



23

PEARCE RESIDENCE
23 BRADEN WAY
MARMION



PRO WEST SURVEYING

Licensed and Engineering Surveying Consultants

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Web: www.prowestsurveying.com.au

Po Box 1463 Osborne Park DC 6916

DWG# 6386001

Feature & Contour Survey of: Lot 333, No. 23 Braden Way, Marmion

REVISION: A
SHEET: 1 OF 1

CLIENT:

PLAN: P 10962

LOT AREA: 720m²

SURVEY DATE: 22/05/23

BUILDER: DORRINGTON HOMES

C/T Vol: 1385 Fol: 743

MAP REFERENCE:

BUILDER JOB #

HEIGHT DATUM: AHD

COASTAL ZONE: 0.5KM

AUTHORITY: CITY OF JOONDALUP

HEIGHT CORRECTION TO AHD: NO

SEWER INFORMATION: YES

FEATURE SYMBOL LEGEND

NOTES

- (1) ALL FEATURES IN GOOD CONDITION
- (2) DEVELOPMENT AREA: ESTABLISHED
- (3) FOR CLARITY, TREE SPREADS ARE NOT SHOWN TO SCALE



NOTE:
ALL STRUCTURES ON SITE TO BE DEMOLISHED TO CLEAR SITE FOR NEW CONSTRUCTION.

POWER			
CABLE DOME	P	POWER POLE	PP
CABLE BOX	CB	CONSUMER POLE	CP
POWER MARKER	P	EXPOSED CABLES	EC
LIGHT POLE	LP	STAYWIRE ANCHOR	SWA
WATER			
WATER METER / TAP	M	FIRE HYDRANT	(H)
TAP		STOP VALVE	SV
FLUSHING POINT	FP	RETIC VALVE	RV
BORE		WATER MARKER	W
SEWERAGE			
SEWER M/H (SQUARE LID)		SEWER M/H (ROUND LID)	
INSPECTION SHAFT	IS	INSPECTION OPENING	IO
HOUSE CONNECTION	HC		
TELSTRA			
TELSTRA PIT		TELSTRA MANHOLE	
TELSTRA MARKER			
DRAINAGE			
DRAIN M/H (SQUARE LID)		DRAIN M/H (ROUND LID)	D
SIDE ENTRY PIT		DRAINAGE GRATE	
COMBINED ENTRY PIT			
GAS			
GAS METER	GM	GAS VALVE	GV
GAS MARKER	G		
SURVEY MARKS			
PEG FOUND	PF	PEG GONE	PG
DRILL HOLE	DH	BENCH MARK	
PEN MARK	PM	NAIL & PLATE	NPL
		NAIL	NAIL
MISCELLANEOUS INFO.			
STREET SIGN	S	SPOT HEIGHT	10.16
UNKNOWN SERVICE MARKER	U	BOLLARD	B
OVERHEAD POWER LINE		SEWER LINE	S
FENCE LINE		WINDOW / OPENING	W

