



Client

Rowe

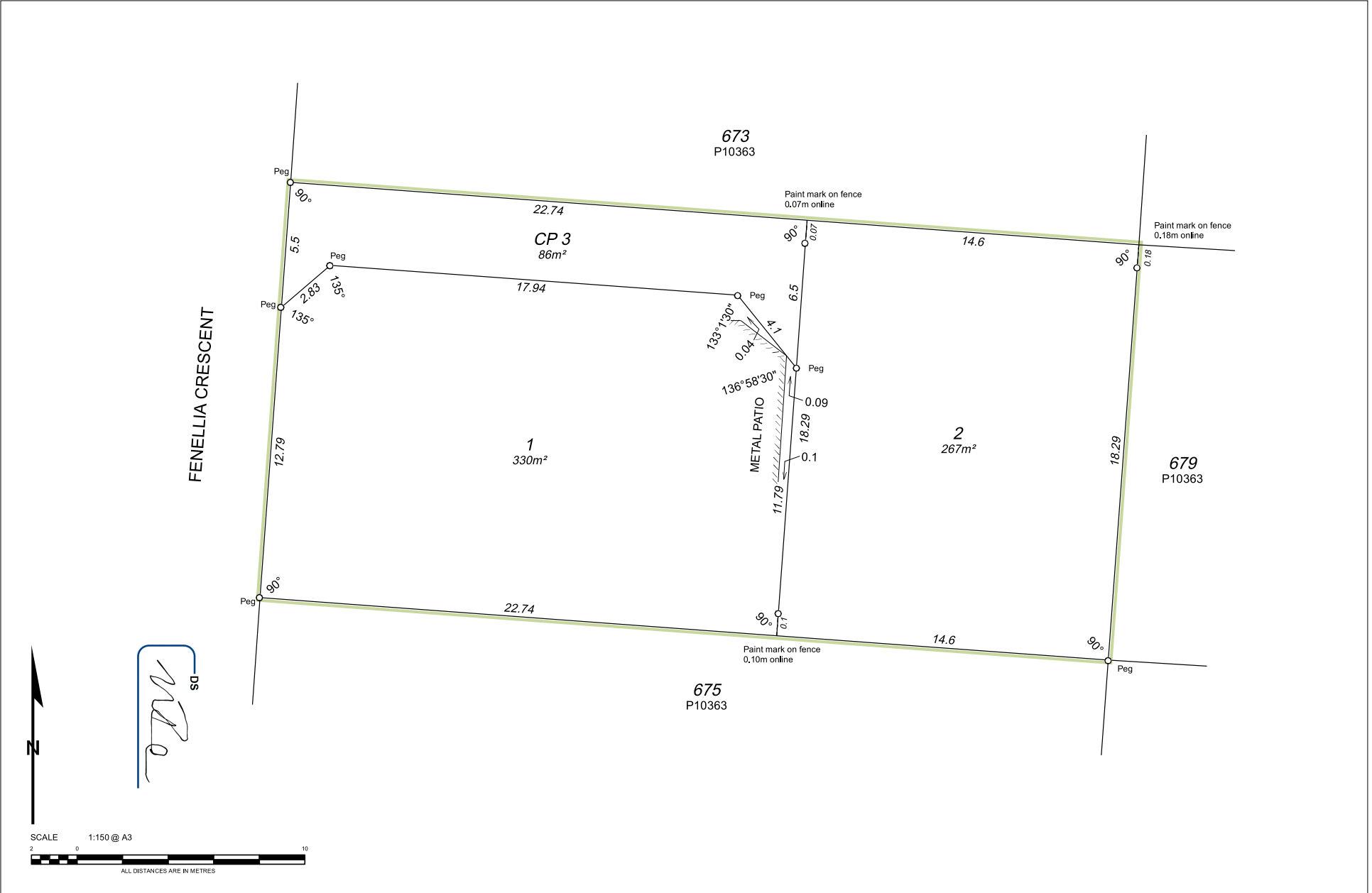
Site Address

Proposed Residence
12A Fenellia Crescent, Craigie



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mark anthony design



Signature: *[Handwritten Signature]*
 DS



ADDITIONAL SHEETS
 ENDORSEMENT SHEET

SHEET 2 OF 2 SHEETS

VERSION NUMBER 1

SURVEY-STRATA PLAN 85215

Dimensions

All dimensions and offsets are indicative ONLY for council purposes and may vary at final documentation stage

