

Allerding  
& Associates

6 November 2023

Town Planners, Advocates and Subdivision Designers  
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Our Ref: REG GIB GE

Urban Planner  
City of Joondalup  
90 Boas Avenue  
JOONDALUP WA 6027

**ATTENTION: RACHEL TU**

Dear Rachel

**RE: REGENTS GARDENS PADBURY - AMENDED PLANS – MEETING, 09 OCTOBER 2023**

Thank you for the opportunity to further discuss the proposal for Residential Aged Care at the subject site. We appreciate the City's ongoing efforts to work with us to ultimately find a workable solution to what is a much-needed development in the locality, and importantly provide an improved design outcome for all parties.

We are pleased to advise that we have made a number of significant modifications that respond to the items raised concerning opportunities to reduce bulk and scale. These modifications remain consistent with the DRP comments as noted below.

#### **JDRP 1 Comments – 20 July 2022**

Under Principle 3 – Built Form and Character, the JDRP made the following comment:

*The scale is higher than that of the surrounding area but is considered appropriate for the proposed use and location provided the bulk and scale is ameliorated. It has been ameliorated at the street front but not from other views.*

#### **JDRP 2 Comments – 19 July 2023**

Under Design Principle 1 – Context and Character, The JDRP made the following comments:

*The Applicant is seeking significant discretion for the increase in building height; for this variation to be considered, and potentially supported, the DRP strongly suggests mitigating the building's current large bulk and scale.*

*Furthermore, the north-eastern elevation, whilst set back from the side boundary, is a continuous long length, a large building bulk and one that increases in height at the rear where the site slopes down to the adjacent park.*

*The DRP suggests improvement to the elevational design and materiality to better manage the issues of excessive building bulk and scale. Suggested ideas for improvement are to include a greater use of textured unit type materials such as brick; selection of earthier, softer colours to reflect the suburban and park context; the roof material possibly wrapping down to signify the uppermost floor/s as “rooms in the roof”; and deeper reveals and shade devices for fenestration and other ‘openings’ for greater articulation and to provide climate protection.*

### **Response to JDRP and Subsequent Officer Comments**

A number of changes have been made to the design arising from the JDRP, and subsequently following meetings with the City Officers.

In particular, an emphasis has been made to address the comments around mitigating bulk and scale through a combination of (internal and external) design changes and building treatments. These have resulted in overall improvements both to the design of the facility itself, as well as responded to the JDRP comments.

In this instance, notwithstanding the JDRP has indicated that height is acceptable (subject to addressing bulk and scale), the proposed changes have addressed both items by:

1. Reducing overall ground and building height levels;
2. Introducing new roof design treatments specifically to the upper floor for the entire building to wrap the upper floor as rooms in roof as requested by JDRP; and,
3. Addressing the appearance of bulk and scale along the northern elevation by removing the previous single design and single setback treatment along this elevation into three distinctive receding elements. These receding elements progressively increase the setbacks and recessive features of the building as the height increases towards the lower topography adjacent to the POS.

These changes have occurred over two sets of plan iterations and include the following specific contributory elements:

- The introduction of a mansard wrapping roof. The mansard roof continues around the entire building to reduce the bulk and scale of the proposed built form. This is consistent with the JDRP’s suggestion to wrapping down to signify the uppermost floor as “rooms in the roof”
- The floor level of the entry lobby lounge has been reduced by 300mm to a new RL of 30.843. The overall building height has been reduced by 1.1m. This has mitigated the overall bulk and scale from all vantage points.
- The northwest corner of the upper floor is modified to include an open terrace rooftop element, not dissimilar to the communal rooftop space atop the Scarborough facility. In conjunction, the north western corner of the building was cut back from the edge of the building to present a softer interface with the adjoining POS and adjacent residential properties tying in with the terrace inclusion.

- The configuration of the lounge and terrace areas fronting Gibson Avenue has been modified with greater allocation of outdoor terracing to reduce bulk and scale. In addition, an increased setback to Gibson Avenue has been provided.



