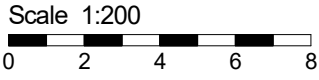
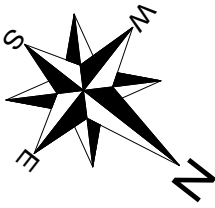


⊕	Power Dome
○	Power Pole
⊕	Phone Pits
⊕	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence



SITE COVERAGE CALCULATION
ZONED = R20
LOT AREA = 960m²
MIN. REQUIRED OPEN SPACE = 480m² @ 50%
TOTAL OPEN SPACE ACHIEVED = 608.895m²
PERCENTAGE OF OPEN SPACE ACHIEVED = 63.42%

OVERSHADOWING CALCULATION
ZONING = R20
NEIGHBOURS LOT AREA = 443m²
MAX. ALLOWED COVER = 110.75m² @ 25%
ACTUAL COVER = 52.712m² (11.89%)

LOT MISCLOSE
0.003 m

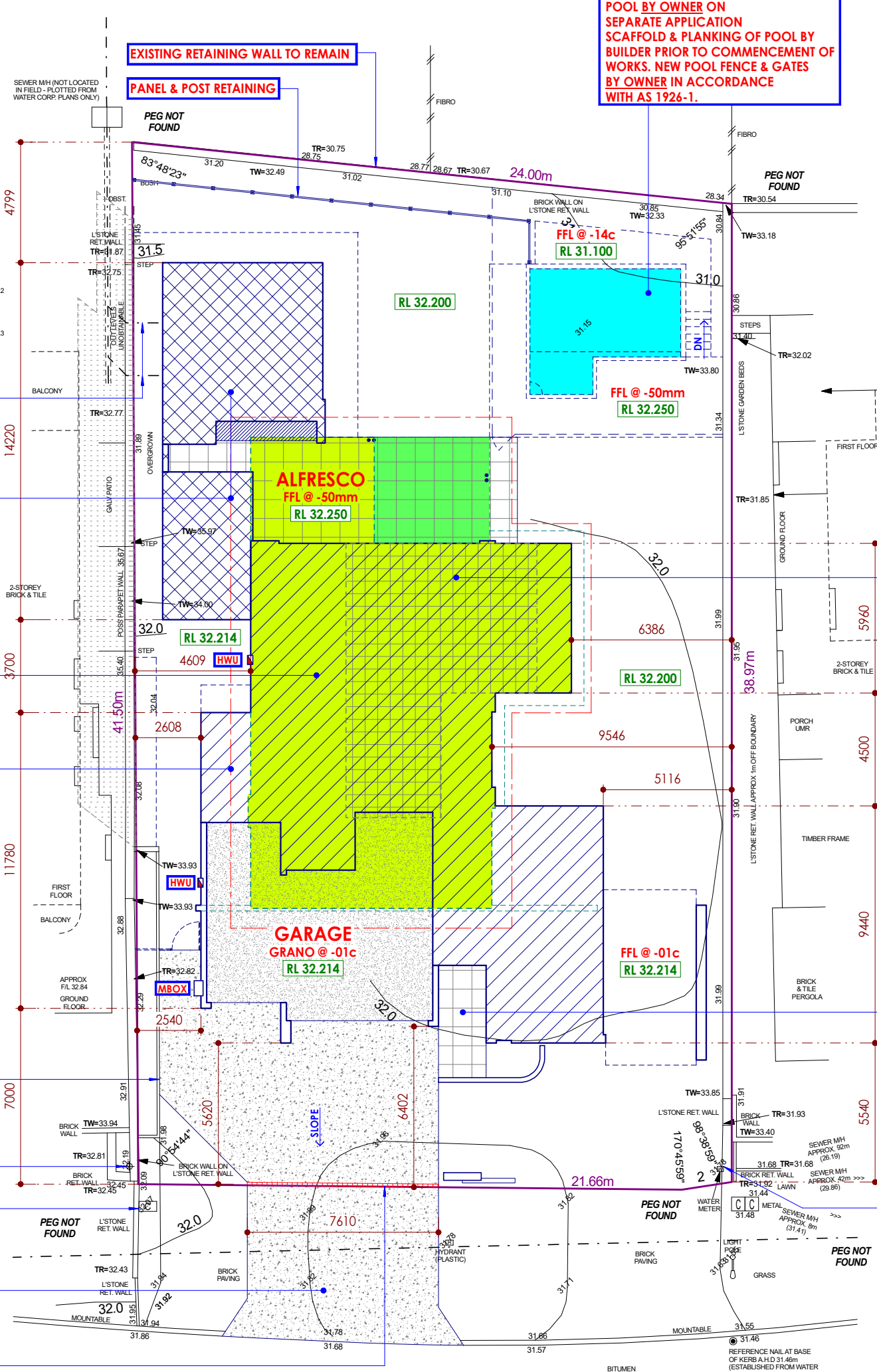
DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