SERVICE DETAILS

WATER: L
OVERHEAD POWER: NS
U/G POWER: L
TELSTRA: L
GAS: L
SEWER: L

SERVICE NOTES

L: LOCATED NS: NO SERVICE
A: AVAILABLE BUT NOT LOCATED
TBC: LOCATION TO BE CONFIRMED

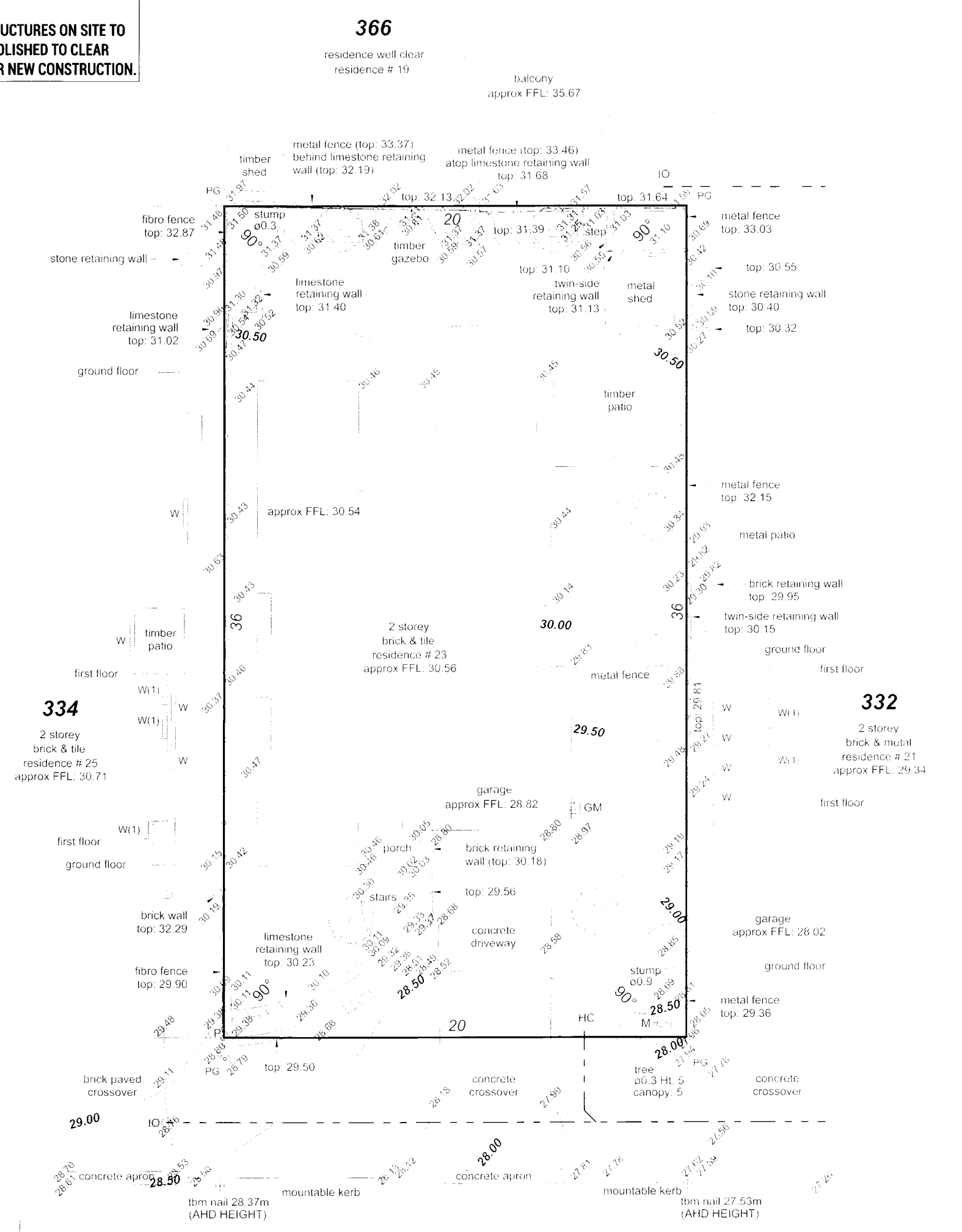
SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: 26.12
UP DISTANCE: 0.0
DEPTH TO CONNECTION: 2.18

SCALE 1:200 AT A3 SIZE

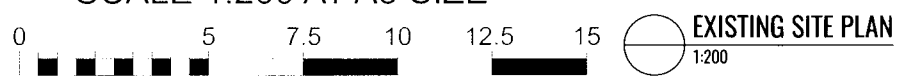
IMPORTANT FEATURE SURVEY NOTES

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg 'key identification' survey is recommended if an accurate position of features (improvements) relative to the boundary is required.
- The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
- The lot dimensions shown on this feature survey plan have been taken from LTO survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
- All service information shown on this plan should be verified with the relevant authorities.
- Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.



BRADEN WAY

(bitumen)





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SHEET: 1 OF 1

CLIENT:	PLAN: P 10962	LOT AREA: 720m ²	SURVEY DATE: 22/05/23
BUILDER: DORRINGTON HOMES	C/T Vol: 1385 Fol: 743		MAP REFERENCE:
BUILDER JOB #	HEIGHT DATUM: AHD	COASTAL ZONE: 0.5KM	
AUTHORITY: CITY OF JOONDALUP	HEIGHT CORRECTION TO AHD: NO	SEWER INFORMATION: YES	