**Figure 1 – Modified front perspective to Gibson Avenue with mansard roof and lower ground and build height (no fencing shown)**



**Figure 2 – Modified rear perspective with mansard roofing and increased setbacks with reduced overall height**

- Lot boundary setback adjacent the driveway to the north have been increased from 8.72m to 9.22m. Lot boundary setback for the rear portion of the building to the north have been increased from 13.71m to 16.01m adjacent to the POS, where the development is at its tallest arising from the slope of the land into three distinctive receding elements. These receding

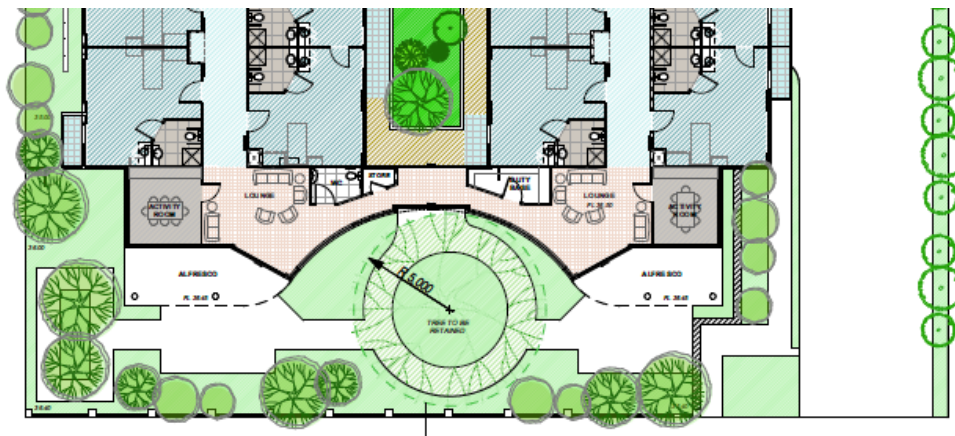
elements progressively increase the setbacks and recessive features of the building as the height increases towards the lower topography adjacent to the POS.

- The additional elements have included Introduction of a range of colours, materials and finishes including earthy tones, brickwork, and stone elements, adjusted building lobby and new curved parapet fascia, balconies added with varied setbacks, and void spaces. It also comprises additional articulation and built form elements to reduce the building mass. This includes open carpark levels, a series of vertical elements and recessed ground floor walls.



**Figure 3 – Recessive Wall and Setback Treatments to break the horizontal massing and building which increase as topography changes result in increased building height**

- The void spaces between the wings have been increased to allow additional sunlight and ventilation. The void spaces to the west have been increased from 3.6m to 4.5m wide, and to the east of the building from 3.6m to 6.3m. Additionally, an internal landscaped area has been introduced within the 6.3m wide void space for dementia residents to allow greater flexibility, circulation, and amenity, along with accessibility into the front open space area which provides significant livability improvements for these residents.



**Figure 4 – Dementia floor modified open space access treatment**

We believe the modifications over the two plan iterations provide a comprehensive response to the JDRP commentary in addition to the City’s most recent comments. We have included the amended plan set and supporting information as **Attachment 1**. Perspective drawings demonstrating the appearance of these changes are included as **Attachment 2**.



**Figure 5 – Landscaping and Open Space Treatments Adjacent to POS**

#### **Key considerations in Respect to Site Context**

It is also relevant to consider the site context of the interface to the north.

- The rear 24m of the site, which was an area identified by the City of Joondalup of particular sensitivity, adjoins a drainage basin where no amenity impact arises.
- The subject site only directly adjoins three residential dwellings. The southern and western boundaries of the subject site adjoin commercial properties and POS. Two of the residential dwellings align with the front, lower half of the proposed building and are therefore less affected by the rear bulk and scale as identified by Council.
- The remaining dwelling adjacent the drainage basin will directly benefit from the proposed improvements and changes arising from these modifications comprising:
  - Reductions in overall building height by 1.1m;
  - Increased side setbacks for the entire northern elevation, by 0.5m for the front half of the building, and 2.4m at the rear toward the POS; and
  - Incorporating an open balcony treatment on the corner with recessed bulk.
  - removing the previous single design and single setback treatment along this elevation into three distinctive receding elements which progressively increase the setbacks and recessive features of the building as the height increases towards the lower topography adjacent to the POS.

- It is also important to note that given the northern location of the dwellings relative to the residential care facility, no overshadowing of the adjacent residential properties will occur as a result of this proposal.



**Figure 5 – Interface of Rear Adjacent to POS and Compensating Basin**

As observed from the recent site visit to Scarborough, which is similar contextually, the interface proposes a lower scale of development than successfully exists at the Scarborough site. As was evident during the site visit, the scale of the development demonstrates the interface suitability that is also applicable at Padbury, noting the building is significantly smaller, adjacent fewer dwellings, has been further modified to address bulk and scale, and is therefore appropriate in the local lower density context.

### **Conclusion**

We thank the City for their engagement with this application and have taken their comments into consideration with the additional modifications proposed. We trust these additional modifications address the matters raised by the City in our most recent meeting and the application is now in a position to be progressed to public consultation.

Should you require any further information, please do not hesitate to contact our office.

Yours sincerely

**ALLERDING AND ASSOCIATES**



**JOHN WILLIAMSON  
SENIOR TOWN PLANNER**

Encl:

CC: Client