

POSITION OF FEATURES HAVE BEEN SURVEYED  
IN RELATION TO BOUNDARIES.  
REPEG RECOMMENDED PRIOR TO CONSTRUCTION.

LOT No: 699  
AREA : 1249m<sup>2</sup>



EXISTING TREES TO BE REMOVED  
TO MAKE WAY FOR NEW PROPOSED  
RESIDENCE

EXISTING CARPORT, SHED, DRIVEWAY  
AND CROSSOVER TO BE DEMOLISHED  
(SHOWN DASHED)

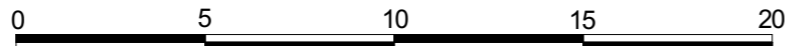
GRANT STREET

EXISTING SITE PLAN  
SCALE 1:200



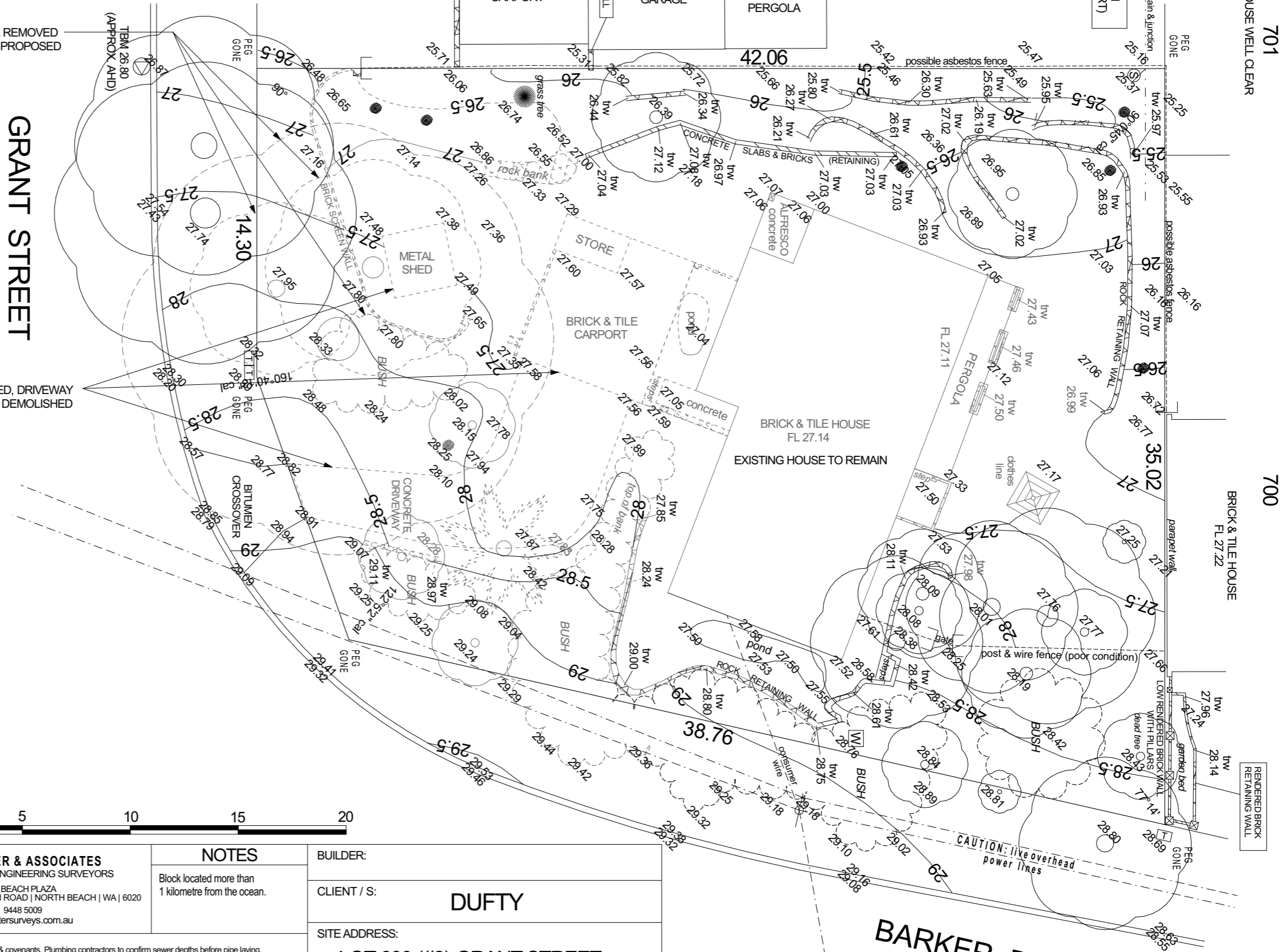
AUSTRALIAN HEIGHT DATUM (AHD)  
DERIVED FROM SEWER MANHOLE  
E0161 LID LEVEL.

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED.  
PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION  
THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED  
TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.



