

NOTE:
SHADOW CAST ONTO FRONT SETBACK AREA ONLY
- NOT ONTO ANY ADJOINING PROPERTY

Survey M/S
Approx. 18.5m
(17.9m)

Survey M/S
Approx. 18.5m
(17.9m)

Survey M/S
Approx. 18.5m
(17.9m)

LOT MISCLOSE
0.000 m

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing possessions and walls which may not be on the correct alignment. Any design that involves addition to any structures shown in portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/contractor before any works are produced and before any work is started on site.

DISCLAIMER:
All boundaries on survey are based on landscape plan only. Survey does not include site search and as such may not show easements or other interests not shown on plan. This should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have these features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel and shown on this survey including any adjoining neighbours levels and features that have occurred after the date of this survey. All Sewer details plotted from information supplied by Water Corporation.

LEGEND

Power Dome
Phone Pole
Phone Pole
Water Conn.
TP 10.000 Top Waterfall
TP 10.000 Top Wall
TR 10.000 Top Retaining
TF 10.000 Top Fence

COTTAGE SURVEYS
LICENSED SURVEYORS

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Osborne Park, WA 6017

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Osborne Park
Business Centre WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB #	542529	GPS	Lat: -31.836189 Long: 115.751757	ROADS	Bitumen	ELEC.	Q/Head
ADDRESS	#19 High Street	LOT	Lot 254 (Plan 2820)	KERBS	Movable / Nil	COMMS.	Yes
SUBURB	Sorrento	AREA	711m ²	FOOTPATH	Nil	WATER	Yes
LGA	CITY OF JOONDALUP	VOL.	1482	SOIL	Sand, L'stone(Poss)	GAS	Check Alinta
DRAWN	T.Currey	DATE	07 Mar 23	DRAINAGE	Good	SEWER	Yes
SSA No		VEGETATION	Refer to Survey	COASTAL	250m To Ocean		

AZURE
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T (08) 6484 9930

ndpdesign
E:rick@ndpdesign.com.au W:ndpdesign.com.au
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Copyright **SITE PLAN**
SCALE 1:100

