

# LOT 1

416m<sup>2</sup>

## SERVICE INFORMATION

AREA	ESTABLISHED
SEWERAGE	YES DEPTH
WATER	YES PRELAI D
ELECTRICAL	YES UG
TELECOM	YES
GAS	YES
DRAFTED DF	SURVEYOR TS

## SERVICE LEGEND

SURVEY	
✱	DATUM
○ PF	PEG FOUND
○ PG	PEG GONE
SEWERAGE	
○	SEW SEWER MANHOLE
○ IO	INSPECTION OPENING
○ IS	INSPECTION SHAFT
WATER	
○ M	WATER METER
○ H	HYDRANT
○ F	FLUSH POINT
○ V	STOP VALVE
ELECTRICAL	
○/□ D	POWER DOME/PILLAR
○ P	POWER POLE
○ L	LAMP POST
○ C	CONSUMER POLE
○ A	STAY WIRE ANCHOR
STORMWATER	
○	STORMWATER MANHOLE
□	GRATE
□	SIDE ENTRY PIT
GAS	
○ G	GAS METER
○ S	SERVICE VALVE
TELECOM	
○ T	COMMUNICATION PIT

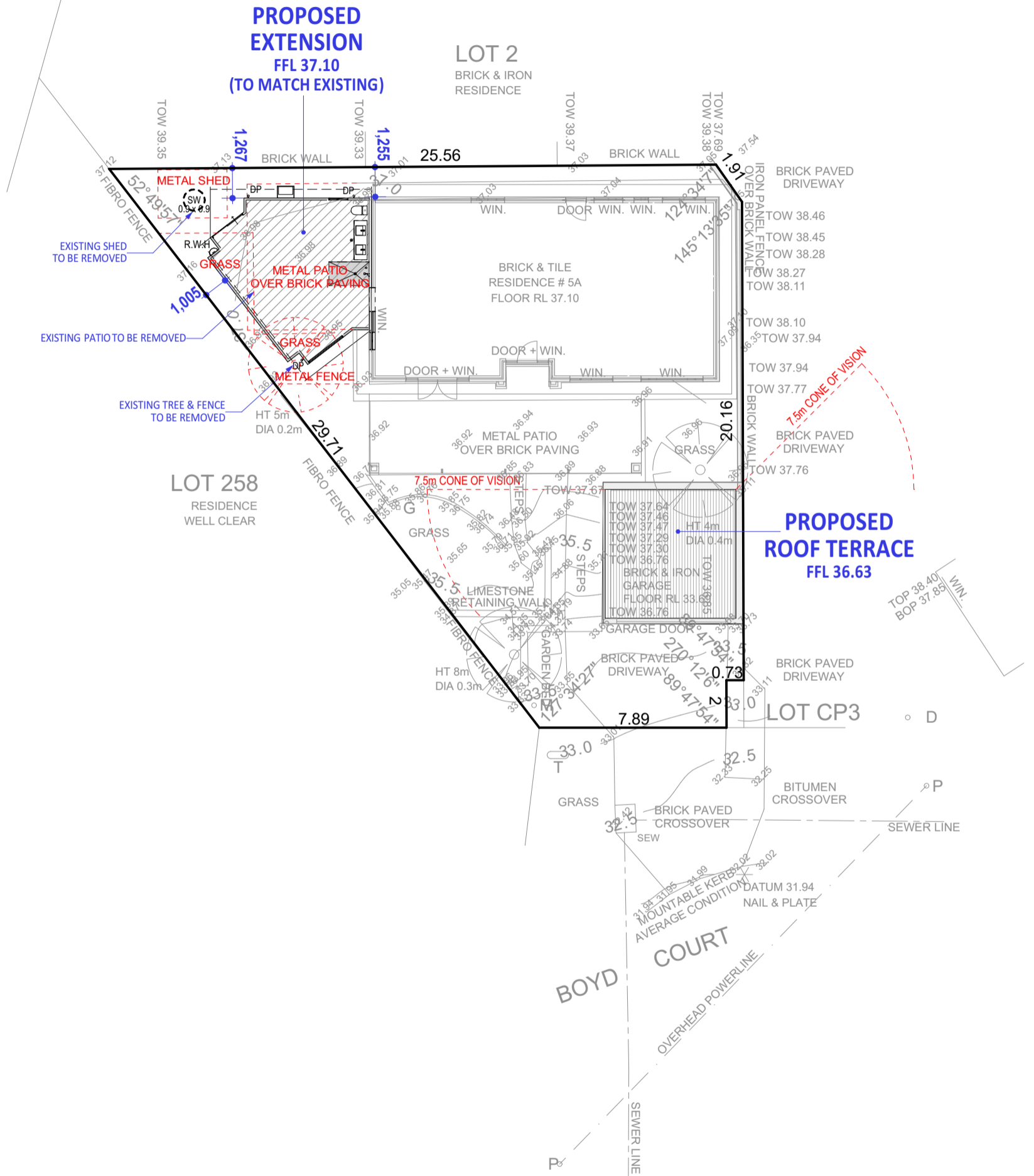
## SEWER CONNECTION POSITION

REFER TO DRAINAGE PLUMBING DIAGRAM FOR INTERNAL STRATA SERVICING

No.	Soak Well Type
0.6 m3	1 SW 900x900
0.6 m3	Total Capacity
41.0 m2	Roof Area GF
41.0 m2	Total Area
0.5 m3	Capacity Required (Area x 0.0125)
0.1 m3	Extra Capacity Provided

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

**WARNING!**  
BOUNDARY RE-ESTABLISHMENT SURVEY  
REQUIRED TO CONFIRM LOT BOUNDARY  
POSITION AND DIMENSIONS.



CLIENT: <b>HAYES</b>	
ADDRESS: <b>LOT 1 (#5A) BOYD COURT, PADBURY</b>	
PLAN: <b>SP49799</b>	C/T: <b>2618/193</b>
AUTHORITY: <b>CITY OF JOONDALUP</b>	
DATE: <b>08/12/2022</b>	JOB REFERENCE: <b>TSA2704 - FS</b>
H. Grid : LOCAL V. Datum : AHD	Local level : 32.42 A.H.D. level : 31.94
A.H.D. value SEWER M/H Distance derived from : L1741 from Datum : 5.56m	
VERSION	DATE
	DESCRIPTION
	APPROVED BY

**TSA SURVEYS**  
CONSULTING SURVEYORS

A | U4/3 Wicks Street, Bayswater WA 6053  
P | PO Box 102, Bassendean WA 6934  
M | 0433 304 648  
E | admin@tsasurveys.com.au  
W | www.tsasurveys.com.au  
ABN | 56 645 650 666