REF NO: 71463 FILE NO: 1915 DATE: 29.09.21 DRAWN: AC		<b>R. G. LESTER &amp; ASSOCIATES</b> LICENSED LAND & ENGINEERING SURVEYORS NORTH BEACH PLAZA SHOP 7   1 NORTH BEACH ROAD   NORTH BEACH   WA   6020 PH: 9448 5009 admin@lestersurveyors.com.au		<b>NOTES</b> Block located more than 1 kilometre from the ocean.		BUILDER:	
<b>SURVEYOR SITE INSPECTION REPORT</b>						CLIENT / S: <b>DUFTY</b>	
ELECTRICITY: OVERHEAD	GAS: YES					SITE ADDRESS:	
PHONE: YES	WATER: YES					<b>LOT 699 (#2) GRANT STREET, DUNCRAIG</b>	
SEWERAGE: YES, ABOUT 1.45m DEEP (TO INVERT)		IMPORTANT NOTE: Check title for easements, caveats & covenants. Plumbing contractors to confirm sewer depths before pipe laying. All sewer details plotted from information supplied by Water Corporation Spatial Information Management. Refer to the disclaimer note on Water Corp E-PLAN.				Local Authority: CITY OF JOONDALUP	
ROAD: BITUMEN			<b>LEGEND</b>				<b>TITLE DETAILS</b>
KERB: MOUNTABLE (cracked)	[N] NBN PIT	[G] GAS	[T] TELECOM PIT	[H] HYDRANT	[W] WATER METER	JOB No:	
FOOTPATH: NIL	[C] COMMUNICATION PIT	[F] FENCE END	[P] PALM TREE	[S] STOP VALVE	[M] METRE	LOT NOS: 699 C/T VOL: 1616	
VEGETATION: ESTABLISHED GARDENS & TREES, THICK BUSH	[D] POWER DOME	[P] PILLAR	[S] TREE STUMP	[W] PRE-LAID WATERPIPE	[M] METRE	PLAN: 9709 FOL: 886	
SOIL: SAND & POSSIBLE LIMESTONE AT DEPTH	[P] POWER POLE	[R] TOP OF RETAINING WALL	[S] SIDE ENTRY PIT	[M] SEWERAGE MANHOLE	[S] SEWERAGE INSPECTION LID	SURVEY JOB No: <b>71463</b>	
VIEWS: POSSIBLE DISTANT VIEWS	[S] STREET LAMP						
REPEG: REQUIRED	REPEG TYPE: OLD SURVEY AREA						

Y:\71463GRANT.SKF



701  
HOUSE WELL CLEAR

700  
BRICK & TILE HOUSE  
FL 27.22

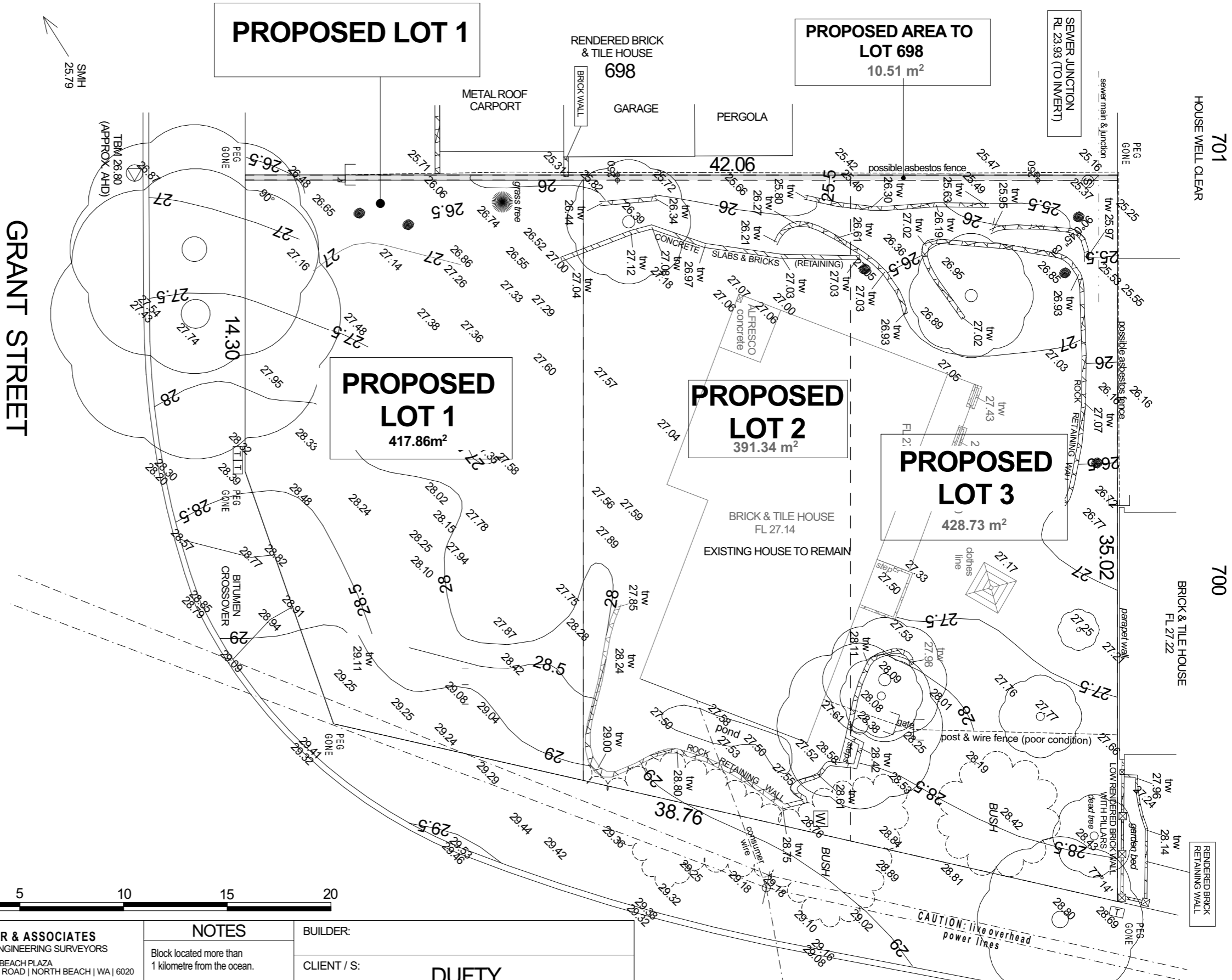
RENDERED BRICK  
RETAINING WALL

BARKER DRIVE

CAUTION: live overhead  
power lines

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LOT No: 699  
AREA : 1249m<sup>2</sup>



PROPOSED SUBDIVISION  
SCALE 1:200



AUSTRALIAN HEIGHT DATUM (AHD)  
DERIVED FROM SEWER MANHOLE  
E0161 LID LEVEL.

