

LOT 326

711m²

SERVICE INFORMATION

AREA	ESTABLISHED
SEWERAGE	YES DEPTH
WATER	YES PRELAI L
ELECTRICAL	YES O/H
TELECOM	YES
GAS	YES
DRAFTED	DF SURVEYOR TS

SERVICE LEGEND

SURVEY	
* DATUM	
oPF PEG FOUND	
oPG PEG GONE	

SEWERAGE	
oSEW SEWER MANHOLE	
oIO INSPECTION OPENING	
oIS INSPECTION SHAFT	

WATER	
oM WATER METER	
oH HYDRANT	
oF FLUSH POINT	
oV STOP VALVE	

ELECTRICAL	
oPD POWER DOME/PILLAR	
oP POWER POLE	
oL LAMP POST	
oC CONSUMER POLE	
oA STAY WIRE ANCHOR	

STORMWATER	
oSM STORMWATER MANHOLE	
oG GRATE	
oSEP SIDE ENTRY PIT	

GAS	
oGM GAS METER	
oSV SERVICE VALVE	

TELECOM	
oCP COMMUNICATION PIT	

SEWER CONNECTION POSITION

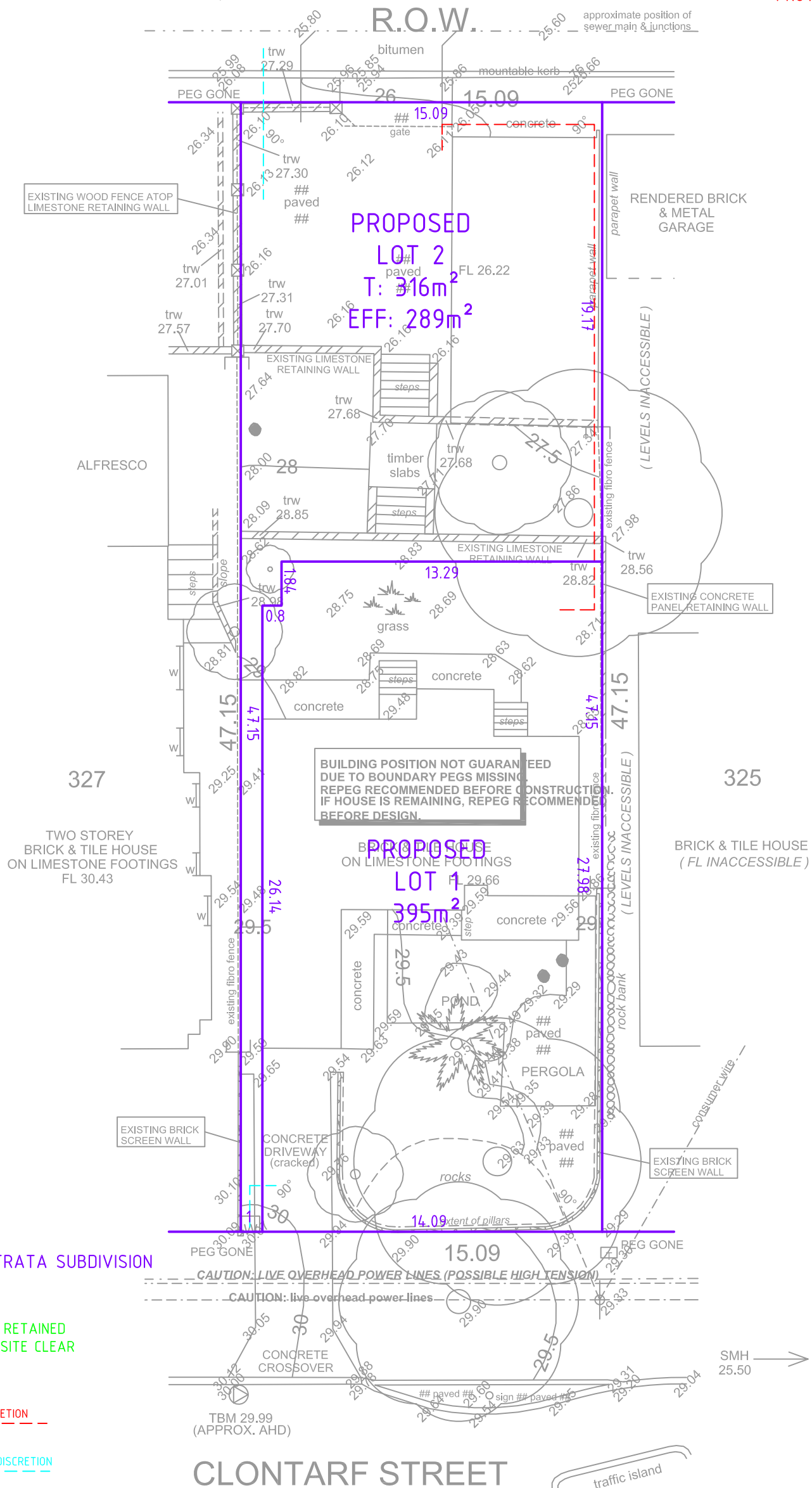
APPROXIMATE ONLY
SEW INV. N/A
UP. 0.00
DEPTH. N/A

SEWER JUNCTION
IN 3.8 UP 0.8
RL 25.38 (TOP OF RISER)
INVERT LEVEL 24.58
about 0.7m deep (riser)

SEWER JUNCTION
IN 3.9 UP 0.8
RL 25.24 (TOP OF RISER)
INVERT LEVEL 24.44
about 0.85m deep (riser)

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY
REQUIRED TO CONFIRM LOT BOUNDARY
POSITION AND DIMENSIONS.

WARNING!
TSA SURVEYS HOLDS NO LIABILITY
FOR THE ACCURACY OF THE SURVEY
PROVIDED BY CLIENT.