FEATURE SYMBOL LEGEND

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POWER	
CABLE DOME	POWER POLE
CABLE BOX	CONSUMER POLE
POWER MARKER	EXPOSED CABLES
LIGHT POLE	STAYWIRE ANCHOR
WATER	
WATER METER / TAP	FIRE HYDRANT
TAP	STOP VALVE
FLUSHING POINT	RETIC VALVE
BORE	WATER MARKER
SEWERAGE	
SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)
INSPECTION SHAFT	INSPECTION OPENING
HOUSE CONNECTION	
TELSTRA	
TELSTRA PIT	TELSTRA MANHOLE
TELSTRA MARKER	
DRAINAGE	
DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID)
SIDE ENTRY PIT	DRAINAGE GRATE
COMBINED ENTRY PIT	
GAS	
GAS METER	GAS VALVE
GAS MARKER	
SURVEY MARKS	
PEG FOUND	PEG GONE
DRILL HOLE	BENCH MARK
PEN MARK	NAIL & PLATE
	NAIL
MISCELLANEOUS INFO.	
STREET SIGN	SPOT HEIGHT
UNKNOWN SERVICE MARKER	BOLLARD
OVERHEAD POWER LINE	SEWER LINE
FENCE LINE	WINDOW / OPENING

SERVICE DETAILS

WATER: L
 OVERHEAD POWER: NS
 U/G POWER: L
 TELSTRA: L
 GAS: L
 SEWER: L

SERVICE NOTES

L: LOCATED NS: NO SERVICE
 A: AVAILABLE BUT NOT LOCATED
 TBC: LOCATION TO BE CONFIRMED

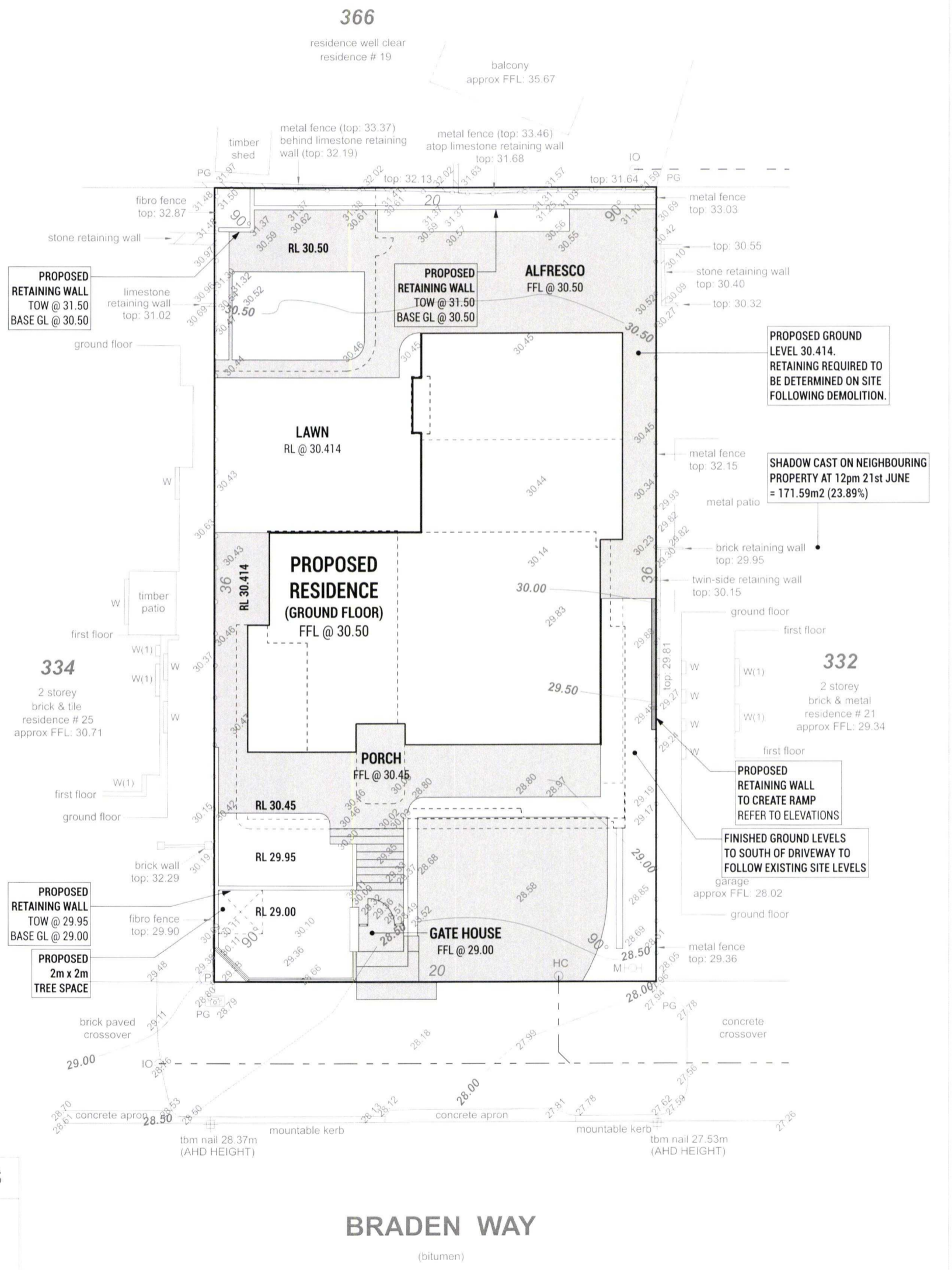
SEWER JUNCTION DETAILS

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DEPTH TO CONNECTION:	2.18



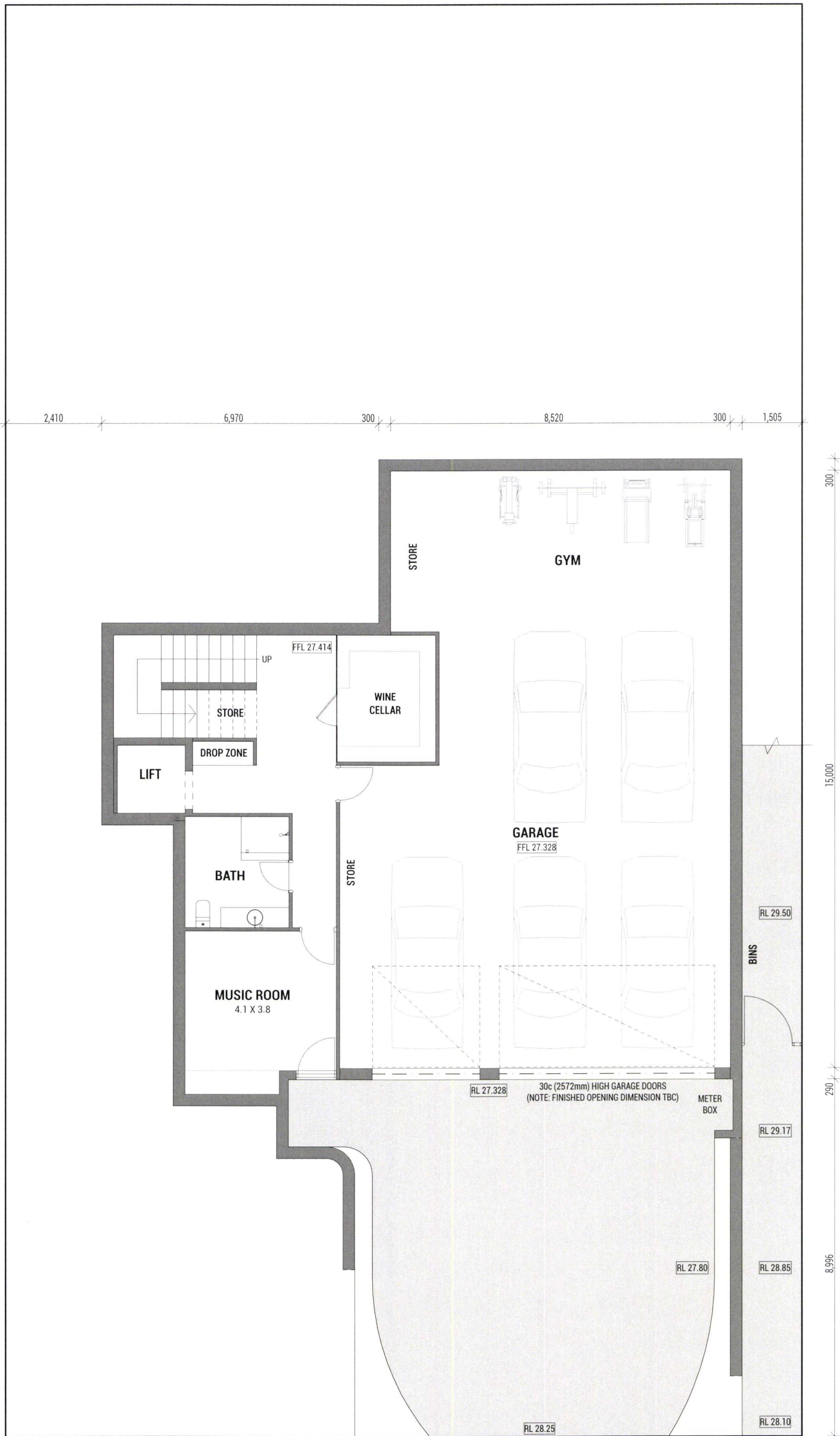
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BRADEN WAY