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ELECTRICITY: OVERHEAD	GAS: YES					SITE ADDRESS: <b>LOT 699 (#2) GRANT STREET, DUNCRAIG</b>	
PHONE: YES	WATER: YES					Local Authority: <b>CITY OF JOONDALUP</b>	
SEWERAGE: YES, ABOUT 1.45m DEEP (TO INVERT)							<b>TITLE DETAILS</b>
ROAD: BITUMEN							LOT NOS: <b>699</b> C/T VOL: <b>1616</b>
KERB: MOUNTABLE (cracked)							PLAN: <b>9709</b> FOL: <b>886</b>
FOOTPATH: NIL							JOB No:
VEGETATION: ESTABLISHED GARDENS & TREES, THICK BUSH							<b>SURVEY 71463</b>
SOIL: SAND & POSSIBLE LIMESTONE AT DEPTH							JOB No:
VIEWS: POSSIBLE DISTANT VIEWS							
REPEG: REQUIRED	REPEG TYPE: OLD SURVEY AREA						

LEGEND			
[N]	NBN PIT	[G]	GAS
[T]	TELECOM PIT	[H]	HYDRANT
[C]	COMMUNICATION PIT	[F]	FENCE END
[P]	POWER DOME	[PIL]	PILLAR
[PP]	POWER POLE	[TRW]	TOP OF RETAINING WALL
[SL]	STREET LAMP	[T]	TREE
[PT]	PALM TREE	[TS]	TREE STUMP
[SEIP]	SIDE ENTRY PIT	[SM]	SEWERAGE MANHOLE
[GD]	GRATED DRAIN	[SV]	STOP VALVE
[PLW]	PRE-LAID WATERPIPE	[WM]	WATER METER
[SI]	SEWERAGE INSPECTION LID		

POSITION OF FEATURES HAVE BEEN SURVEYED  
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LOT No: 699

AREA : 1249m<sup>2</sup>



**SITE COVER CALC.**

ZONED R20  
% ALLOWED 50%  
SITE AREA 417.86m<sup>2</sup>  
SITE COVER 202.49m<sup>2</sup>

**OPEN SPACE =51.5%**

MIN. OUTDOOR LIVING 30.00m<sup>2</sup>  
UNCOVERED OPEN SPACE 36.00m<sup>2</sup>

**PAVING AREAS**

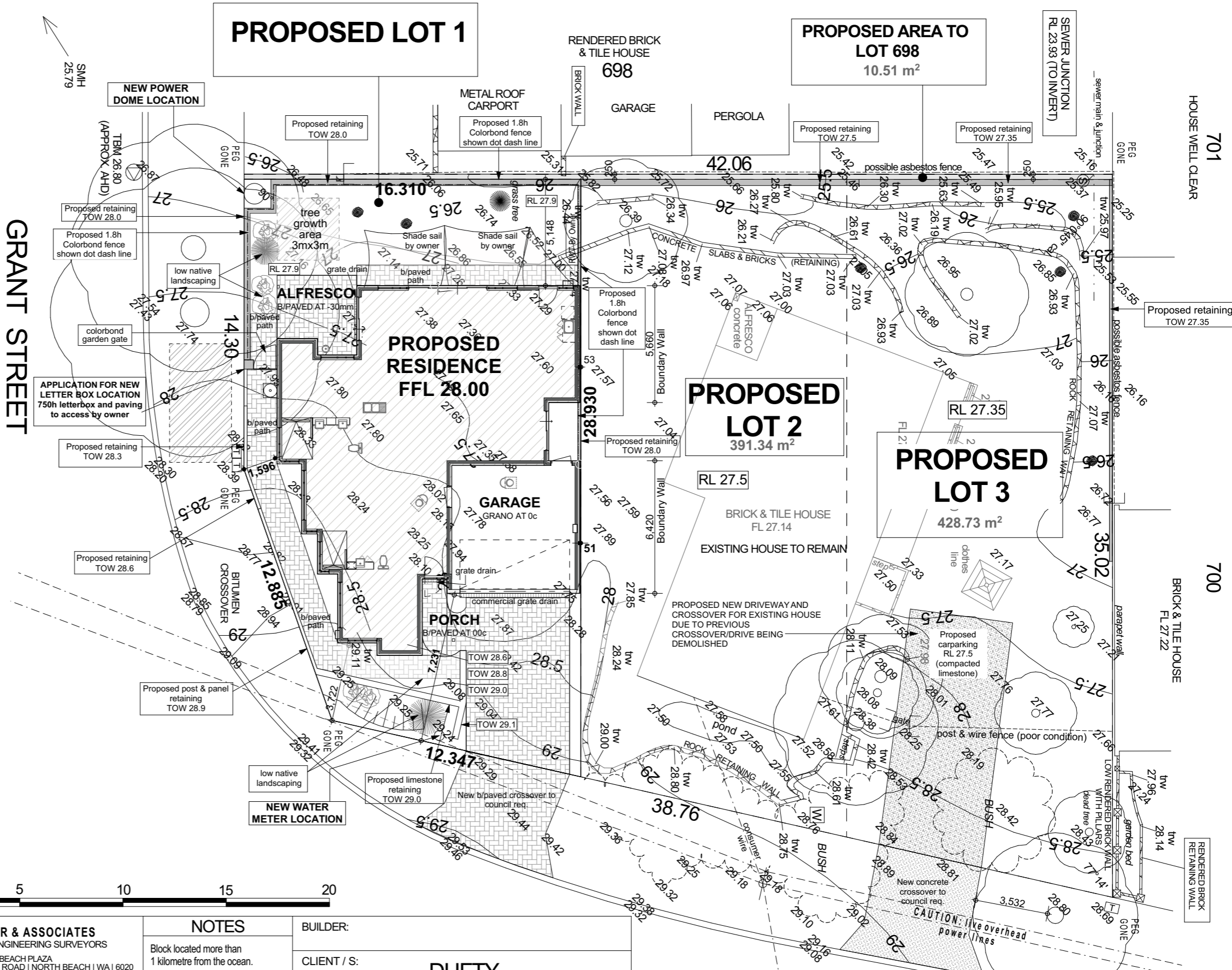
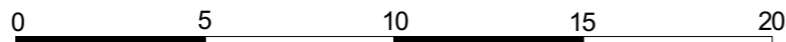
ALFRESCO  
PORCH 2.73 m<sup>2</sup>  
DRIVEWAY 41.64 m<sup>2</sup>  
TOTAL 58.87m<sup>2</sup>