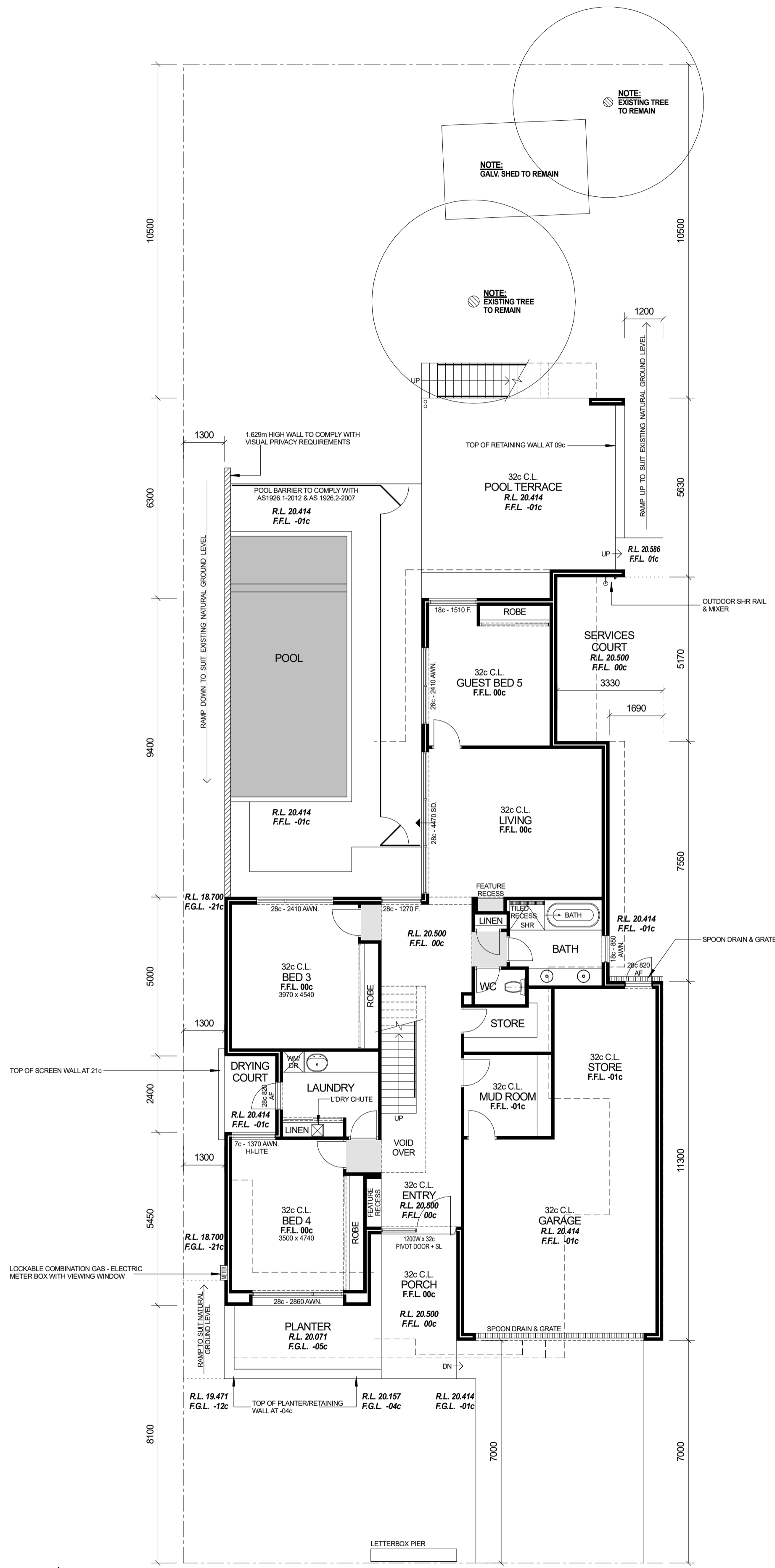
CLIENT: HEUER **ADDRESS:** LOT 254 (# 19) HIGH STREET, SORRENTO

DATE: 07 MAR 2023 **DRAWN:** ND/P **JOB No:** AZ119

DATE: 07 MAR 2023 **DATE:** SEPT. 2023 **DATE:** **SHEET SIZE:** A1 **SHEET** 1 OF 4

Contractors must check all dimensions, levels and gradients before commencing any work or preparing any site drawings. Contractors and workers to be aware of any underground services shown on this drawing. Large scale drawings contained in this drawing are for reference only. Report any discrepancies to the Designer for direction or clarification before proceeding with the work. All architectural drawings to be read in conjunction with all of any consultant drawings.

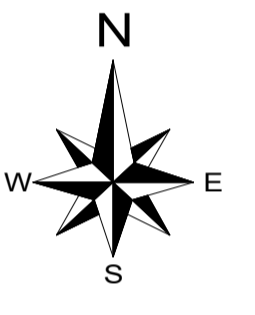
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OPEN SPACE CALCULATION:

house:	150.881m ²
garage:	56.995m ²
porch (closed portion):	6.075m ²
Total:	222.951m²

SITE AREA: 711m²
 R 20/25
 REQUIRED OPEN SPACE: 50% (355.500m²)
 ACTUAL OPEN SPACE: **68.6%** (488.048m²)