EXISTING SEWER JUNCTION LOCATION'S

PROPOSED RESIDENCE (-50mm)
FFL 32.250
SPL 32.150
(SHOWN HATCHED)

EXTENT OF FIRST FLOOR LEVEL
(SHOWN SHADED)

PROPOSED RESIDENCE (00c)
FFL 32.300
SPL 32.200
(SHOWN HATCHED)

PROPOSED UNDERCROFT (-34c)
FFL 29.386
SPL 29.286
(SHOWN HATCHED)

PORCH R.L. 32.300
FFL @ 00c (TILED OVER)

EXISTING RETAINING WALL TO REMAIN

EXISTING POWER DOME LOCATION

EXISTING TELSTRA PIT LOCATION

DRIVEWAY & CROSSOVER TO SUIT COUNCIL REQUIREMENTS

TRAFFICABLE SPOON DRAIN CONNECTED STORMWATER SYSTEM

EXISTING WATER METER LOCATION

VOLUNTEER PLACE

AVERNA HOMES
INDIVIDUAL HOME BUILDERS

Builders Registration No. 12340
Telephone - (08) 9373 3999
Suite 3, First Floor, 54 Belgravia Street, Belmont, W.A 6104
PO Box 398 Como W.A 6952

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Rev	Date	Notes
A.	25-08-23.	ISSUED FOR D.A.

This is one of the drawings referred to in the building contract.

Client :
Date :

Client :
Date :

Builder :
Date :