**PROPOSED NEW SITE AND RETAINING PLAN  
SCALE 1:200**



AUSTRALIAN HEIGHT DATUM (AHD)  
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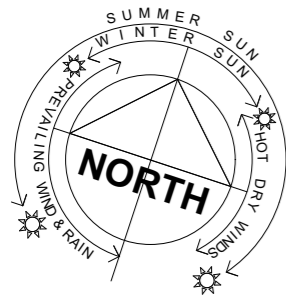
REF NO: 71463 FILE NO: 1915 DATE: 29.09.21 DRAWN: AC	
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PHONE: YES	WATER: YES
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ROAD: BITUMEN	
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FOOTPATH: NIL	
VEGETATION: ESTABLISHED GARDENS & TREES, THICK BUSH	
SOIL: SAND & POSSIBLE LIMESTONE AT DEPTH	
VIEWS: POSSIBLE DISTANT VIEWS	
REPEG: REQUIRED	REPEG TYPE: OLD SURVEY AREA

**R. G. LESTER & ASSOCIATES**  
LICENSED LAND & ENGINEERING SURVEYORS  
NORTH BEACH PLAZA  
SHOP 7 | 1 NORTH BEACH ROAD | NORTH BEACH | WA | 6020  
PH: 9448 5009  
admin@lestersurveys.com.au

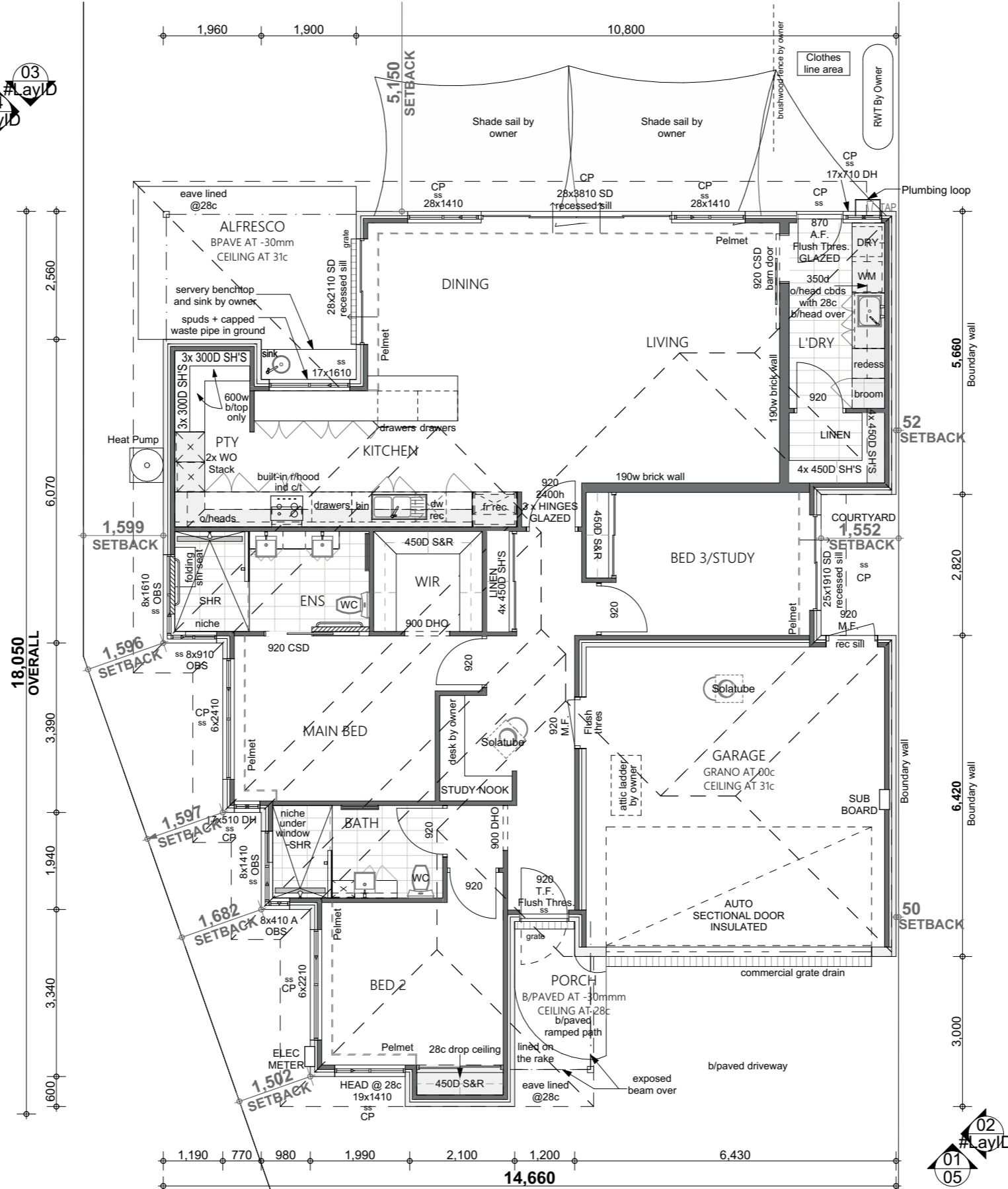
**NOTES**  
Block located more than  
1 kilometre from the ocean.