PROPOSED TWO (2) LOT SURVEY STRATA SUBDIVISION
ZONED R25

PROPOSED LOT 1 - TO BE RETAINED
PROPOSED LOT 2 - TOTAL SITE CLEAR

PROPOSED SEWER LINES
MODIFIED AT PLUMBERS DISCRETION

PROPOSED WATER LINES
MODIFIED AT WATER CORPORATIONS DISCRETION

CLONTARF STREET

CLIENT: GROUGHAN			
ADDRESS: LOT 326 (#114) CLONTARF STREET, SORRENTO			
PLAN: P2820	C/T: 1278/116	AUTHORITY: CITY OF JOONDALUP	
DATE: 02/08/2022		JOB REFERENCE: TSA2370 - FS	
H. Grid : LOCAL	Local level : N/A	A.H.D. value SEWER M/H Distance derived from : V7417 from Datum : 52.13m	
V. Datum : AHD	A.H.D. level : 31.03		
VERSION	DATE	DESCRIPTION	APPROVED BY

TSA SURVEYS
CONSULTING SURVEYORS

A| U4/3 Wicks Street, Bayswater WA 6053
P| PO Box 102, Bassendean WA 6934
M| 0433 304 648
E| admin@tsasurveys.com.au
W| www.tsasurveys.com.au
ABN| 56 645 650 666

IMPORTANT NOTES:

- The information on this drawing is current at the date of survey.
- All services are to be confirmed with relevant authorities.
- This includes without limitation; Sewerage / Water / Drainage / Electrical / Gas & Communications
- Further Limitations / Interests / Encumbrances / Notifications may be listed on the Certificate of Title.
- Original lot dimensions taken from Landgate Survey Plans.
- Boundary Re-establishment Survey required to confirm lot boundary position and dimensions.
- The sole purpose of this plan is for presentation to WAPC for process of application for subdivision to produce a conditional approval.
- Final lot numbers, dimensions and areas may vary due to WAPC requirements, government authority conditions and final field survey.
- This plan is for the purpose of application and in no way represents WAPC conditional approval.
- TSA Surveys does not accept liability for loss or damage to any person or corporation who may rely on this plan for any purpose.
- Permission is required from TSA Surveys for the reproduction or copying of this plan.

Scale: 1:200 at A3

BUILDER:
CLIENT/s: **TERRY CLARK**

SITE ADDRESS:
LOT 326 (#114) CLONTARF STREET,
SORRENTO

LOCAL AUTHORITY: CITY OF JOONDALUP

BUILDER DWN BY: DATE: _____

SHEET No: **1 of** JOB No: **68645**

I/WE THE OWNER/S AGREE TO THE CONTENTS OF THIS DOCUMENT AND ALL INSTALLED SHEETS

OWNER/S: _____

WITNESS: _____

BUILDER: _____

WITNESS: _____

DATE: _____

SURVEYOR SITE INSPECTION REPORT

ELECTRICITY:	OVERHEAD	GAS:	YES
TELECOM:	YES	WATER:	YES (LHS)
SEWERAGE:	YES (SEE THIS PLAN FOR DEPTHS TO JUNCTIONS)		
ROAD:	BITUMEN		
KERB:	MOUNTABLE (cracked)		
FOOTPATH:	NIL		
VEGETATION:	ESTABLISHED GARDENS & TREES		
SOIL:	SAND & POSSIBLE LIMESTONE AT DEPTH		
VIEWS:	POSSIBLE DISTANT VIEWS		
REPEG:	REQUIRED	REPEG TYPE:	OLD SURVEY AREA

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED. PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.

TITLE DETAILS

LOT NOS:	326	C/T VOL:	1278
PLAN:	2820(2)	FOL:	116

LEGEND

T.B.M.	TREE	HYDRANT
POWER DOME	PALM TREE	STOP VALVE
NBN	TREE STUMP	TAP
TELECOM PIT	POWER POLE	PRE-LAID WATER PIPE
COMMUNICATION PIT	STREET LAMP	WATER METER
FENCE END	GRATED DRAIN	SEWERAGE MANHOLE
PILLAR	SIDE ENTRY PIT	SEWERAGE MANHOLE
TOP OF RETAINING WALL	DRAINAGE MANHOLE	SEWERAGE INSPECTION LID

NOTES:

ALL SEWER DETAILS PLOTTED FROM INFORMATION SUPPLIED BY WATER CORPORATION SPATIAL INFORMATION MANAGEMENT. REFER TO THE DISCLAIMER NOTE ON WATER CORP E-PLAN.

BLOCK LOCATED ABOUT 1 KILOMETRE FROM THE OCEAN.

IMPORTANT NOTE:

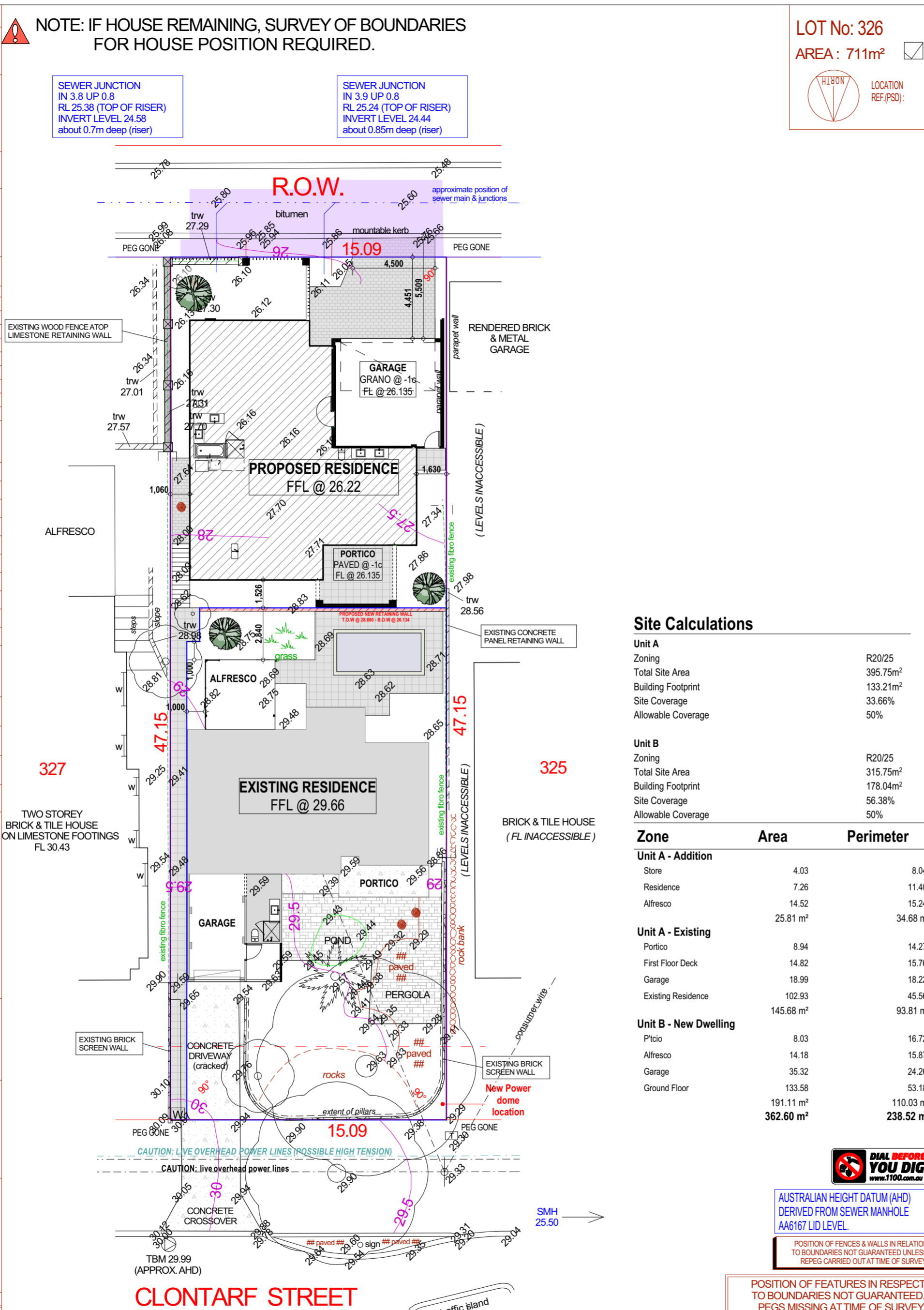
PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE PIPE LAYING.

LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.

POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEG CARRIED OUT AT TIME OF SURVEY. CHECK TITLE FOR EASEMENTS, CAVEATS & COVENANTS.

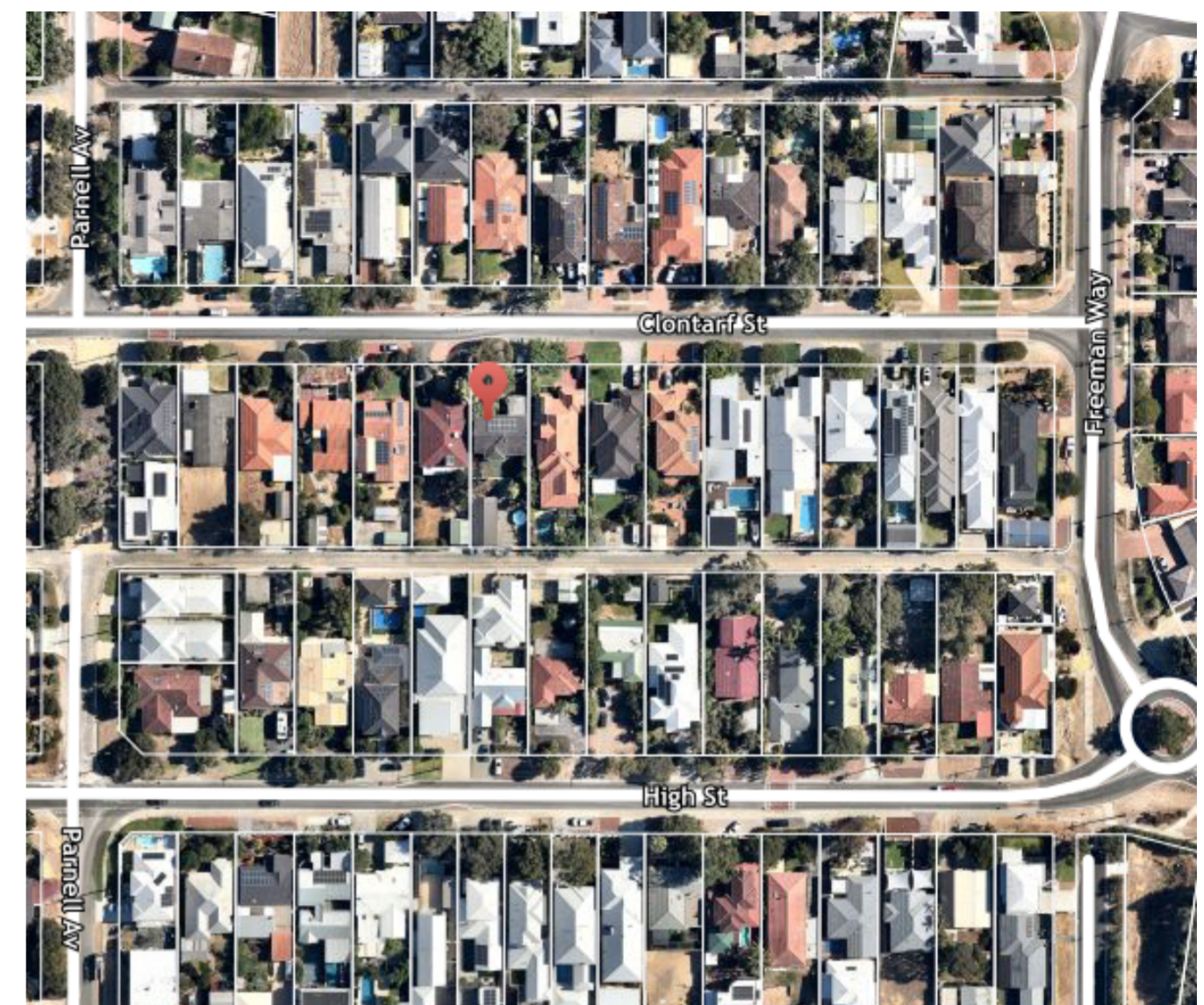
R. G. LESTER & ASSOCIATES
LICENSED LAND & ENGINEERING SURVEYORS
NORTH BEACH PLAZA
SHOP 7 / 1 NORTH BEACH ROAD
NORTH BEACH WA 6020
PH: 9448 5009 FX: 9203 6722
admin@lestersurveys.com.au