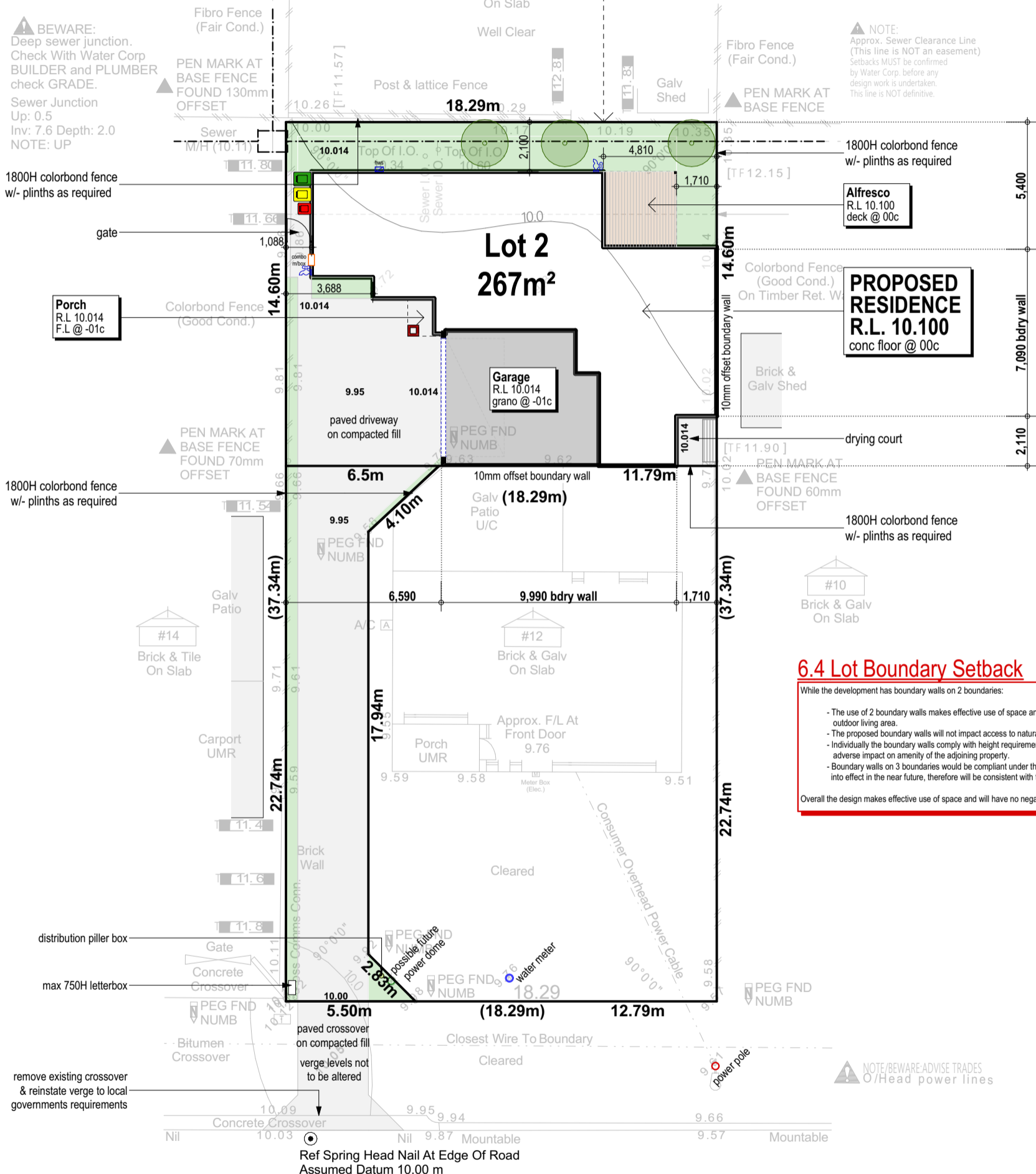
Landscaping Calculations

Lot Area:	267m ²
20% Landscaping Required:	53.4m ²
30% Permeable Hardstand Permitted:	16.02m ²
Landscaping Provided:	53.96m²
DSA - Deep Soil Area (27m ² required - 9m ² per small tree)	38.40m ²
PP - Permeable Paving/Decking	9.90m ²
Trees Provided (lot area 0-300m²)	
0 Medium Tree (1 per 60m ² of landscaping)	
3 Small Tree (1 per 20m ² landscaping)	
Total:	60m²

NOTE:
Positions of all sewer manholes, junctions and sewer lines are approximate only due to lack of information. Please confirm all positions with Water Corp.

BEWARE:
Deep sewer junction. Check With Water Corp BUILDER and PLUMBER check GRADE.
Sewer Junction Up: 0.5
Inv: 7.6 Depth: 2.0
NOTE: UP

NOTE:
Approx. Sewer Clearance Line (This line is NOT an easement) Setbacks MUST be confirmed by Water Corp. before any design work is undertaken. This line is NOT definitive.



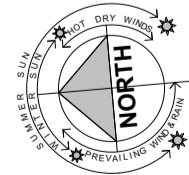
6.4 Lot Boundary Setback

While the development has boundary walls on 2 boundaries:

- The use of 2 boundary walls makes effective use of space and enhances privacy to the outdoor living area.
- The proposed boundary walls will not impact access to natural light of the adjoining properties.
- Individually the boundary walls comply with height requirements and therefore do not have any adverse impact on amenity of the adjoining property.
- Boundary walls on 3 boundaries would be compliant under the medium-density codes that will come into effect in the near future, therefore will be consistent with the future developments in the area.

Overall the design makes effective use of space and will have no negative impact to the adjoining properties.

F E N E L L I A C R E S C E N T



Site Plan
scale 1:200

Open Space Calc.

Lot Area:	267m ²
Share of Common Area:	43m ²
Total usable Lot Area:	310m ²
Allowable Site Coverage 55%:	170.05m ²
Actual Site Coverage:	154.68m ² (49.89%)

Client Rowe Site Address Proposed Residence 12A Fenellia Crescent, Craigie	© copyright mark anthony design	P: 9328 7577 M: 0411 105 009 E: info@markanthonydesign.com.au A: 9/18 Brisbane Street (cnr Bulwer) Perth WA 6000 www.markanthonydesign.com.au	checked M.Stav scale 1:200 (A3) issued for Planning Approval	drawn T.Denslow date 26.10.2023	JOB No. 2642 SHEET No. 01 of 03	REV No. Rev x - xx.xx.xxxx	DESCRIPTION.
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Drawing Notes Legend