SYMBOL	DESCRIPTION	No. OFF
RA	CEILING FRAME NOTE: BOX OUT CEILING JOISTS 1200 x 600 FOR A/C RETURN AIR - PROVIDE UNRESTRICTED ACCESS OVER	0 OFF
MM	CEILING FRAME NOTE: 25000MM MAX HOLE INTO ROOF SPACE - PROVIDE UNRESTRICTED ACCESS OVER	0 OFF
ACV	CEILING FRAME NOTE: BOX OUT CEILING JOISTS 1050 x 250 FOR A/C LINEAR VENTS - PROVIDE UNRESTRICTED ACCESS OVER	0 OFF
WP1	BRICKLAYER NOTE: 810 WIDE x 110 HIGH OPENING IN BRICKWORK (FROM 2203 TO 2204) - HEIGHT NOTED ABOVE +06c OFFICE FL.	0 OFF
SD	HARD WIRED SMOKE DETECTOR	SEE PLAN
SJ	SILICONE JOINT TO CORNER WINDOW - MITRED GLASS TO CORNER	SEE PLAN

NOTE:

- ALL EXTERNAL DOORS TO HAVE WEATHER SEALS.
- ALL ALUMINUM WINDOWS TO COMPLY WITH AS 2047.
- CHIMNEY FLUES TO HAVE DAMPERS FITTED.
- EXHAUST FANS AND RANGEHOODS TO HAVE DAMPERS FITTED.
- STAIR CONSTRUCTION TO COMPLY WITH BCA STANDARDS (Part 3.8.1).
- SELECTED BALUSTRADE TO COMPLY WITH BCA STANDARDS (Part 3.8.2).
- NUMBER & POSITION OF DAMPERS ARE SUBJECT TO VARIATION BY PLUMBER ON SITE.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DWGS.
- LIFT OFF HANGES ARE TO BE USED TO ALL W.C.'S TO COMPLY WITH BCA STANDARDS (Part 3.8.3.3).
- ALL WINDOW OPENINGS TO COMPLY WITH BCA STANDARDS (Part 3.8.2.5).

NOTE:

WIND RATING **N** APPLIES

GROUND FLOOR AREA:	
house:	150.881m ² (per. 71.400m)
garage:	56.995m ²
pool terrace:	38.535m ²
porch:	9.045m ²
Total ground floor:	264.752m²
1st FLOOR AREA:	
house:	216.241m ² (per. 78.380m)
balcony 1:	10.473m ²
balcony 2:	36.552m ²
Total 1st floor area:	263.066m²