REF NO: 68645 FILE NO: 156 DATE: 08.08.18 DRAWN: AC



LOT No: 326
AREA: 711m²

LOCATION REF.(PSD):



Site Calculations

Unit A	Zoning	R20/25
	Total Site Area	395.75m ²
	Building Footprint	133.21m ²
	Site Coverage	33.66%
	Allowable Coverage	50%
Unit B	Zoning	R20/25
	Total Site Area	315.75m ²
	Building Footprint	178.04m ²
	Site Coverage	56.38%
	Allowable Coverage	50%

Zone	Area	Perimeter
Unit A - Addition		
Store	4.03	8.04
Residence	7.26	11.40
Alfresco	14.52	15.24
Unit A - Existing		
Portico	8.94	14.27
First Floor Deck	14.82	15.76
Garage	18.99	18.22
Existing Residence	102.93	45.56
Unit B - New Dwelling		
Portico	8.03	16.72
Alfresco	14.18	15.87
Garage	35.32	24.26
Ground Floor	191.11	110.03
Total	362.60 m²	238.52 m



Scale 1:200

Client: GROUGHAN
Project Name: Single Storey Dwelling
Project Address: Lot 326 (#114) Clontarf Street, Sorrento

Drawing Title: Site Plan
Scale: as noted **Sheet Size:** A2
Project No.: 22096 **Drawing No.:** PD03 of 12

Issue: Development Approval




Revision	Description	Date
010	DA Comments	21.11.23
009	Changes	15.11.23
008	Changes	13.11.23
007	Redesign	03.10.23
006	Planning Drawings	17.05.23
005	Planning Drawings	11.04.23
004	Planning Drawings	20.03.23

Rev: 010 Description: DA Comments Drawn: CD
Revision Number: 010 Date: 21.11.2023





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Unit: 3/1 Mulgool Road, Malaga W.A. 6090
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Ground Cover

-  Paving
-  Grass
-  Mulch

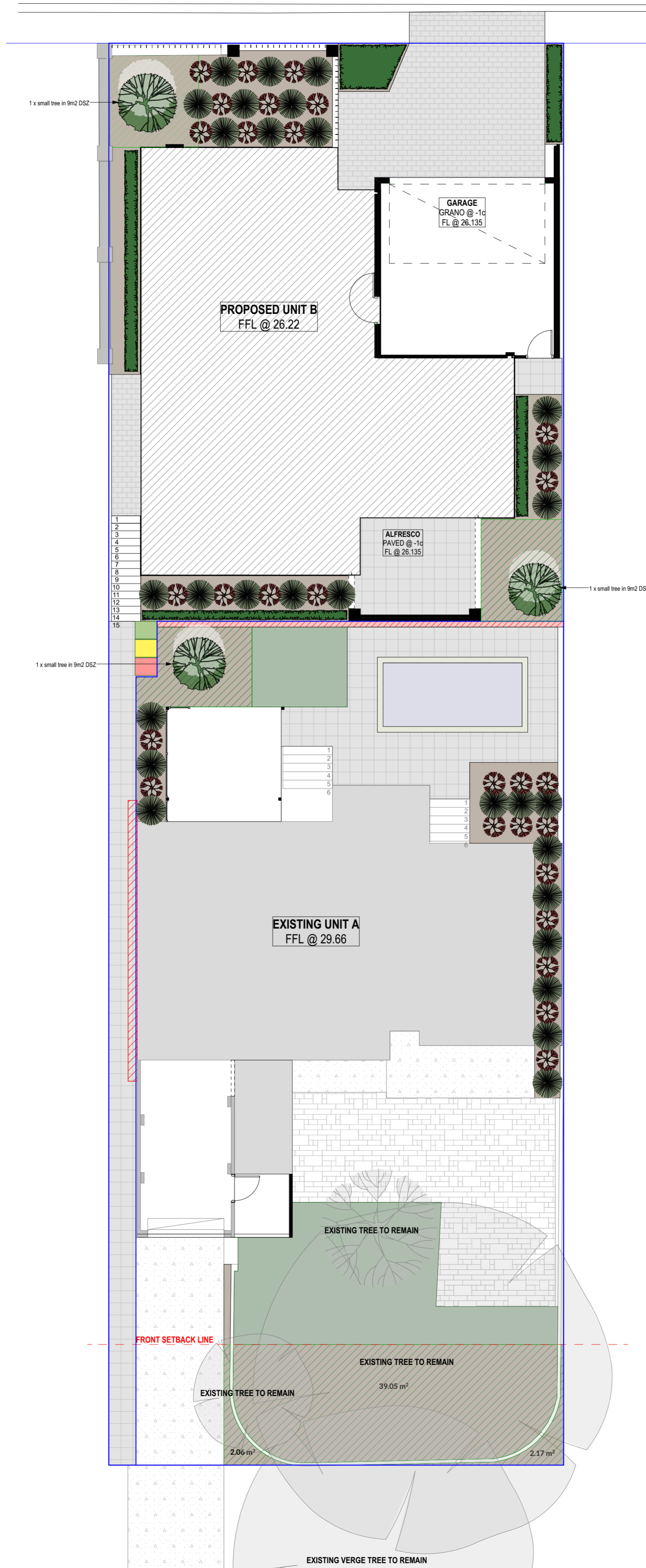
Plant Schedule

-  Little Ruby
-  Lepidospema Calicicola
-  Pittosporum Tenuifolium
-  Council Tree - Native Frangipani

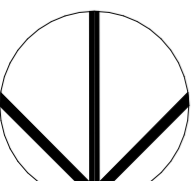
Landscaping Calculations

Unit A
 Total Lot Area = 395.64m²
 Landscape Area Required (30%) = 118.692m²
 Landscaping Area Provided = 117.87m²
 = 29.79%
 Total Deep Soil Areas Provided = 52.28m²
 (1x small trees = 9m²
 2 x existing trees = 39.05m²)
 Landscaping within front setback = 43.28m²
 = 10.57%
 Front setback area = 56.76m²