**IMPORTANT NOTES:**

- The information on this drawing is current at the date of survey.
- All services are to be confirmed with relevant authorities.
- This includes without limitation; Sewerage / Water / Drainage / Electrical / Gas & Communications
- Further Limitations / Interests / Encumbrances / Notifications may be listed on the Certificate of Title.
- Original lot dimensions taken from Landgate Survey Plans.
- Boundary Re-establishment Survey required to confirm lot boundary position and dimensions.
- The sole purpose of this plan is for presentation to WAPC for process of application for subdivision to produce a conditional approval.
- Final lot numbers, dimensions and areas may vary due to WAPC requirements, government authority conditions and final field survey.
- This plan is for the purpose of application and in no way represents WAPC conditional approval.
- TSA Surveys does not accept liability for loss or damage to any person or corporation who may rely on this plan for any purpose.
- Permission is required from TSA Surveys for the reproduction or copying of this plan.

Scale: 1:200 at A3

**PARAGON**  
RESIDENTIAL DESIGN & DRAFTING

P: (08) 6102 2704 E: hello@paragonresidential.com.au

**WORKING DRAWINGS**

**PROPOSED HAYES & McAULLAY RESIDENCE RENOVATION**

ADDRESS:  
#5A BOYD COURT, PADBURY

LOCAL GOVERNMENT:  
CITY OF JOONDALUP

**SITE PLAN**

JOB #: PRD_58	SHEET: 01 of 10	DRAWN: LC	DATE: OCT '23	SCALE: 1:200
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All provided documentation is to be thoroughly checked by all relevant builders and contractors, with Paragon Residential Design to be advised of any discrepancies identified and provided the opportunity to resolve prior to the commencement of any works on site.