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<b>LEGEND</b>	
[N] NBN PIT	[G] GAS
[T] TELECOM PIT	[H] HYDRANT
[C] COMMUNICATION PIT	[F] FENCE END
[P] POWER DOME	[PIL] PILLAR
[PP] POWER POLE	[D] DRAINAGE
[SL] STREET LAMP	[TRW] TOP OF RETAINING WALL
[T] TREE	[S] SIDE ENTRY PIT
[PT] PALM TREE	[SM] SEWERAGE MANHOLE
[TS] TREE STUMP	[S] SEWERAGE INSPECTION LID
[GD] GRATED DRAIN	[SV] STOP VALVE
[W] WATER METER	[PLW] PRE-LAID WATER PIPE

BUILDER:	
CLIENT / S:	<b>DUFTY</b>
SITE ADDRESS:	<b>LOT 699 (#2) GRANT STREET, DUNCRAIG</b>
Local Authority:	CITY OF JOONDALUP
<b>TITLE DETAILS</b>	
LOT Nos: 699	C/T VOL: 1616
PLAN: 9709	FOL: 886
JOB No:	<b>SURVEY 71463</b>
JOB No:	



03 #LayID  
04 #LayID



**COSTING NOTES:**

- 31c ceilings throughout unless noted otherwise (UNO)
- R4.0 ceiling insulation to whole roof area, including garage and alfresco unless noted otherwise
- Aircell "permicav" wall insulation to all external double brick walls, including above and below openings
- 21° Colorbond roof with Anticon insulation
- Kitchen cabinets at 943mm UNO
- Vanity and laundry cabinets at 900mm high UNO
- 870 wide doors throughout UNO
- Full height linen and robe sliding doors UNO
- Allow for pre-lays for future grey water system
- Allow for pre-lays for future rainwater harvesting system
- Provide draw-wire access from the roof space to fuse box for future Photovoltaic system
- Provide and install roof vents as specified at locations shown on drawings
- Include tiling to laundry
- Vanity and laundry cabinets at 900mm high UNO
- MDF pelmet to detail and extent shown on drawings
- 28c doors and windows to northern elevation UNO

**GROUND FLOOR**  
1:100

Tel: (08) 9444 4400  
23 Green Street, Mt Hawthorn WA 6016  
www.solardwellings.com.au

Date	Revision	Dr'n
03.04.22	Costing drawings	CP
20.01.22	Planning drawings	JK
11.04.23	Concept 5	JK
13.04.23	Concept 5 v2	JK
20.04.23	Concept 5 v3	JK
03.05.23	Costing 2	JK
28.06.23	Design Development 1	CP
01.12.23	Planning	GD

© Solar Dwellings 2023	PLANNING	1/12/2023
<b>PLAN AREAS</b>		
GR. FLOOR	163.55	
GARAGE	38.92	
ALFRESCO	13.34	
PORCH	4.44	
<b>GRAND TOTAL</b>	<b>220.25 m<sup>2</sup></b>	

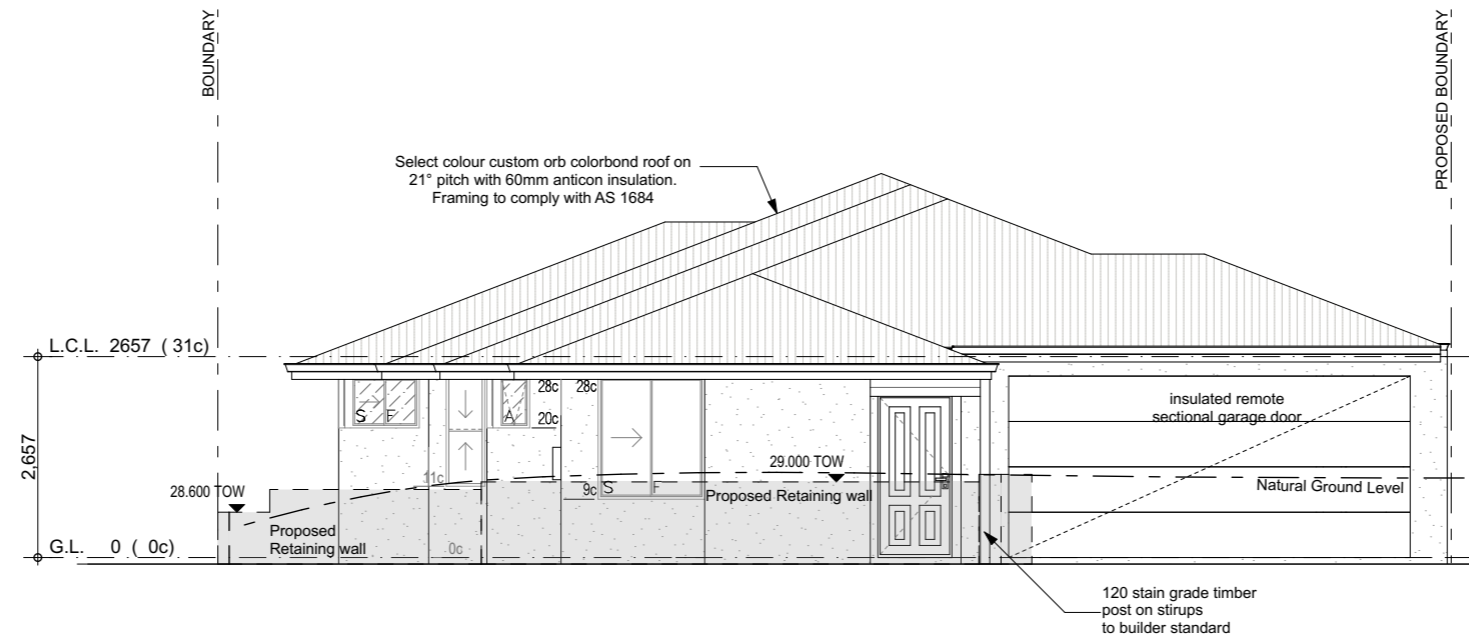
Proposed New Residence For  
**DUFTY Bruce, Bev & Tiff**  
at  
Lot 699 (#2) Grant Street, Duncraig  
Whadjuk Country