(bitumen)





HOUSE AREAS:	
GROUND FLOOR	233.27
GARAGE	154.38
PORCH	4.96
ALFRESCO	41.04
UNDERCROFT FLOOR	58.14
UPPER FLOOR	188.67
BALCONY	14.85
TOTAL	695.31 m²

**DAVID
WILKES
DESIGN**

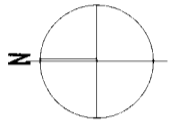
Builders | Designers
Dorrington
homes

CLIENT / SITE:
PEARCE RESIDENCE
23 BRADEN WAY
MARMION

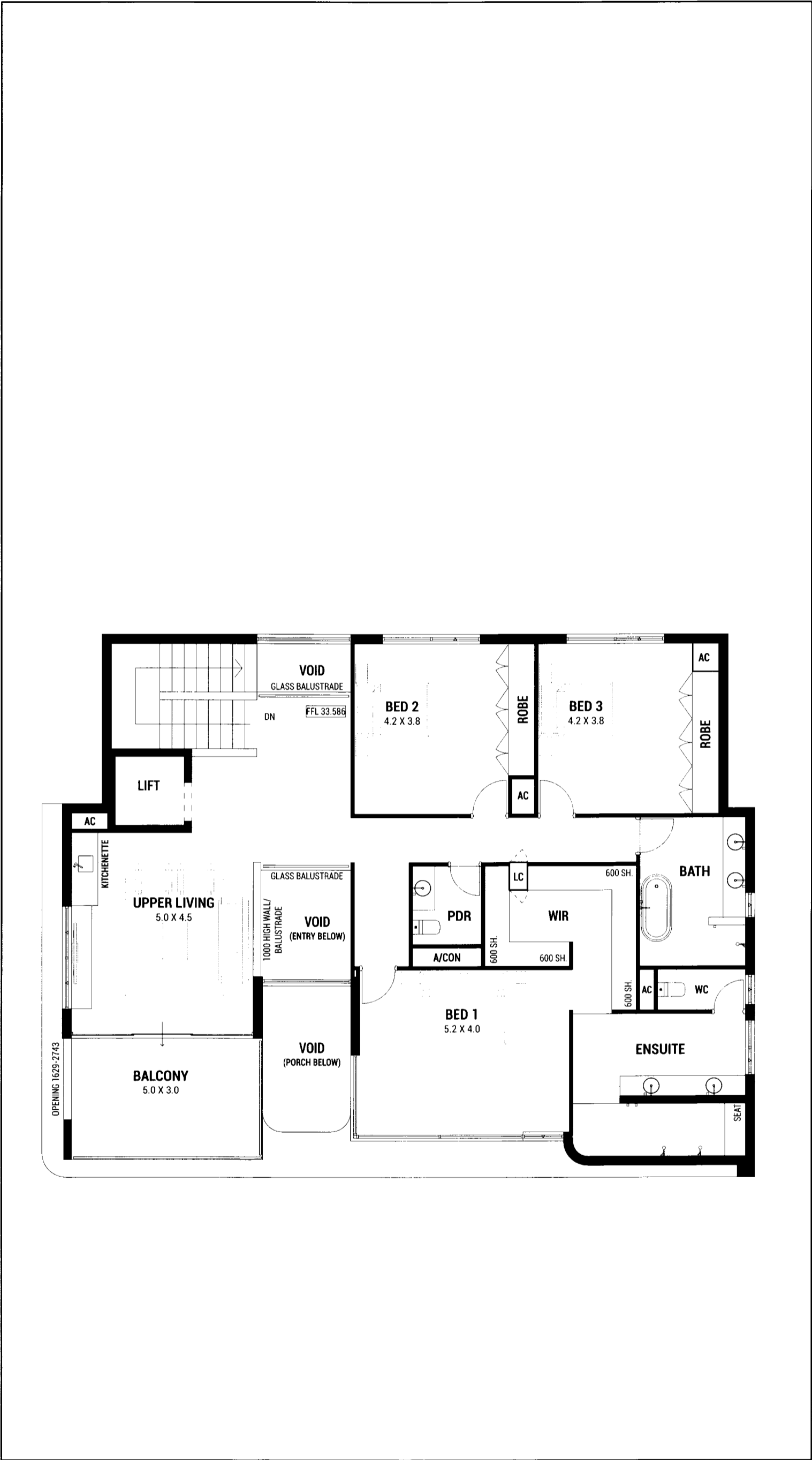
DRAWING:
GROUND FLOOR
ISSUE: **3** SHEET: **3**

