

13 September 2023

City of Joondalup  
90 Boas Avenue  
Joondalup WA 6027

**Attention:** Planning Department  
**Address:** 31A Abitibi Turn, JOONDALUP WA 6027  
**Lot and plan:** Lot 1 / 13264  
**Application:** New DA Submission

**Owner/s:** HARJEET SINGH & SANDEEP KAUR HAPAL  
**Postal Address:** 31 Abitibi Turn, JOONDALUP WA 6027  
**Phone:** 0401 975 019  
**Email:** sharjeet@y7mail.com  
**Applicant:** Danmar Homes  
**Postal Address:** PO BOX 1814 Osborne Park, WA 6916.  
**Phone:** 9445 7833  
**Email:** baohan@danmarhomes.com

Dear Sir/Madam

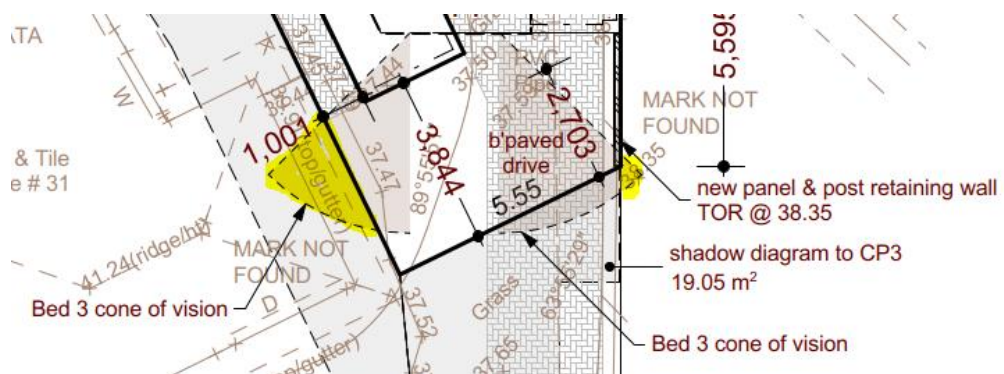
Our client is proposing a development application for one new double (2) storey residential dwelling at the above mentioned site. Please find enclosed all plans & relevant documentation submitted via the cities Online portal for the proposal to comply with the R-codes and local government policies.

We are seeking approval for variations as listed below:

*Overlooking:* Bed 3 window overlooks Lot 2 (#31), CP3 & Lot 439 (#33B).

Overlooking #31: it only overlooks a part of the roof which will not cause negative impact in any way.

Overlooking #33B: only a minor portion of the driveway is overlooked as shown on Site Plan.



*Trees requirements:* The design proposed 4x small trees to the development in lieu of 1x medium tree. Due to the location of the proposed site in close proximity of the high voltage power lines on Burns Beach Road, we feel it would be safer to have trees that won't develop too much in height and canopy size.

Please note that the BAL report will be submitted once it is available.

We trust the above justifications & evidence provides you with the clarity and confidence to proceed with our application, ensuring compliance & DA Approval to follow.

If you require any additional information or have any queries please do not hesitate to contact me on the information provided above.

Kind Regards,

Baohan Vu  
Architectural Draftsperson