TITLE: GROUND FLOOR PLAN JOB NO: J544

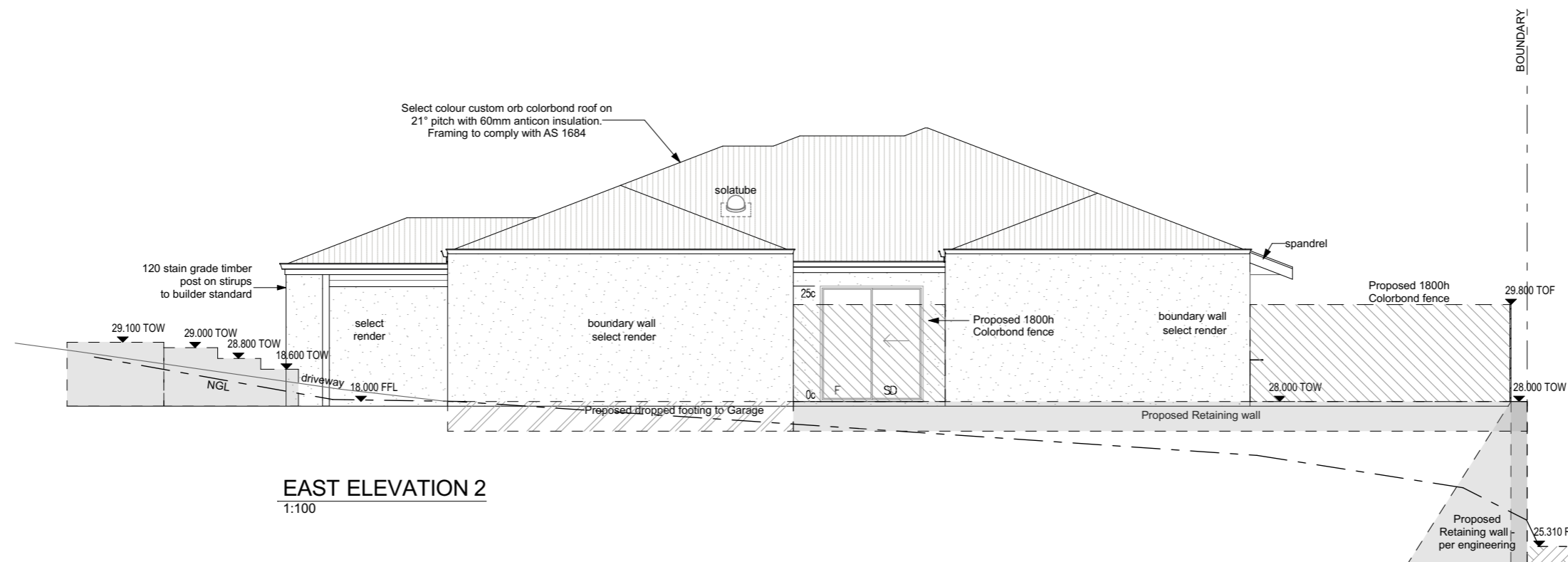
PLOT SIZE **A3** SCALE: 1:100 SH 04 of 12 REVISION NUMBER: 03

Last accessed: chrislie on 1/12/2023

- COSTING NOTES:**
- 31c ceilings throughout unless noted otherwise (UNO)
  - R4.0 ceiling insulation to whole roof area, including garage and alfresco unless noted otherwise
  - Aircell "permica" wall insulation to all external double brick walls, including above and below openings
  - 25° & 15° Colorbond roof with Anticon insulation
  - Kitchen cabinets at 943mm UNO
  - Vanity and laundry cabinets at 900mm high UNO
  - 870 wide doors throughout UNO
  - Full height linen and robe sliding doors UNO
  - Allow for pre-lays for future grey water system
  - Allow for pre-lays for future rainwater harvesting system
  - Provide draw-wire access from the roof space to fuse box for future Photovoltaic system
  - Provide and install roof vents as specified at locations shown on drawings
  - Include tiling to laundry and balconys
  - Vanity and laundry cabinets at 900mm high UNO
  - MDF pelmet to detail and extent shown on drawings
  - 28c doors and windows to northern elevation UNO



**SOUTH ELEVATION 1**  
1:100



**EAST ELEVATION 2**  
1:100

**SOLAR DWELLINGS**  
SMARTER SUSTAINABLE HOMES

Tel: (08) 9444 4400

23 Green Street, Mt Hawthorn WA 6016  
[www.solardwellings.com.au](http://www.solardwellings.com.au)

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20.04.23	Concept 5 v3	JK
03.05.23	Costing 2	JK
28.06.23	Design Development 1	CP
01.12.23	Planning	GD

© Solar Dwellings 2023	PLANNING	1/12/2023
<b>PLAN AREAS</b>		
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GARAGE	38.92	
ALFRESCO	13.34	
PORCH	4.44	
<b>GRAND TOTAL</b>	<b>220.25 m²</b>	