Unit B
 Total Lot Area = 315.86m²
 Landscape Area Required (25%) = 78.965m²
 Landscaping Area Provided = 61.68m²
 = 19.52%
 Total Deep Soil Areas Provided = 18m²
 (2x small trees)

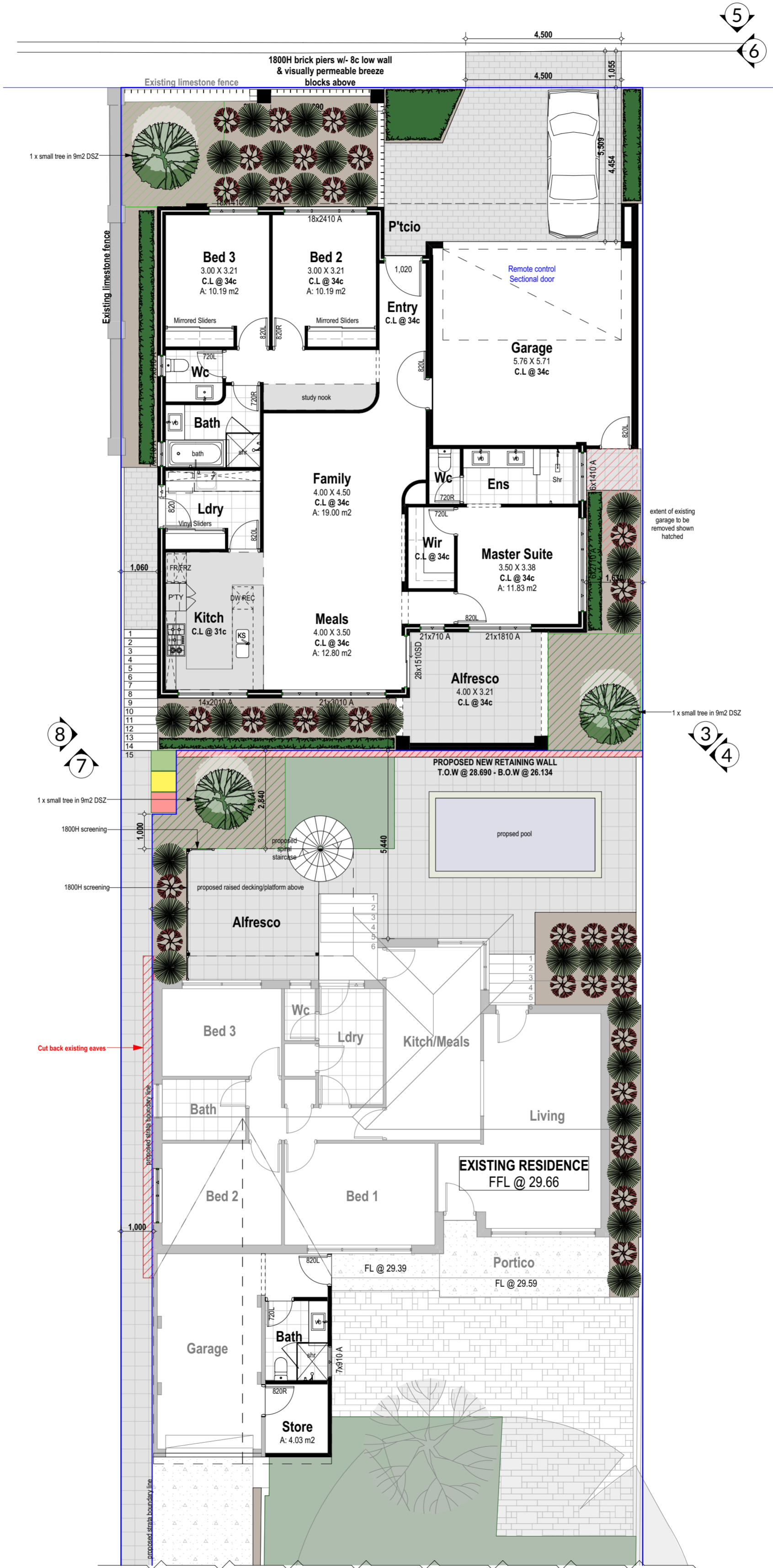


Scale 1:100

	Client GROUGHAN	Drawing Title: Landscaping Plan	Issue: Development Approval	Revision Description Date 010 DA Comments 21.11.23 009 Changes 15.11.23 008 Changes 13.11.23	GERMANO DESIGNS
	Project Name Single Storey Dwelling	Scale: as noted Sheet Size: A2	Rev: Description: Drawn: 010 DA Comments CD	007 Redesign 03.10.23 006 Planning Drawings 17.05.23 005 Planning Drawings 11.04.23 004 Planning Drawings 20.03.23	
Project Address Lot 326 (#114) Clontarf Street, Sorrento	Project No: 22096	Drawing No.: PD05 of 12	Revision Number: 010	Date: 21.11.2023	Unit: 3/1 Mulgool Road, Malaga W.A 6090 (08) 9248 8392 www.germanodesigns.com.au

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LANEWAY



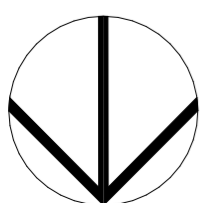
Site Calculations

Unit A	
Zoning	R20/25
Total Site Area	395.75m ²
Building Footprint	133.21m ²
Site Coverage	33.66%
Allowable Coverage	50%

Unit B	
Zoning	R20/25
Total Site Area	315.75m ²
Building Footprint	178.04m ²
Site Coverage	56.38%
Allowable Coverage	50%

Zone	Area	Perimeter
Unit A - Addition		
Store	4.03	8.04
Residence	7.26	11.40
Alfresco	14.52	15.24
	25.81 m ²	34.68 m
Unit A - Existing		
Portico	8.94	14.27
First Floor Deck	14.82	15.76
Garage	18.99	18.22
Existing Residence	102.93	45.56
	145.68 m ²	93.81 m
Unit B - New Dwelling		
P'tcio	8.03	16.72
Alfresco	14.18	15.87
Garage	35.32	24.26
Ground Floor	133.58	53.18
	191.11 m ²	110.03 m
	362.60 m²	238.52 m