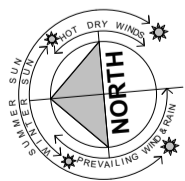
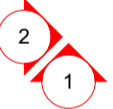
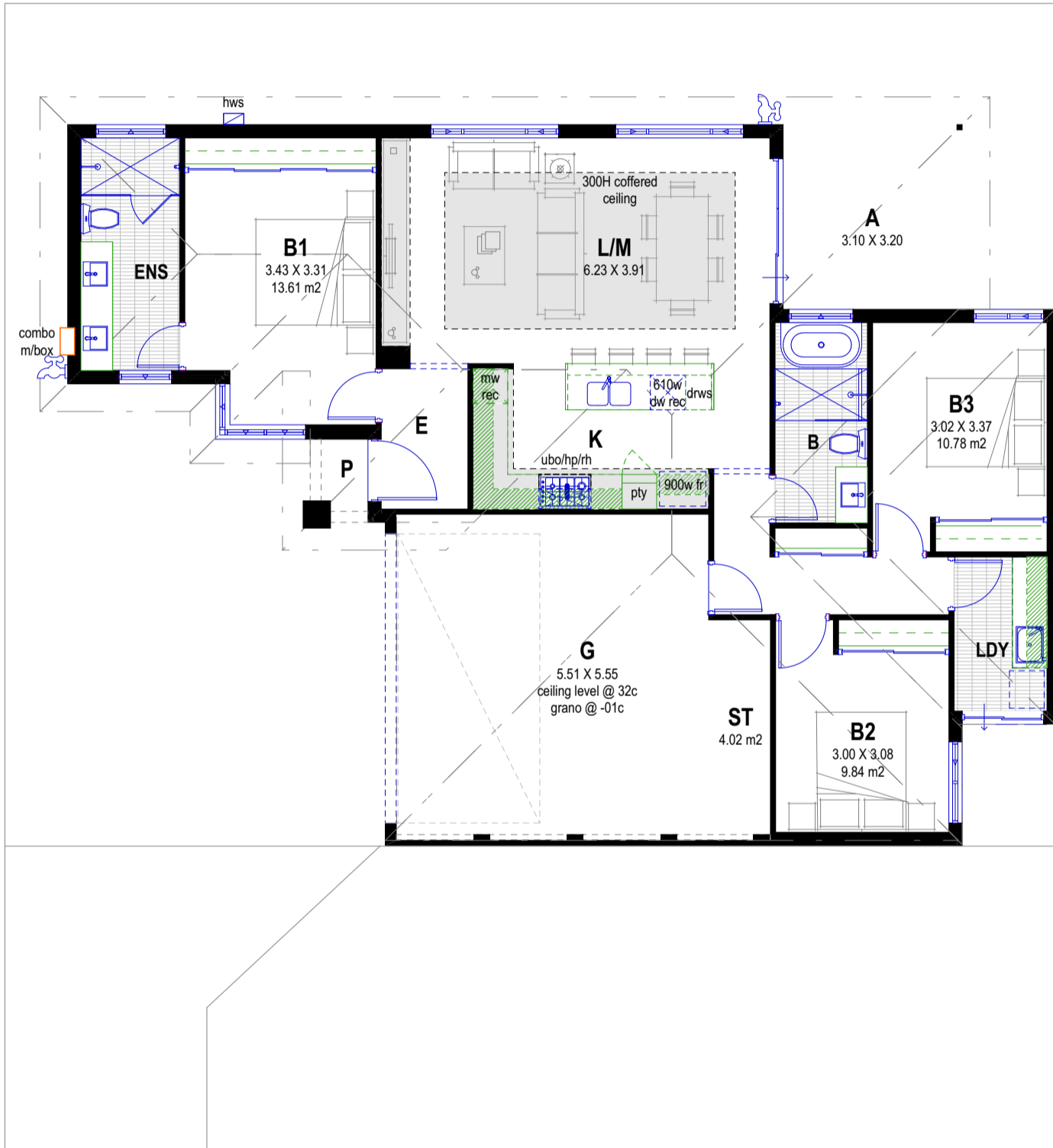
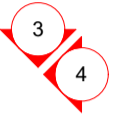
c	= BRICK COURSE HEIGHT	wc	= WATER CLOSET
wc	= WITH	wm	= WASHING MACHINE
dp	= DOWNPIPE	dry	= DRYER
sprdr	= SPREADER	dw	= DISHWASHER
rwh	= RAIN WATER HEAD	s	= SINK
dho	= DOOR HEIGHT OPENING	w/o	= WALL OVEN
a/c	= AIR-CONDITIONING	ubo	= UNDER BENCH OVEN
m/h	= MANHOLE	vb	= VANITY BASIN
s/a	= SMOKE ALARM	hb	= HAND BASIN
b/s	= BEDROOM SOUNDER	tr	= TROUGH
td	= THERMAL DETECTOR	hp	= HOT PLATE
fw	= FLOOR WASTE	rh	= RANGEHOOD
td	= TUN-DISH	ohc	= OVERHEAD CUPBOARDS

16.1 Size and Layout of Dwellings

While the living room width of 3.91m is minorly non-compliant:

- The use of large full height windows and sliding door provides ample natural ventilation and daylight access.
- There is ample space for a functional furniture layout to accommodate expected household size as demonstrated on the plans.