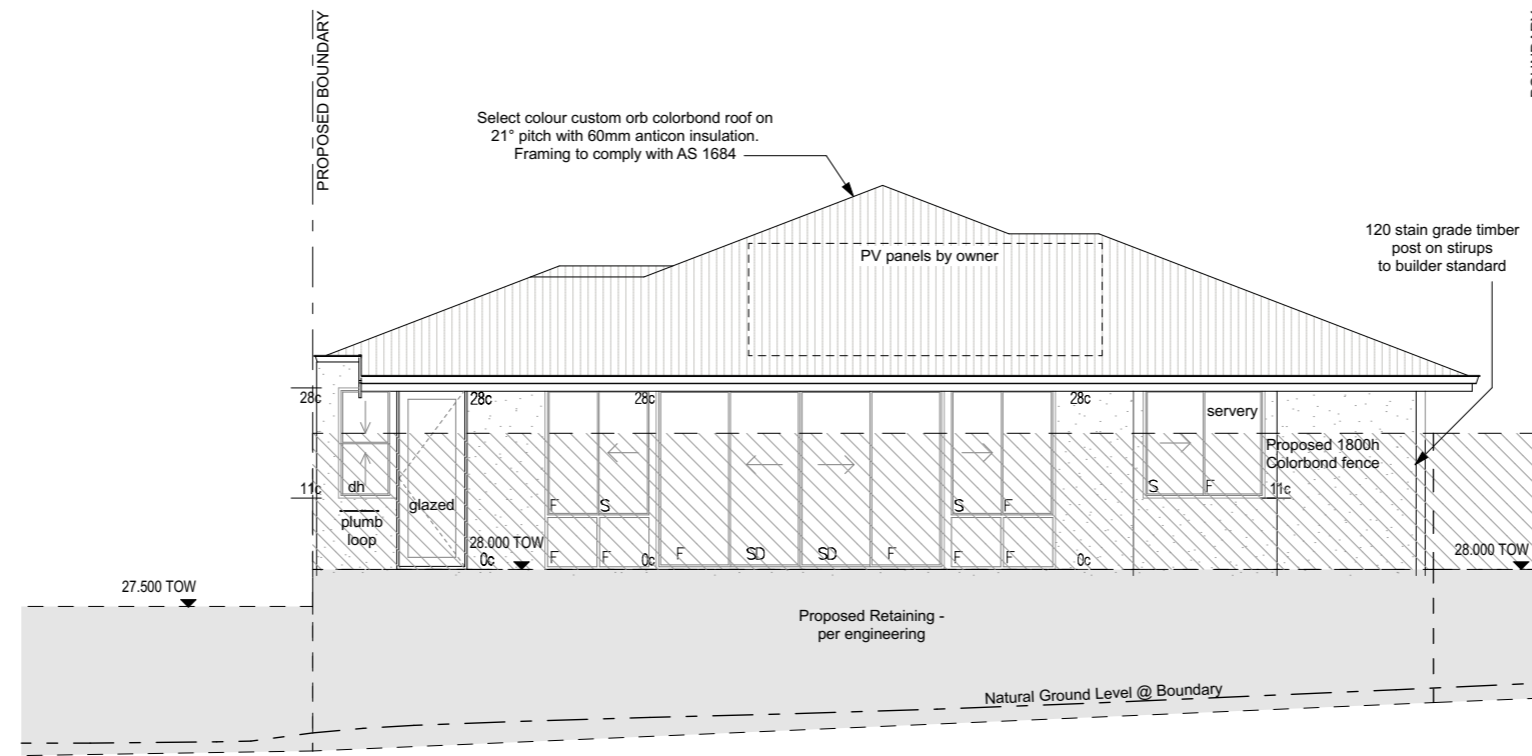
Proposed New Residence For  
**DUFTY Bruce, Bev & Tiff**  
at  
Lot 699 (#2) Grant Street, Duncraig  
Whadjuk Country

TITLE: ELEVATIONS JOB NO: J544

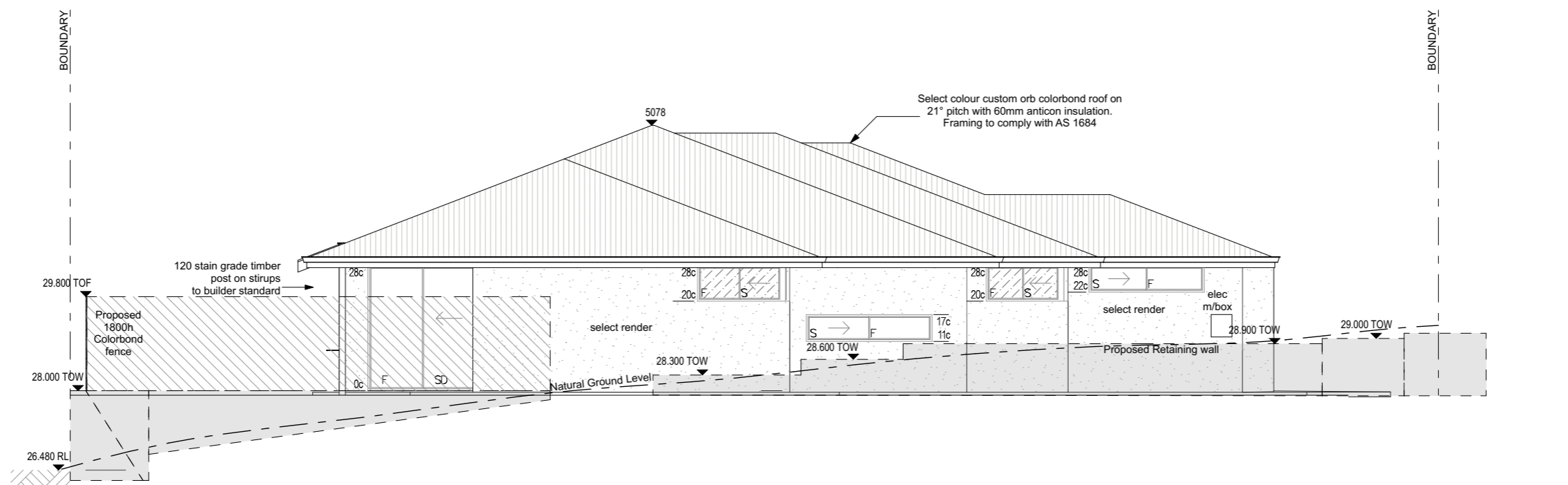
PLOT SIZE **A3** SCALE: 1:100 SH 05 of 12 REVISION NUMBER: 03