Client Name :
Job number : **2256**
Scale : **1 : 200**

Drawn By : **A.Galipo**
Date Drawn : **Aug' 2023**

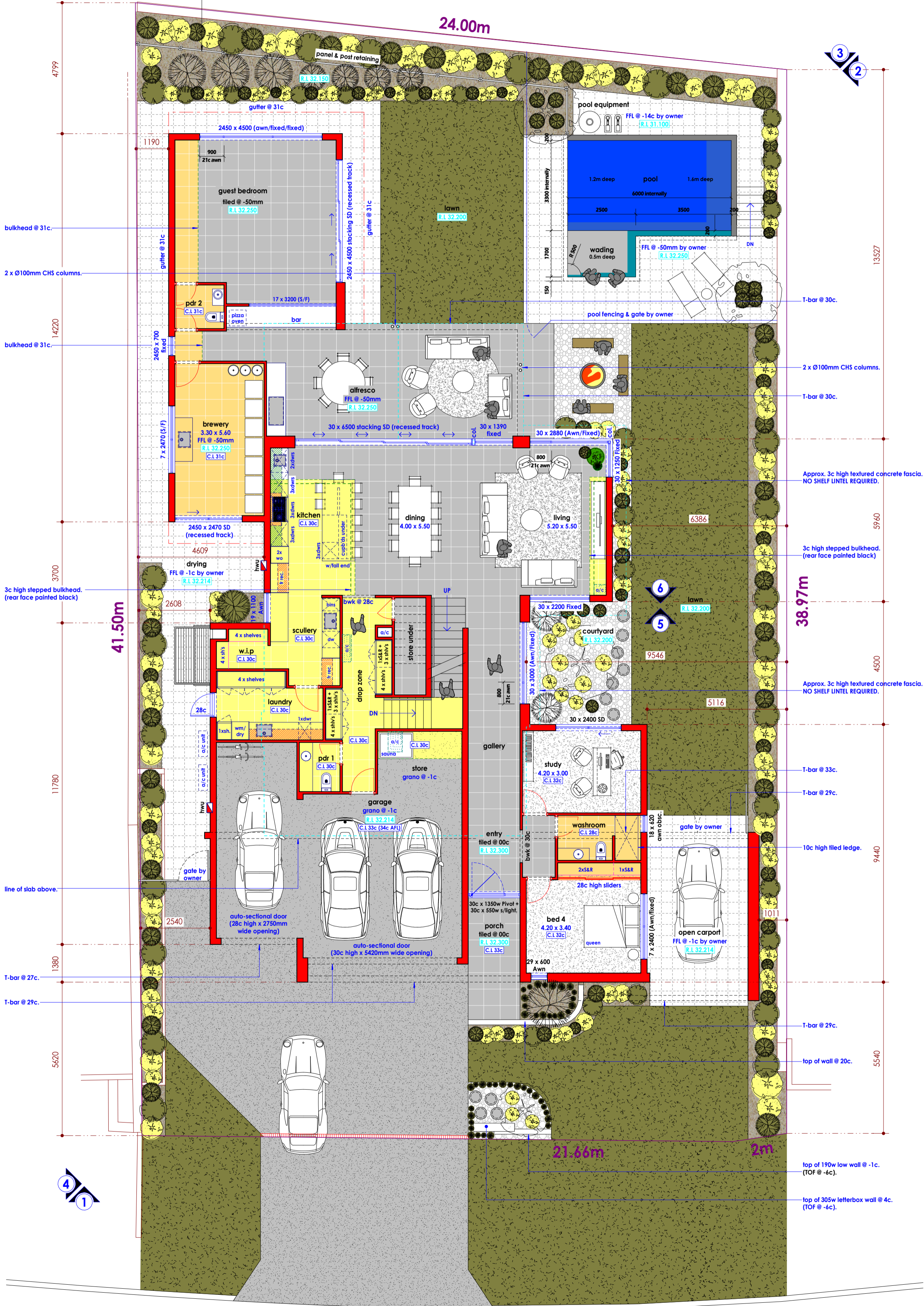
Site Address :
**Lot 334 (#8)
Volunteer Place,
Ocean Reef.**

Revision No : **A.**
Sheet No : **08 of 08**

Drawing Name : **Site Plan**

Job number : 2256	Scale : 1 : 200
Drawn By : A.Galipo	Date Drawn : Aug' 2023
Revision No : A.	Sheet No : 08 of 08
Drawing Name : Site Plan	

Approx. 1200mm high x 17500mm long Panel & post retaining walls.



NOTE: U/SIDE OF 3c THICK SLAB @ 34c CEILING @ 33c THROUGHOUT U.O.



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Suite 3, First Floor, 54 Belgravia Street, Belmont, W.A. 6104
PO Box 318 Como W.A. 6152

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Rev	Date	Notes
A.	25-08-23	ISSUED FOR D.A.

Areas:	
Cellar	64.045m ²
Ground Floor House Area =	194.968m ²
Garage Area (incl. Store) =	69.219m ²
Alfresco Area =	41.316m ²
Porch Area =	4.617m ²
Cabana & Brewery =	68.625m ²
First Floor House Area =	179.643m ²
Balcony =	19.377m ²
TOTAL AREA =	642.170m²
Cellar Perim. =	37.04m
Ground Floor House Perim. =	83.55m
First Floor House Perim. =	63.54m

This is one of the drawings referred to in the building contract.