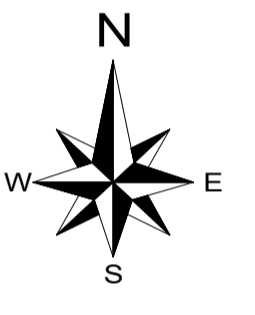
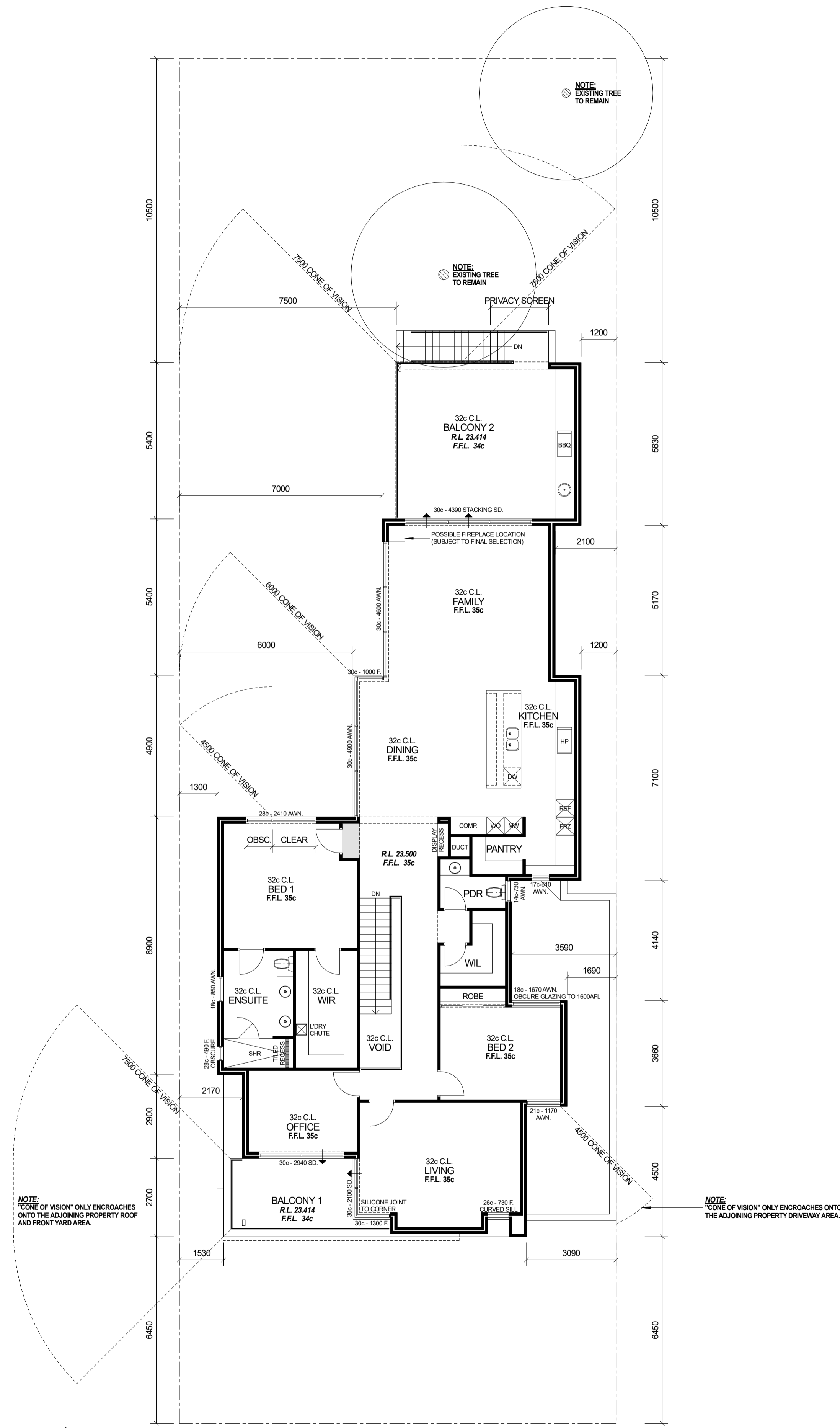
TOTAL AREA: 527.818m²



© Copyright	GROUND FLOOR PLAN SCALE 1:100
CLIENT: HEUER	ADDRESS: LOT 254 (# 19) HIGH STREET, SORRENTO

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DATE: 19/02/2023	REVISION:	DRAWN: NDP	JOB No: AZ119
		DATE: SEPT. 2023	
		SHEET SIZE: A1	SHEET 2 OF 4