These plans have been prepared for the exclusive use of the client(s) of Paragon Residential Design for the purpose expressly notified to the designer. The plans shall remain the sole property of Paragon Residential Design and must not be given, lent, resold or otherwise disposed of copied without the permission in writing from Paragon Residential Design.

**REV: 03**  
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**GENERAL NOTES:**

- 90mm STUD FRAMED WALLS W' R2.5 INSULATION THROUGHOUT
- SELECTED CLADDING EXTERNALLY FIXED OVER COUNTER BATTENS (REFER ELEVATIONS)
- CEILING HEIGHTS - REFER FLOOR PLAN
- METAL ROOF COVER AT 14° 34' PITCH & ~18° - REFER ROOF PLAN

**WIND RATING & COASTAL NOTES:**

- WIND RATING (N1) AS PER AS 4055
- DURABILITY CLASS (R3) AS PER AS 3700

**GENERAL NOTES:**

- PLANS TO BE READ IN CONJUNCTION WITH ALL APPLICABLE ENGINEERING, ADDENDA AND SPECIFICATION.

**GENERAL NOTES:**

- PLANS HAVE BEEN PREPARED WITHOUT AN ADDENDA. REVIEW & UPDATE OF PLANS REQUIRED ONCE AN ADDENDA HAS BEEN PREPARED BY THE NOMINATED BUILDER.

**PLASTERER NOTES:**

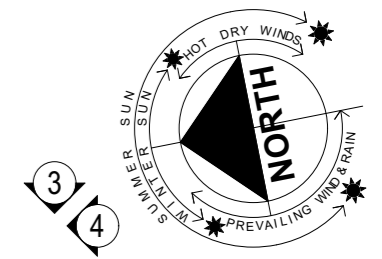
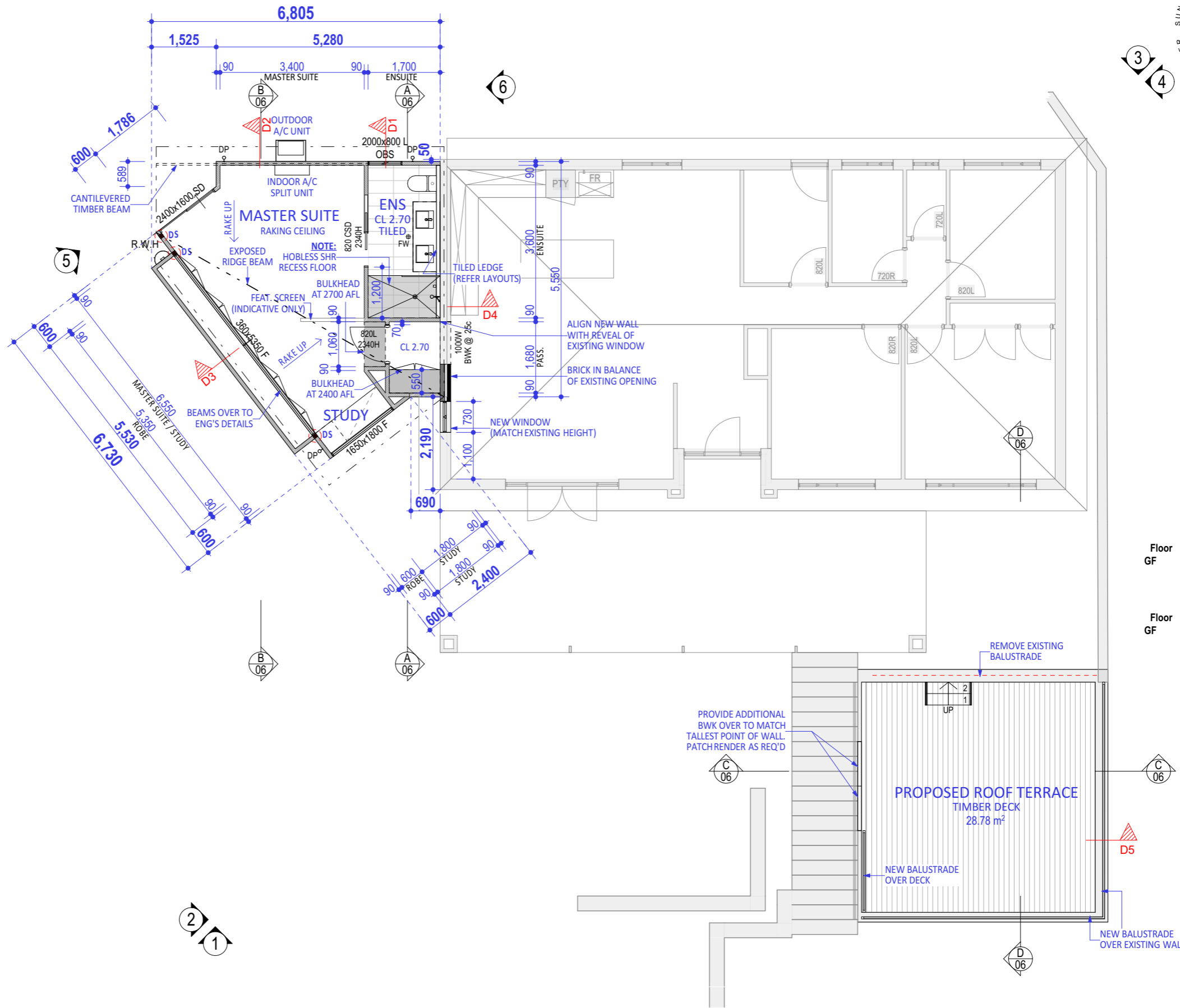
- FULL HEIGHT TILING TO ENSUITE.