Scale 1:100



Client
GROUGHAN
Project Name
Single Storey Dwelling
Project Address
Lot 326 (#114) Clontarf Street, Sorrento

Drawing Title:
New Ground Floor Plan
Scale: as noted **Sheet Size:** A2
Project No.: 22096 **Drawing No.:** PD08 of 12

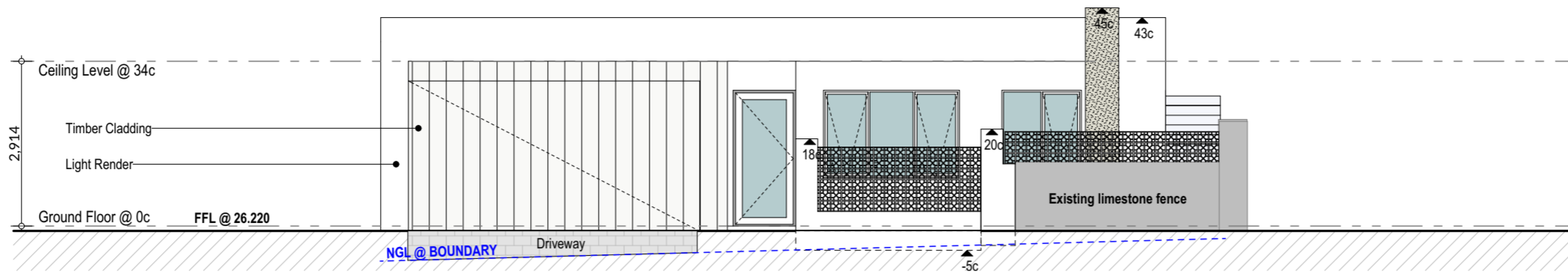
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Development Approval
Rev.: Description: Drawn:
010 DA Comments CD
Revision Number: 010 **Date:** 21.11.2023

Revision	Description	Date
010	DA Comments	21.11.23
009	Changes	15.11.23
008	Changes	13.11.23
007	Redesign	03.10.23
006	Planning Drawings	17.05.23
005	Planning Drawings	11.04.23
004	Planning Drawings	20.03.23

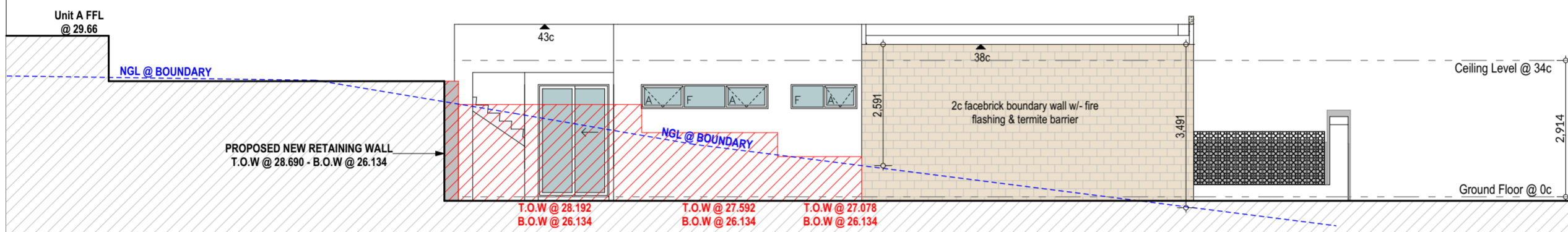
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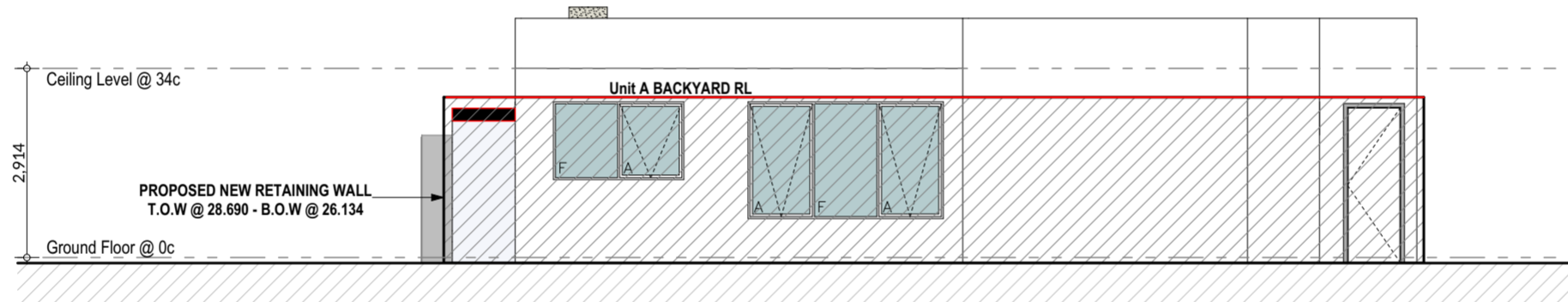
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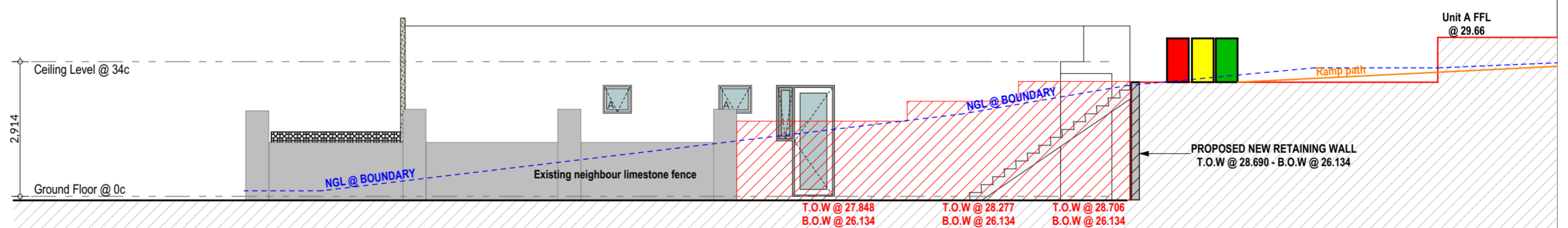
Elevation 5
Scale 1:100