Client :
Date :
Client :
Date :
Builder :
Date :

Client Name :

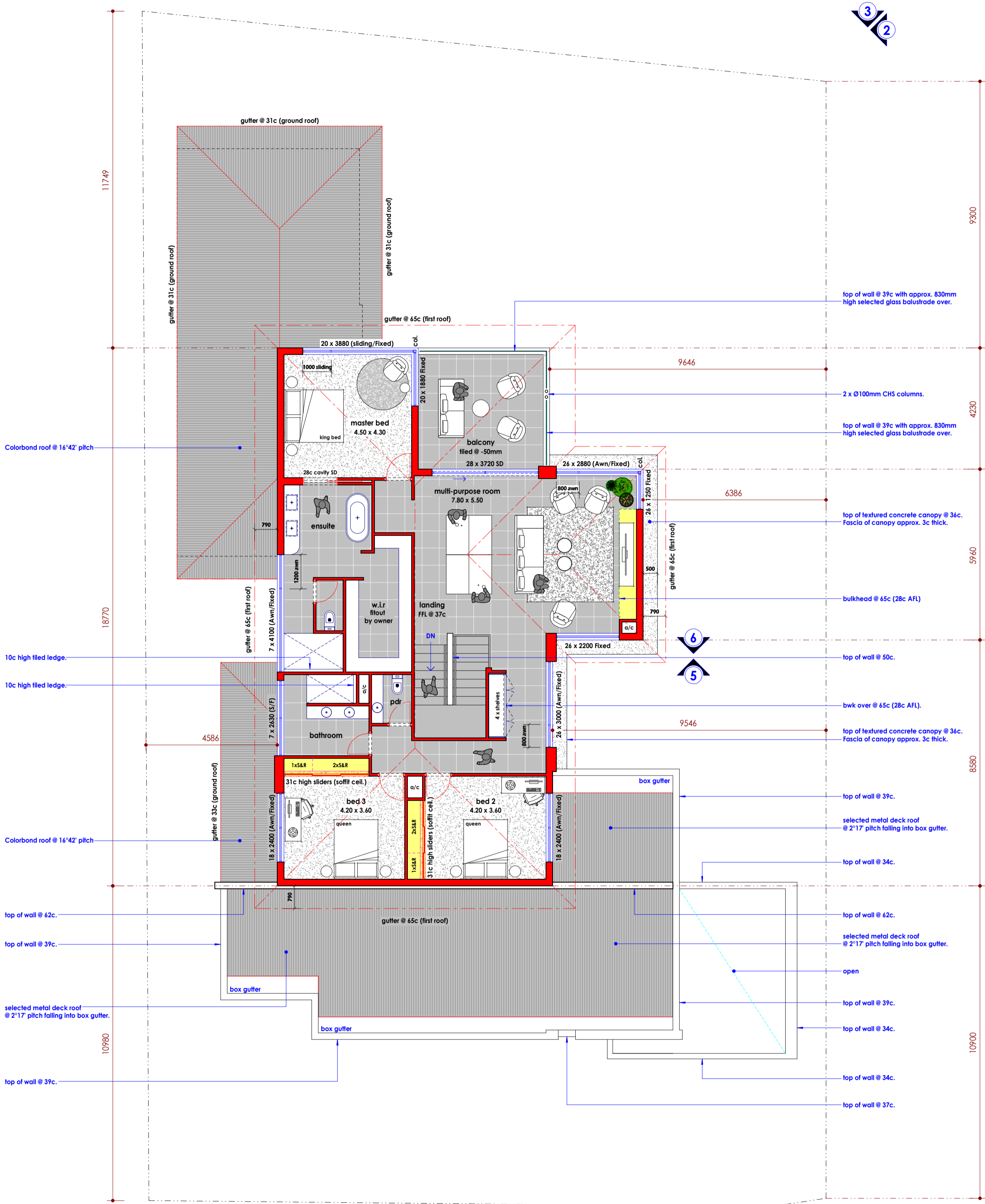
Site Address :
**Lot 334 (#8)
Volunteer Place,
Ocean Reef.**

Job number : **2256** Scale : **1 : 100**

Drawn By : **A. Galipo** Date Drawn : **Aug' 2023**

Revision No : **A.** Sheet No : **02 of 08**

Drawing Name : **Ground Floor Plan**



FIRST FLOOR COLORBOND ROOF @ 16°42' PITCH.