**PLUMBER NOTES:**

- REFLUX VALVE TO SEWER LINE
- RWP POSITIONS SHOWN ARE APPROX. ONLY AND ARE POSITIONED AT THE ROOF PLUMBERS DISCRETION

**CLIENT NOTES:**

- ALL DIMENSIONS STATED ON THESE DRAWINGS RELATE TO WALL SETOUT ONLY. NO ALLOWANCE IS MADE FOR ADDITION OF PLASTER OR WALL FINISH WHERE THESE APPLY. CARE SHOULD BE TAKEN TO INCLUDE SUCH ALLOWANCE IN CALCULATION OF CLEARANCE REQUIRED FOR FUTURE FITTINGS.



Floor	Area	Area
GF	HOUSE (NEW)	35.32
	ROOF TERRACE	35.16
		<b>70.48 m²</b>
Floor	Area	Perimeter

Floor	Area	Perimeter
GF	HOUSE (NEW)	24.22

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**WORKING DRAWINGS**

**PROPOSED HAYES & McAULLAY RESIDENCE RENOVATION**

ADDRESS: #5A BOYD COURT, PADBURY  
LOCAL GOVERNMENT: CITY OF JOONDALUP

**FLOOR PLAN**

JOB #: PRD\_58 SHEET: 03 of 10 DRAWN: LC DATE: OCT '23 SCALE: 1:100

REV: 03 © copyright

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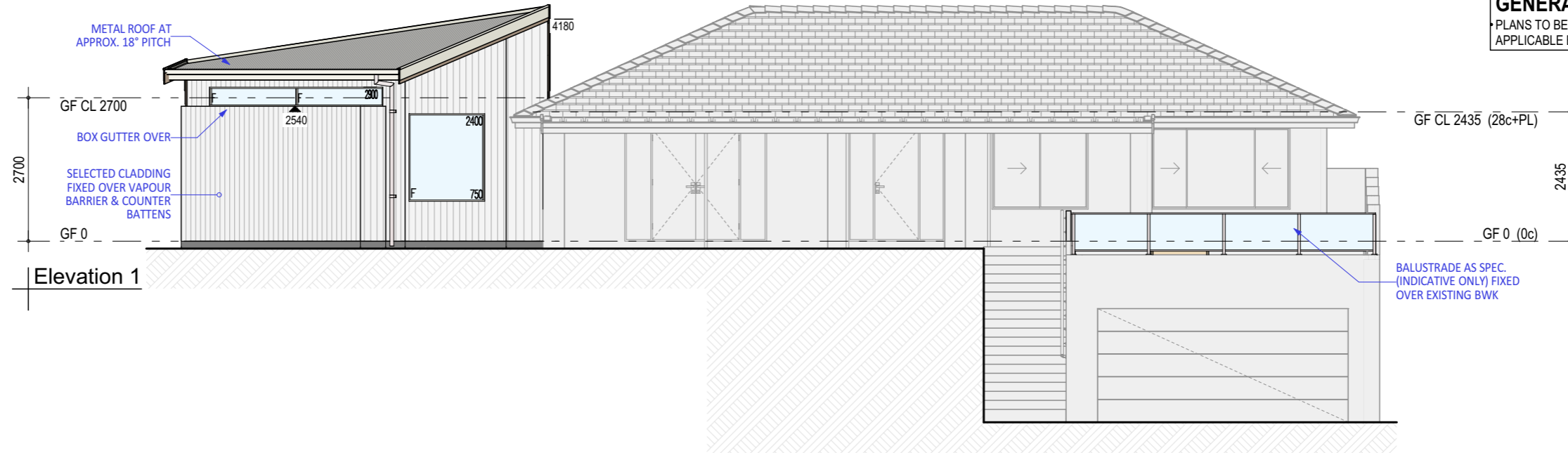
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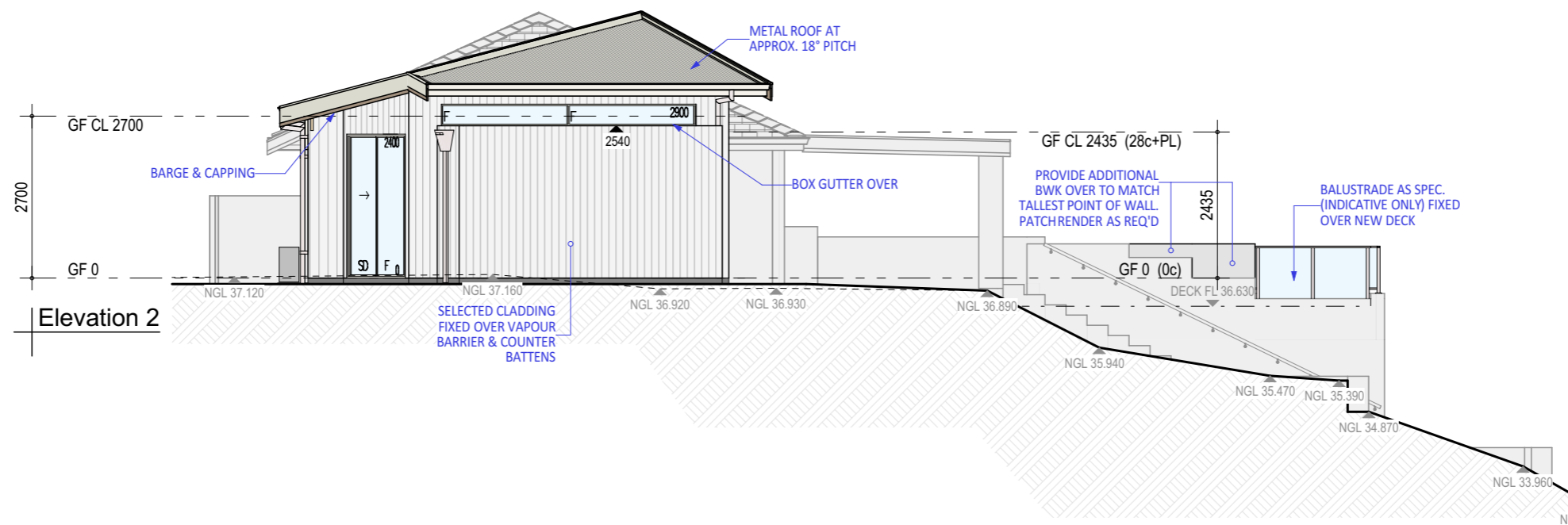
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- DURABILITY CLASS (R3) AS PER AS PER AS 3700