Elevation 6
Scale 1:100



Elevation 7
Scale 1:100



Elevation 8
Scale 1:100

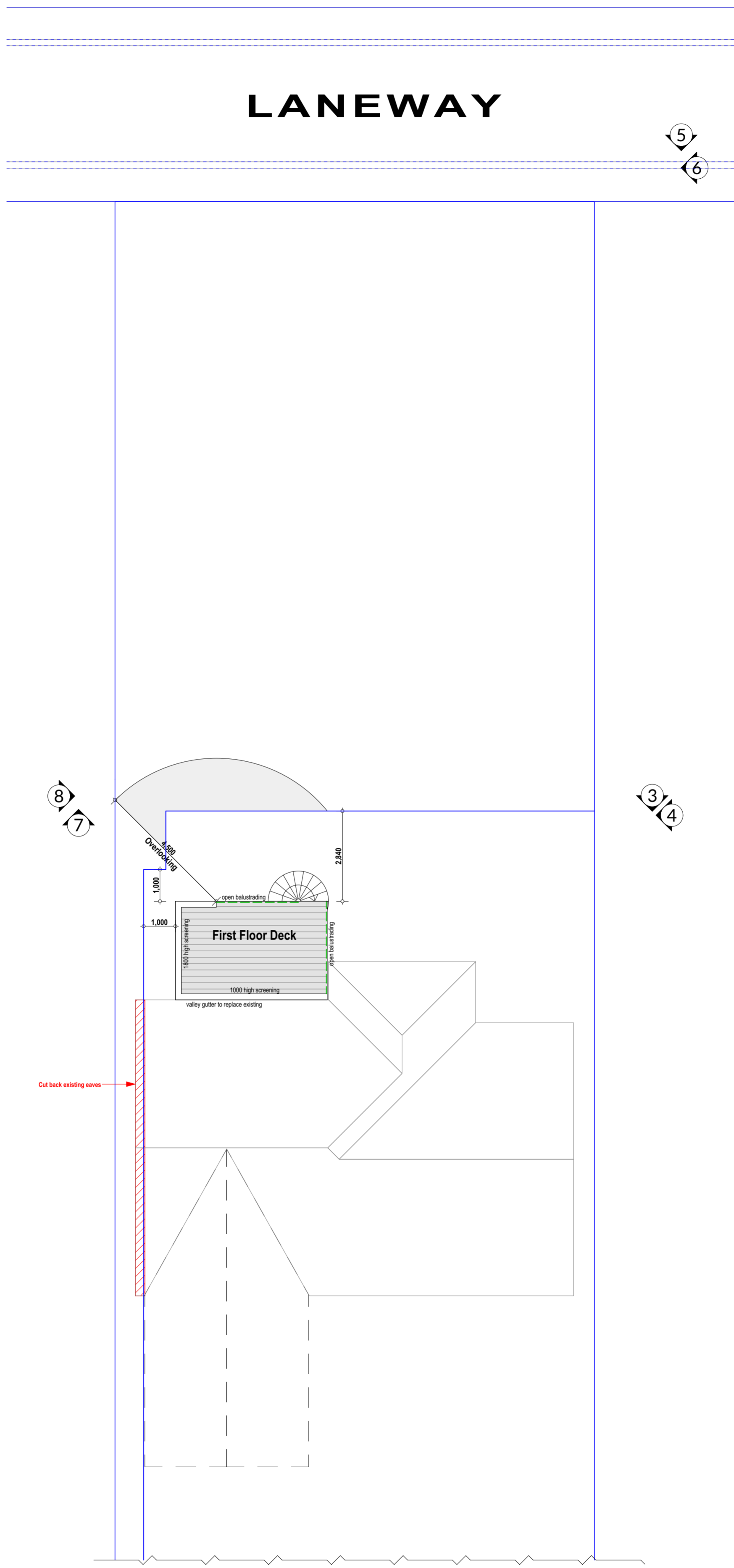
Client GROUGHAN Project Name Single Storey Dwelling Project Address Lot 326 (#114) Clontarf Street, Sorrento	Drawing Title: Unit B Elevations		Issue: Development Approval		Revision	Description	Date
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Project No: 22096	Drawing No.: PD12 of 12	Revision Number: 010	Date: 21.11.2023	009	Changes	15.11.23	13.11.23
				008	Changes	13.11.23	03.10.23
				007	Redesign	17.05.23	11.04.23
				006	Planning Drawings	11.04.23	20.03.23
				005	Planning Drawings	20.03.23	
				004	Planning Drawings		

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LANEWAY



Site Calculations

Unit A	
Zoning	R20/25
Total Site Area	395.75m ²
Building Footprint	133.21m ²
Site Coverage	33.66%
Allowable Coverage	50%

Unit B	
Zoning	R20/25
Total Site Area	315.75m ²
Building Footprint	178.04m ²
Site Coverage	56.38%
Allowable Coverage	50%

Zone	Area	Perimeter
Unit A - Addition		
Store	4.03	8.04
Residence	7.26	11.40
Alfresco	14.52	15.24
	25.81 m ²	34.68 m
Unit A - Existing		
Portico	8.94	14.27
First Floor Deck	14.82	15.76
Garage	18.99	18.22
Existing Residence	102.93	45.56
	145.68 m ²	93.81 m
Unit B - New Dwelling		
Portico	8.03	16.72
Alfresco	14.18	15.87
Garage	35.32	24.26
Ground Floor	133.58	53.18
	191.11 m ²	110.03 m
	362.60 m²	238.52 m