Overall the design makes effective use of space and provide sufficient amenity for the future residents.



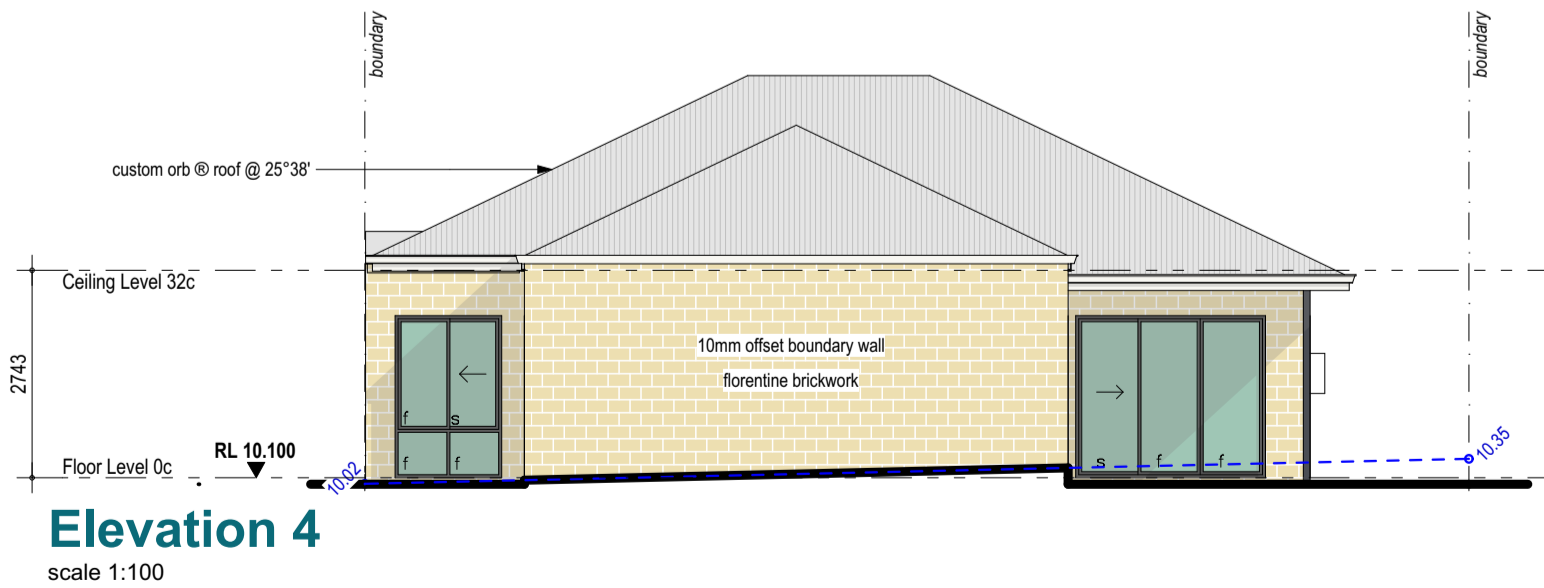
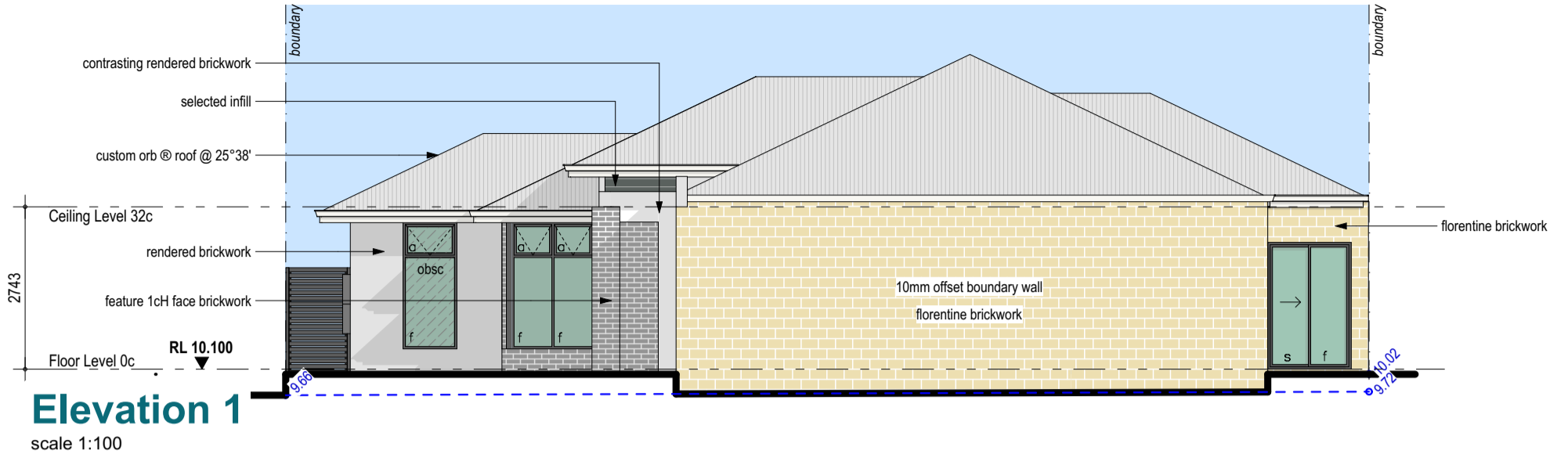
Floor Plan