**GENERAL NOTES:**

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Elevation 1



Elevation 2

**GENERAL NOTES:**

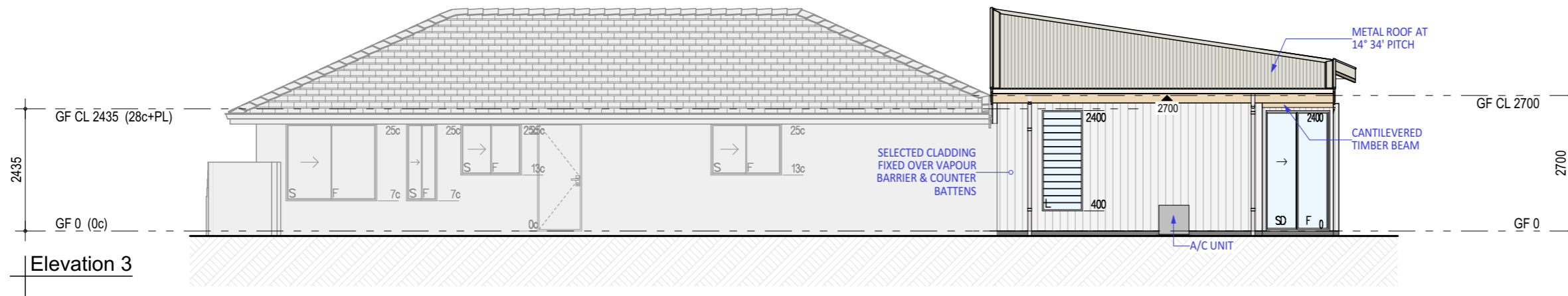
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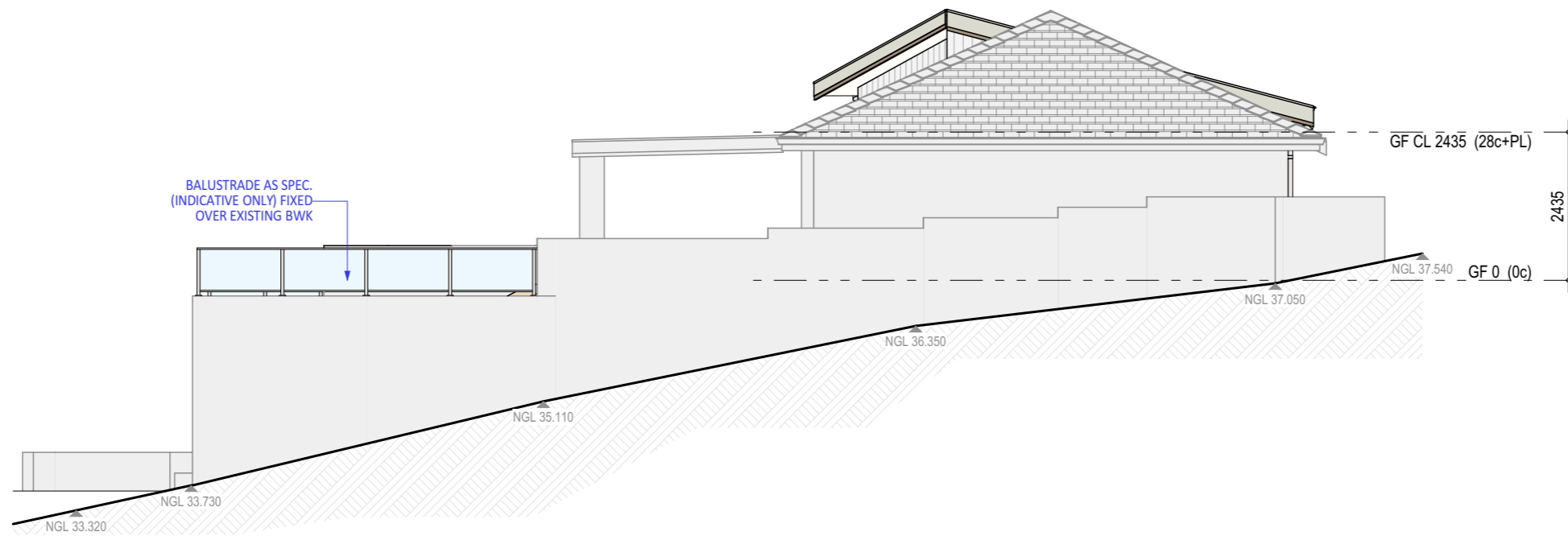