NOTE: CEILINGS @ 68c (31c AFL) THROUGHOUT U.N.O



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Client :
 Date :
 Client :
 Date :
 Builder :
 Date :

Client Name :

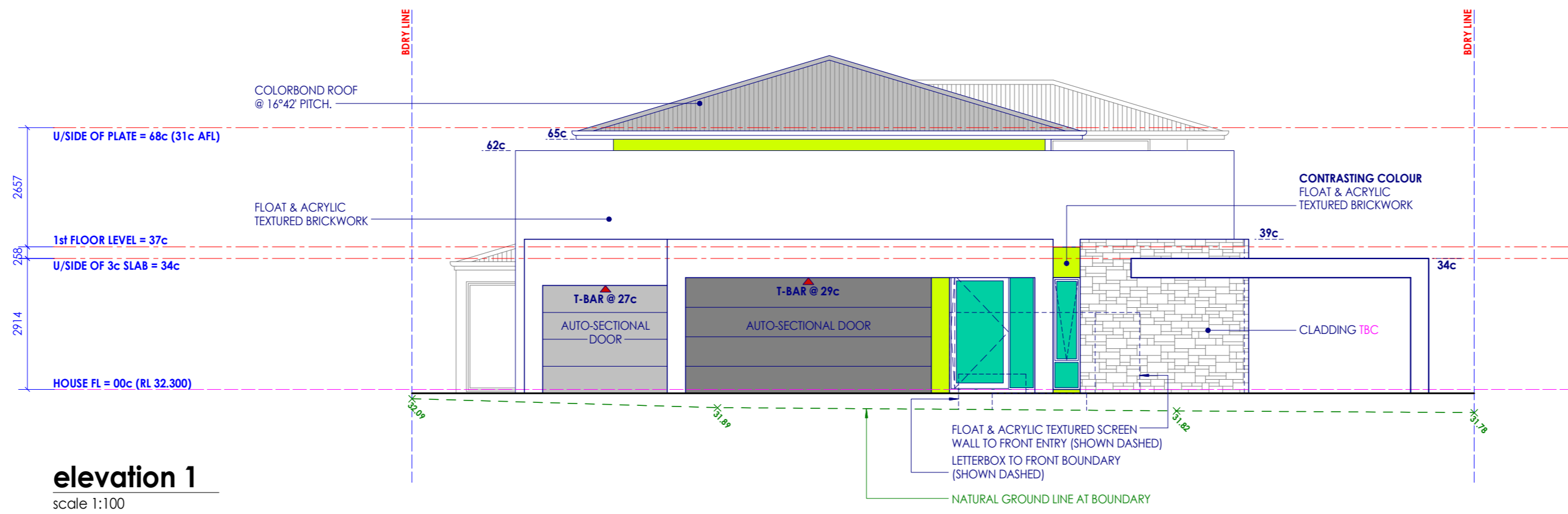
Site Address :
**Lot 334 (#8)
 Volunteer Place,
 Ocean Reef.**

