUSTRALIAN STANDARDS AND NCCS/ B.C.A REQUIREMENTS.
- VERIFY ALL PLUMBING AND A/C DUCTS PRIOR TO POURING CONCRETE SUSPENDED SLAB.
- WET AREA & APPLIANCE DETAILS PROVIDED BY OWNER, CONFIRM FIXTURES WITH OWNER PRIOR TO POURING CONCRETE SLAB.
- ALL DETAILS MAY VARY ACCORDING TO ON SITE CONSTRUCTION BY OWNER/ BUILDER.

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