scale 1:100

Building Area

Floor:	118.27m ²
Garage:	36.56m ²
Alfresco:	9.92m ²
Porch:	1.82m ²
Total Area:	166.57m²

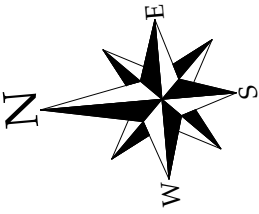
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				scale 1:100 (A3)	date 26.10.2023	SHEET No. 02 of 03		
CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. TAKE WRITTEN DIMENSIONS IN PREFERENCE TO SCALE. SHOULD ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER IMMEDIATELY. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS.				issued for Planning Approval				



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			scale 1:100 (A3)	date 26.10.2023	issued for Planning Approval	SHEET No. 03 of 03	
<small>CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. TAKE WRITTEN DIMENSIONS IN PREFERENCE TO SCALE. SHOULD ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER IMMEDIATELY. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS.</small>							

NOTE:
 UNDERGROUND POWER STILL TO BE ESTABLISHED AT TIME OF SURVEY.
 VERIFY AVAILABILITY WITH WESTERN POWER.

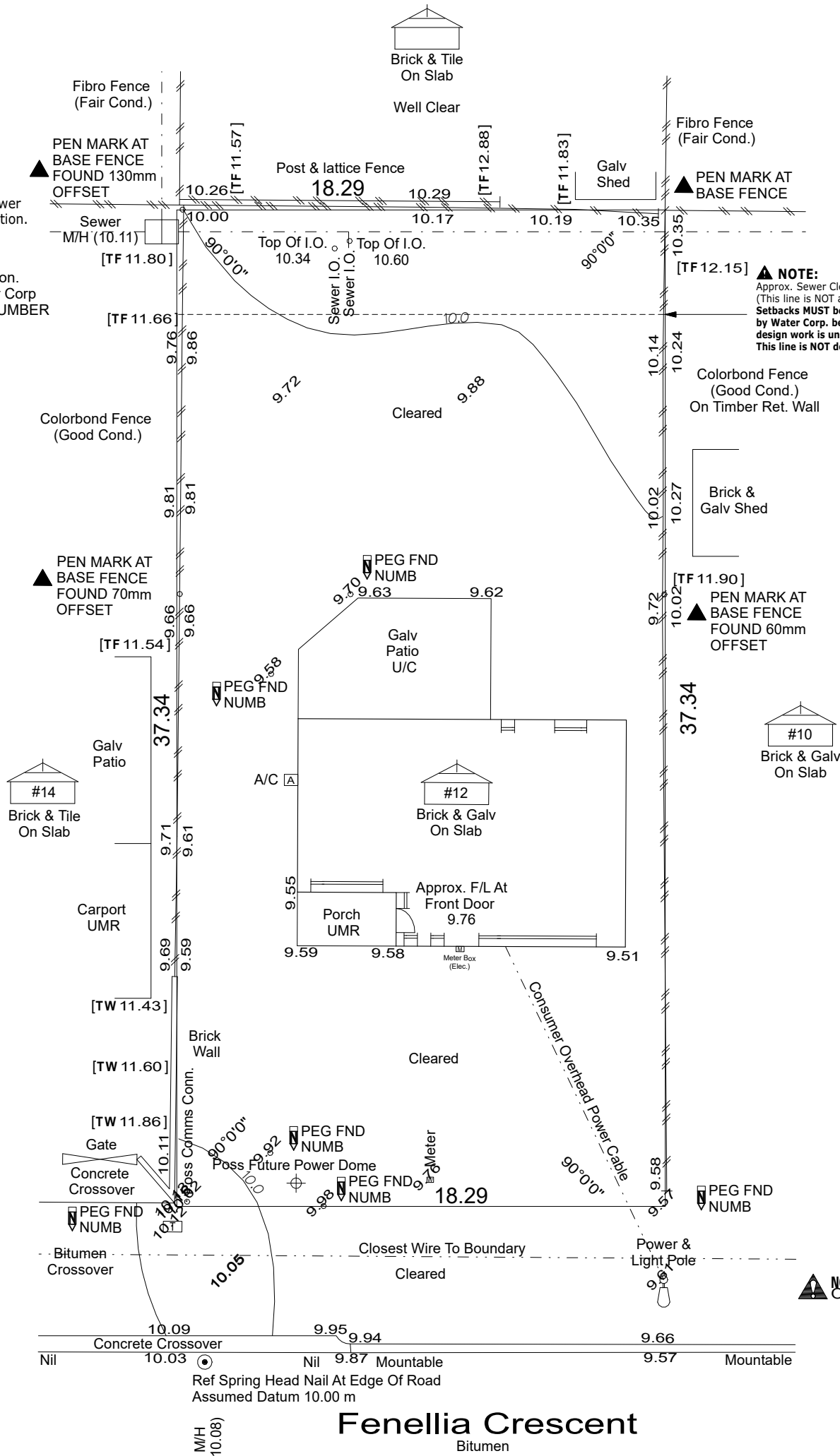
⊕	Power Dome
○	Power Pole
⊕	Phone Pits
⊕	Water Conn.
⊕	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence



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 Sewer Junction
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NOTE:
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 (This line is NOT an easement)
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 by Water Corp. before any
 design work is undertaken.
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LOT MISCLOSE
 0.000 m

DISCLAIMER:
 Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

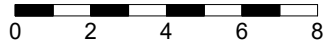
DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

NOTE/BEWARE: ADVISE TRADES
 O/Head power lines

Scale 1:200



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JOB # 519419
ADDRESS #12 Fenellia Crescent
SUBURB Craigie
LGA CITY OF JOONDALUP
DRAWN T. Gill

GPS Lat: -31.785581 Long: 115.764319
ORDER # 2111050B
LOT Lot 674 (Plan 10363)
AREA 683m² **VOL.** 1341 **FOL.** 501
DATE 17 Feb 22 **SSA** No

ROADS Bitumen
KERBS Mountable / Nil
FOOTPATH Nil
SOIL Sand, L'Stone(Poss)
DRAINAGE Good
VEGETATION Light Grass Cover

ELEC. U/Ground(To Be Est) / O/Head
COMMS. Yes
WATER Yes
GAS Check Alinta
SEWER Yes
COASTAL No
(Approximate Only Confirm With Shire)