Job number : **2256** Scale : **1 : 100**

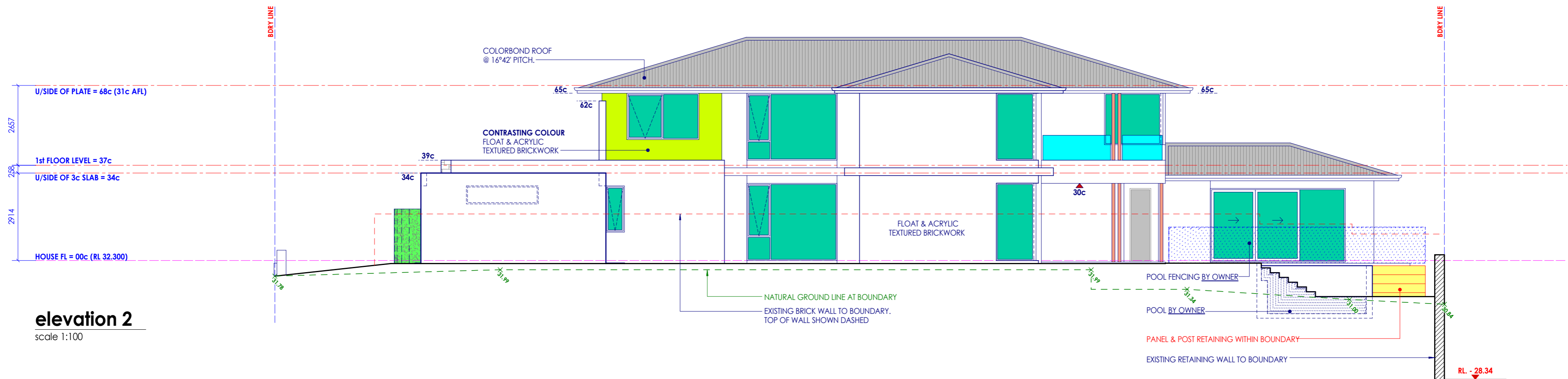
Drawn By : **A.Galipo** Date Drawn : **Aug' 2023**