3	7/9/23	DESIGN
ISSUE	DATE	REVISION





3,950
8,800
440
6,986



4,290
9,130
6,986

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DESIGN**

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homes

CLIENT / SITE:
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23 BRADEN WAY
MARMION

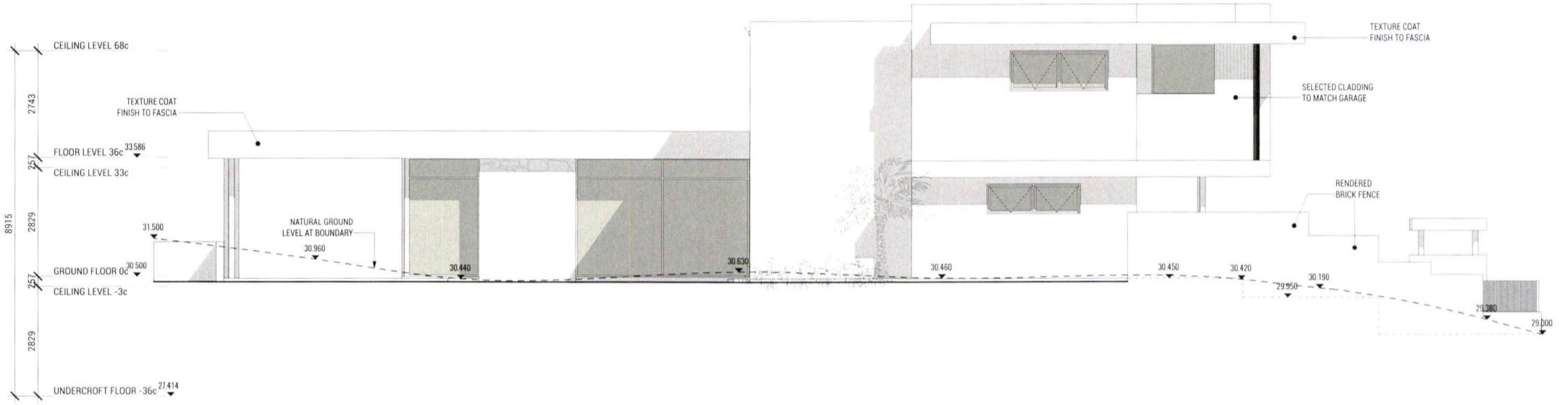
0m 1m 5m

DRAWING:
UPPER FLOOR
ISSUE: **3** SHEET: **4**