Scale 1:100

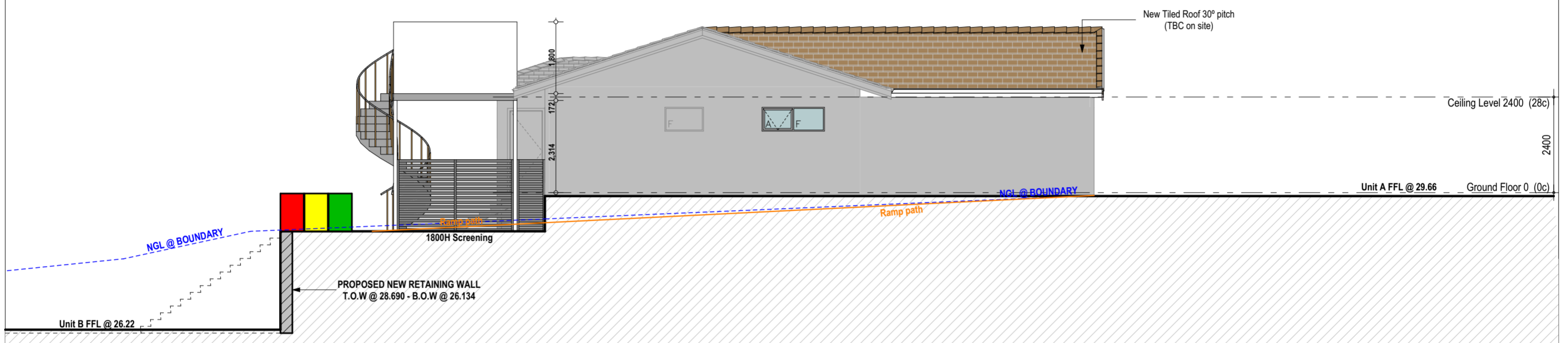
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Project Name Single Storey Dwelling	Scale: as noted Sheet Size: A2	Rev: Description: Drawn:	Date: 21.11.2023																											
Project Address Lot 326 (#114) Clontarf Street, Sorrento	Project No: 22096 Drawing No.: PD09 of 12	Rev: 010 DA Comments CD	Revision Number: 010																											

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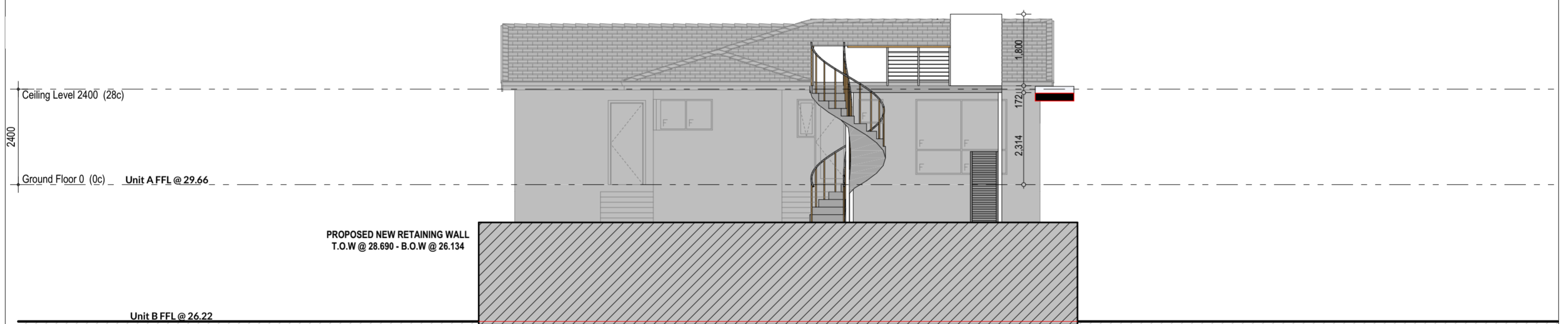
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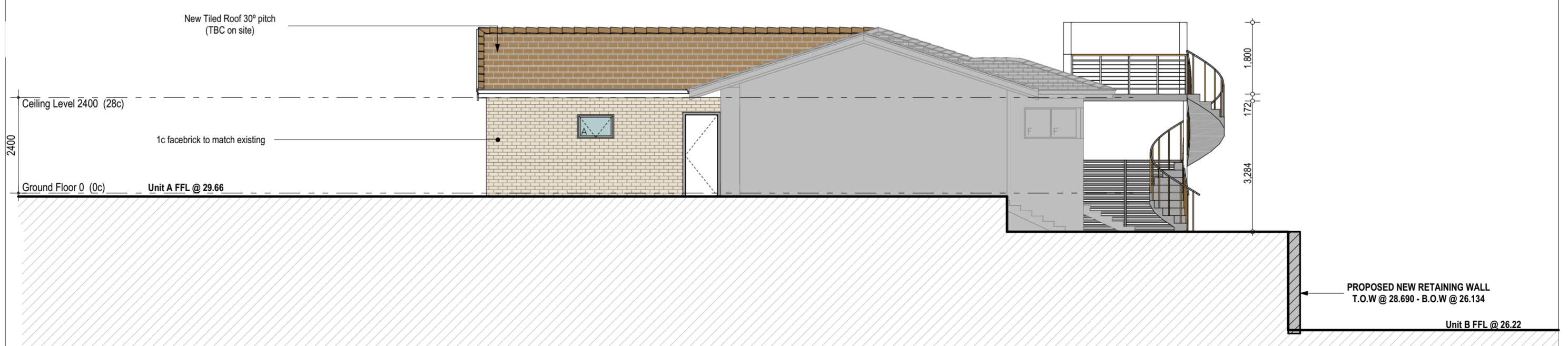
Elevation 2

Scale 1:100



Elevation 3

Scale 1:100



Elevation 4

Scale 1:100

Client GROUGHAN Project Name Single Storey Dwelling Project Address Lot 326 (#114) Clontarf Street, Sorrento	Drawing Title: Unit A Elevations		Issue: Development Approval		Revision	Description	Date	GERMANO DESIGNS Unit: 3/1 Mulgool Road, Malaga W.A 6090 (08) 9248 8392 www.germanodesigns.com.au	©COPYRIGHT <small>This plan shall remain the sole property of GERMANO DESIGNS and must not be given, lent, resold or otherwise disposed of or copied without permission in writing of the company.</small>
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Project No: 22096	Drawing No.: PD11 of 12	Revision Number: 010	Date: 21.11.2023	009 Changes 15.11.23	008 Changes 13.11.23	007 Redesign 03.10.23	006 Planning Drawings 17.05.23	005 Planning Drawings 11.04.23	004 Planning Drawings 20.03.23