Revision No : **A.** Sheet No : **03 of 08**

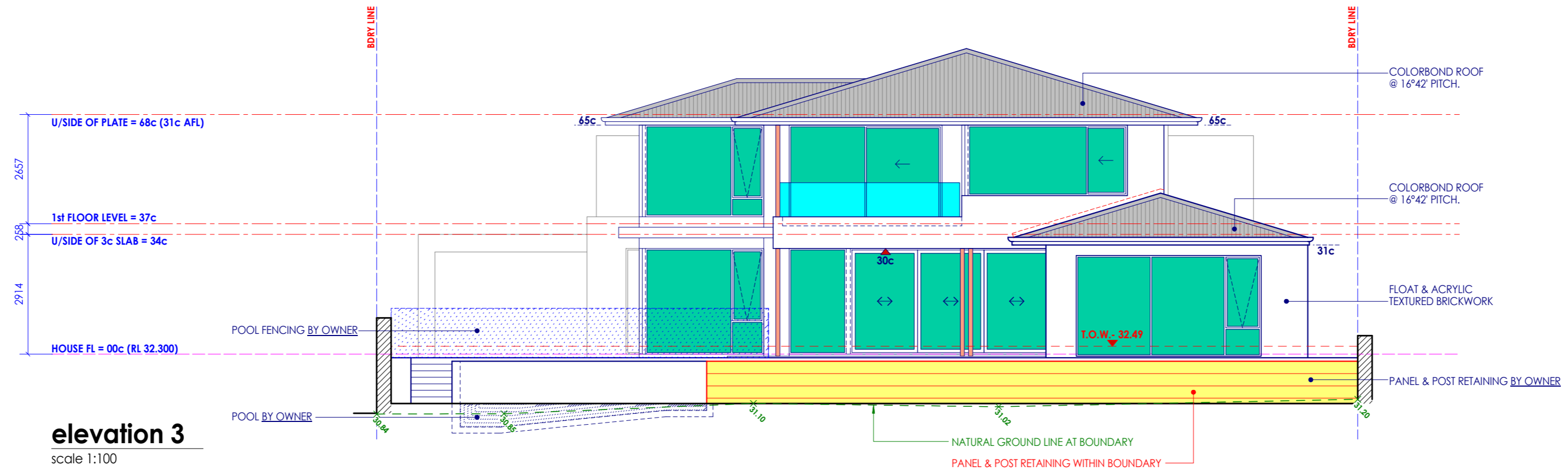
Drawing Name : **First Floor Plan**



elevation 1
scale 1:100



elevation 2
scale 1:100



elevation 3
scale 1:100

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INDIVIDUAL HOME BUILDERS

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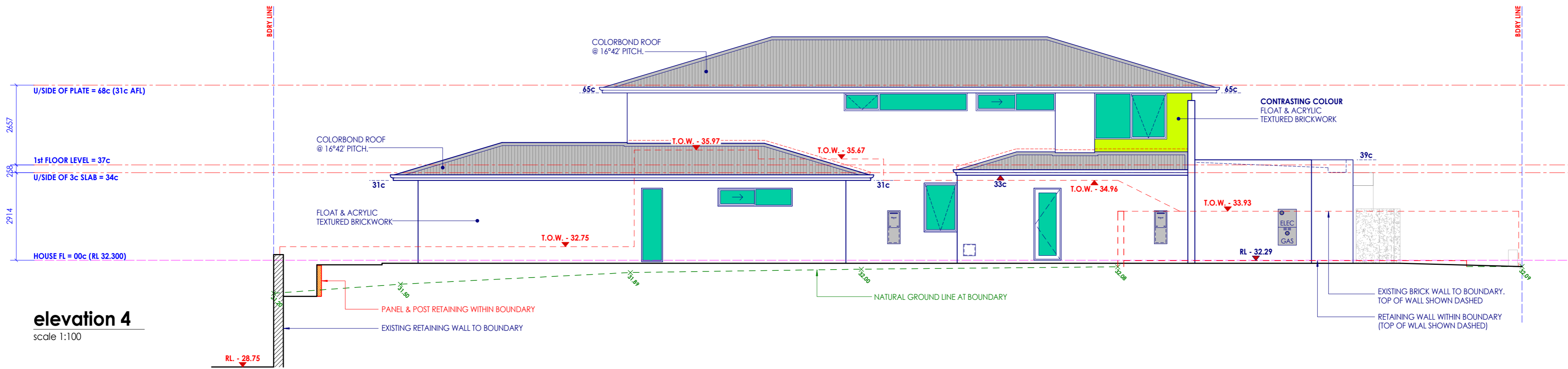
Rev	Date	Notes
A.	25-08-23	ISSUED FOR D.A.

This is one of the drawings referred to in the building contract.

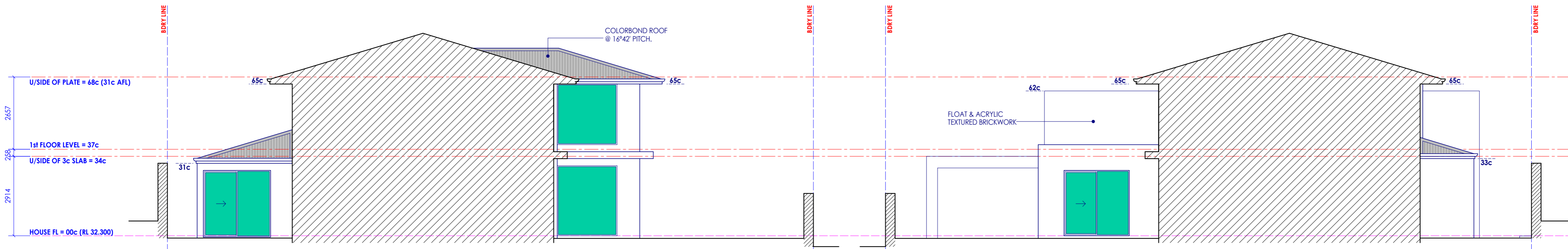
Client :
Date :
Client :
Date :
Builder :
Date :

Client Name :
**Volunteer Place,
Ocean Reef.**

Job number : **2256**
Scale : **1 : 100**
Drawn By : **A.Galipo**
Date Drawn : **Aug' 2023**
Revision No : **A.**
Sheet No : **04 of 08**
Drawing Name : **Elevations 1 & 2**



elevation 4
scale 1:100



elevation 5
scale 1:100

elevation 6
scale 1:100

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Rev	Date	Notes
A.	25-08-23	ISSUED FOR D.A.

This is one of the drawings referred to in the building contract.

Client :
Date :
Client :
Date :
Builder :
Date :

Client Name :

Site Address :
**Lot 334 (#8),
Volunteer Place,
Ocean Reef.**

Job number : 2256	Scale : 1 : 100
Drawn By : A.Galipo	Date Drawn : Aug' 2023
Revision No : A.	Sheet No : 05 of 08
Drawing Name : Elevations 3 & 4	