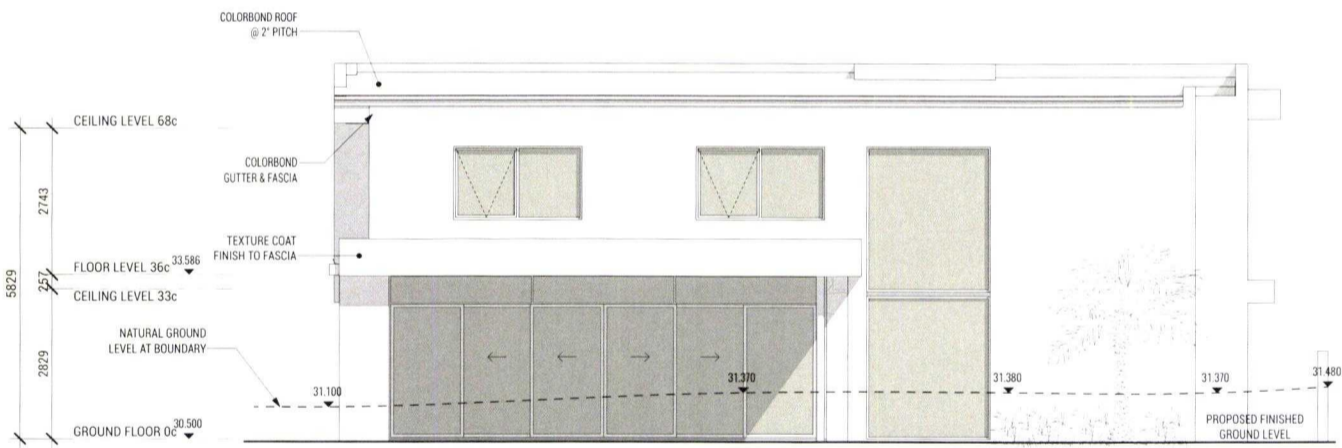
ISSUE	DATE	DESIGN REVISION
3	7/9/23	



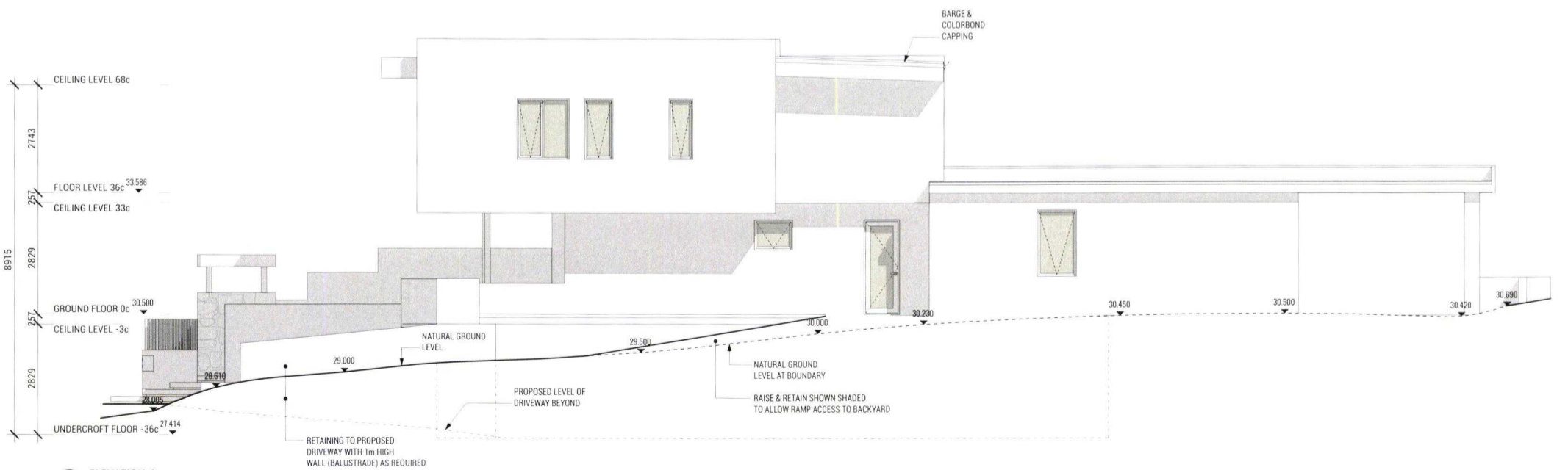
ELEVATION 1
1:100



ELEVATION 2
1:100



ELEVATION 3
1:100



ELEVATION 4
1:100



DAVID WILKES DESIGN

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CLIENT / SITE
PEARCE RESIDENCE
23 BRADEN WAY
MARMION

ISSUE	DATE	DESIGN REVISION
3	7/9/23	DESIGN

DRAWING	
ELEVATIONS	SHEET
3	5