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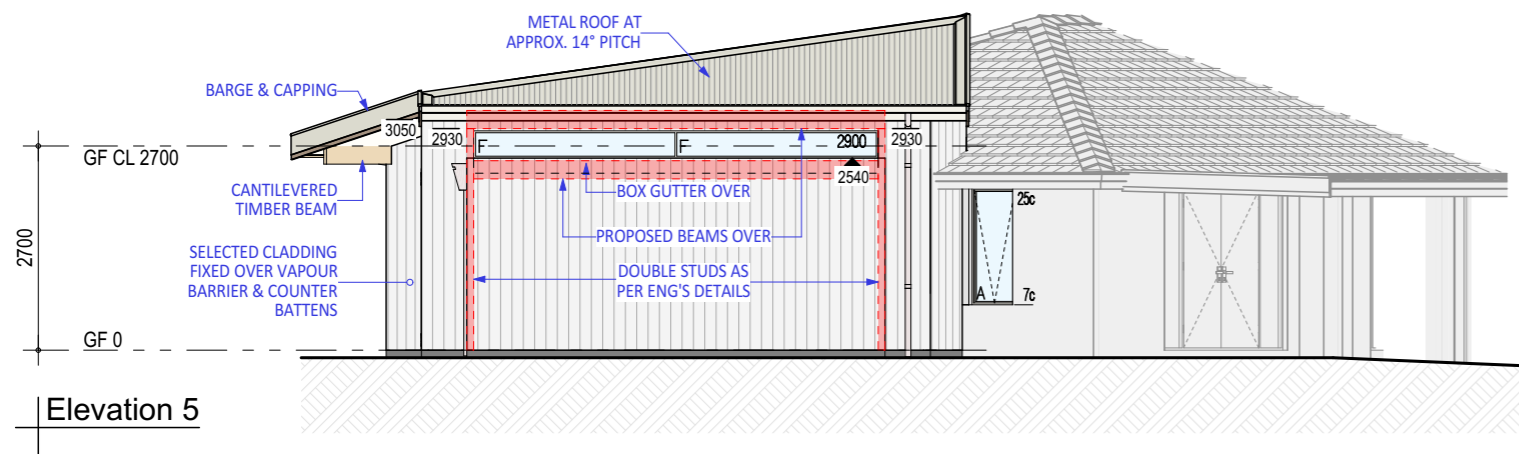
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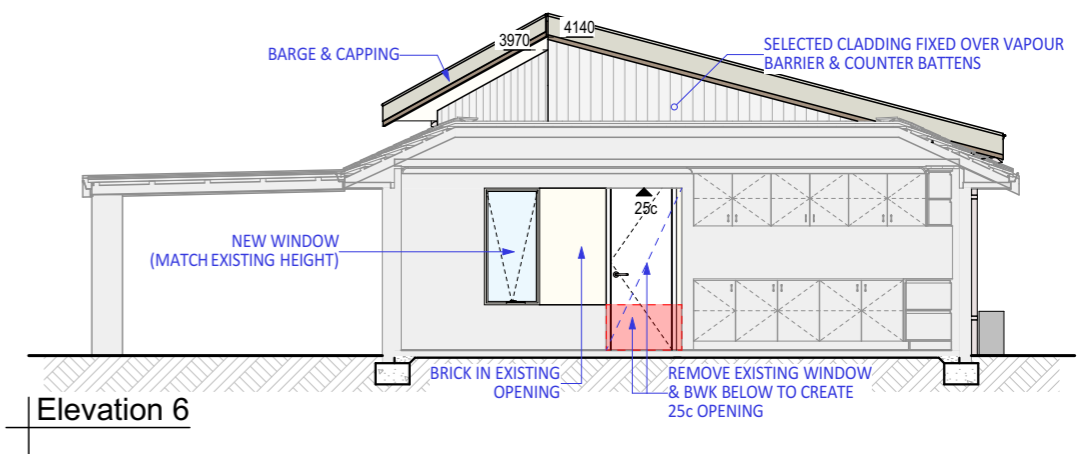
Elevation 3



Elevation 4



Elevation 5



Elevation 6