**COSTING NOTES:**

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- Vanity and laundry cabinets at 900mm high UNO
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- Provide and install roof vents as specified at locations shown on drawings
- Include tiling to laundry
- Vanity and laundry cabinets at 900mm high UNO
- MDF pelmet to detail and extent shown on drawings
- 28c doors and windows to northern elevation UNO



**NORTH ELEVATION 3**  
1:100



**WEST ELEVATION 4**  
1:100

**SOLAR DWELLINGS**  
SMARTER SUSTAINABLE HOMES

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20.04.23	Concept 5 v3	JK
03.05.23	Costing 2	JK
28.06.23	Design Development 1	CP
01.12.23	Planning	GD

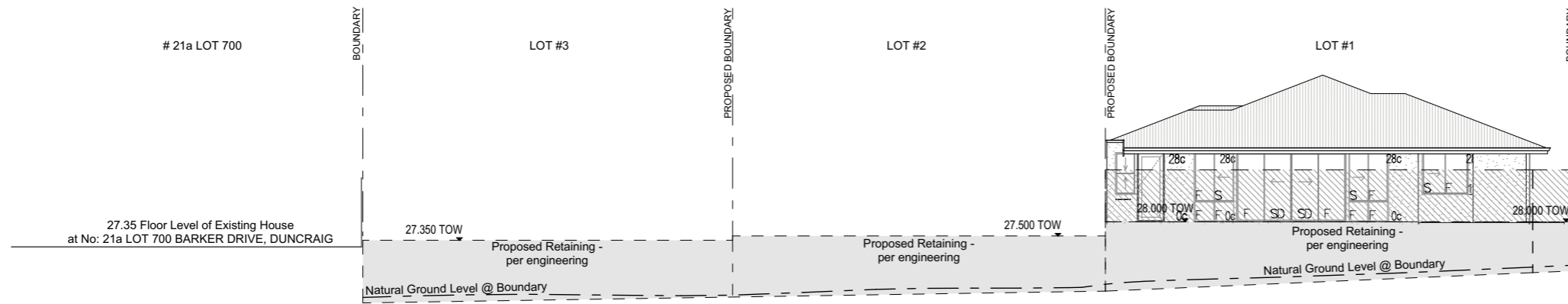
© Solar Dwellings 2023	PLANNING	1/12/2023
<b>PLAN AREAS</b>		
GR. FLOOR	163.55	
GARAGE	38.92	
ALFRESCO	13.34	
PORCH	4.44	
<b>GRAND TOTAL</b>	<b>220.25 m²</b>	

Proposed New Residence For  
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at  
Lot 699 (#2) Grant Street, Duncraig  
Whadjuk Country

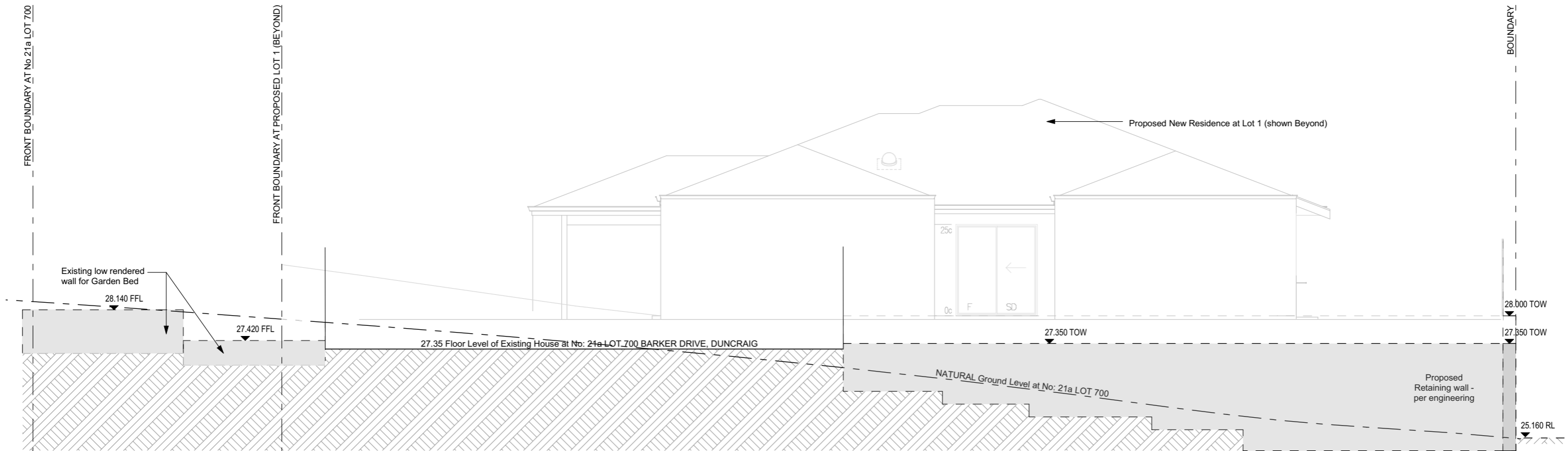
TITLE: ELEVATIONS 2 JOB NO: J544

PLOT SIZE	A3	SCALE:	1:100	SH 06 of 12	REVISION NUMBER:	03
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Last accessed: chrislie on 1/12/2023



**Overall Northern Elevation**  
1:200



**A1 Section (Eastern view from No 21a (LOT 700))**  
1:100

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03.04.22	Costing drawings	CP
20.01.22	Planning drawings	JK
11.04.23	Concept 5	JK
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Proposed New Residence For <b>DUFTY Bruce, Bev &amp; Tiff</b> at Lot 699 (#2) Grant Street, Duncraig Whadjuk Country			
TITLE: ELEVATIONS 3			JOB NO: J544
PLOT SIZE	A3	SCALE: 1:100, 1:200	SH 07 of 12
			REVISION NUMBER: 03