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4



SYMBOL	DESCRIPTION	No. OFF
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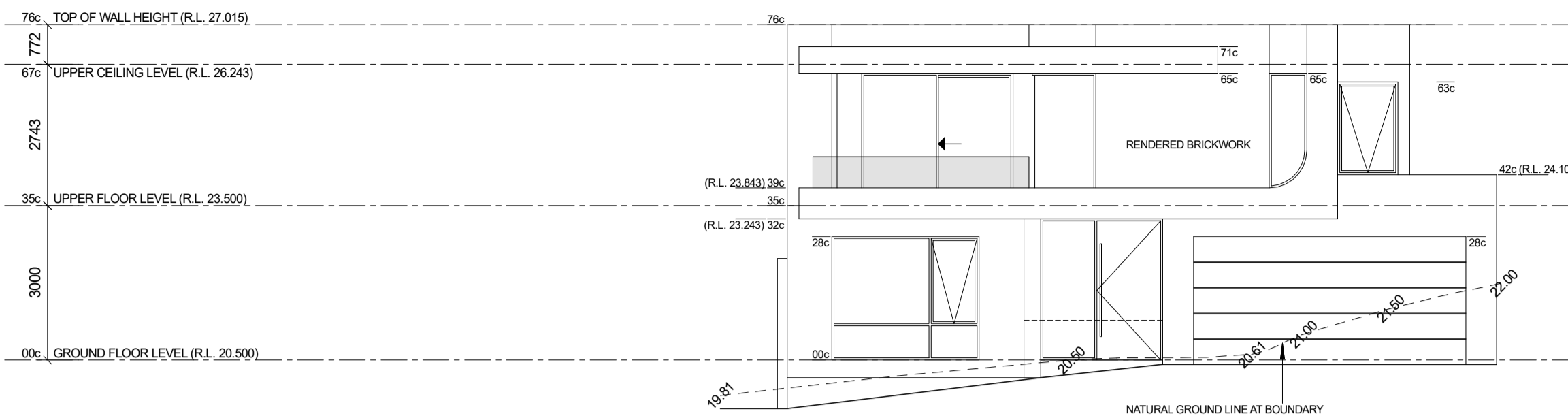
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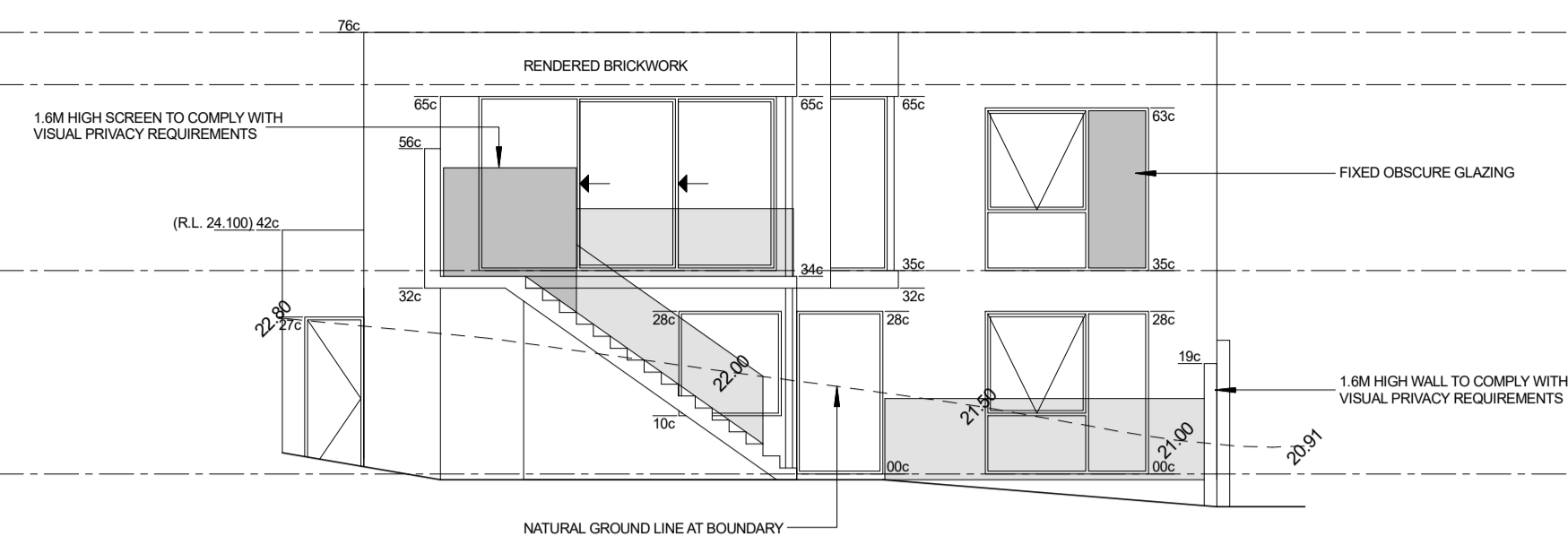
© Copyright **1st FLOOR PLAN**
SCALE 1:100
CLIENT: **HEUER**
ADDRESS:
**LOT 254 (# 19)
HIGH STREET,
SORRENTO**

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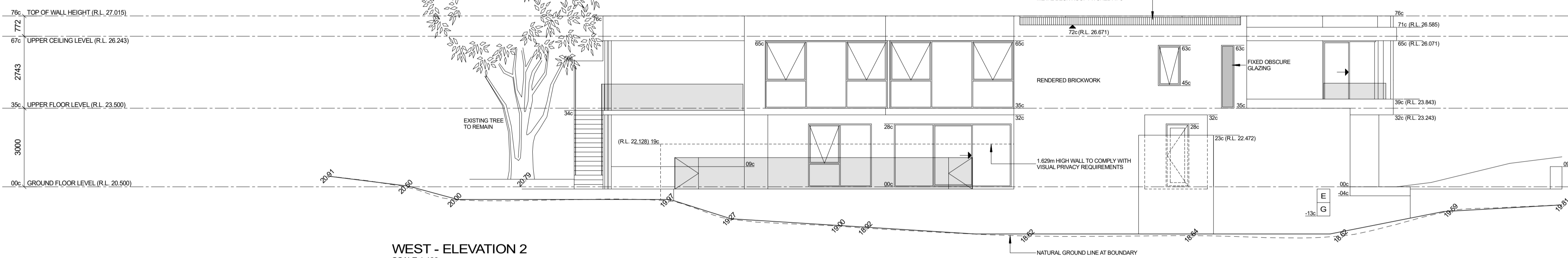
DATE	REVISION	DATE	REVISION	DRAWN:	JOB No:
12/02/2023	ISSUE			NDP	AZ119
				DATE:	SHEET 3 OF 4
				SEPT. 2023	
				SHEET SIZE:	
				A1	



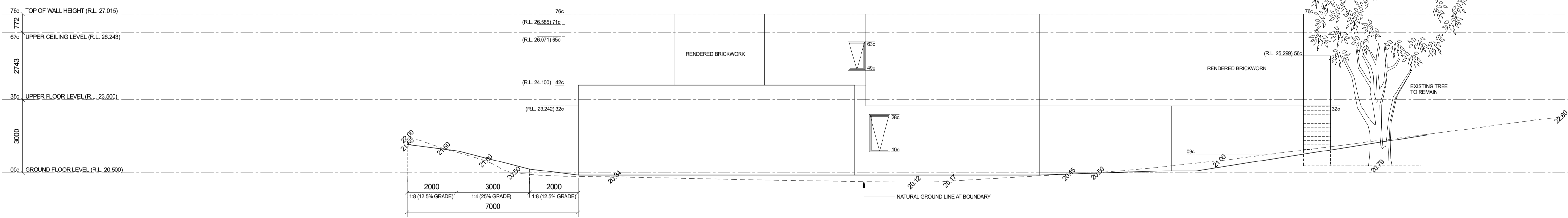
SOUTH - ELEVATION 1
SCALE 1:100



NORTH - ELEVATION 3
SCALE 1:100




WEST - ELEVATION 2
SCALE 1:100




EAST - ELEVATION 4
SCALE 1:100



3D PERSPECTIVE STREET VIEW



SUITE 1, 389 OXFORD STREET MOUNT HAWTHORN WA 6016
W.azureluxuryhomes.com.au
T. (08) 6444 9930



E n i c k @ n d p d e s i g n . c o m . a u W w w . n d p d e s i g n . c o m . a u
M 0414 592 142

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CLIENT: HEUER		ADDRESS: LOT 254 (# 19) HIGH STREET, SORRENTO	
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		DATE: SEPT. 2023	
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