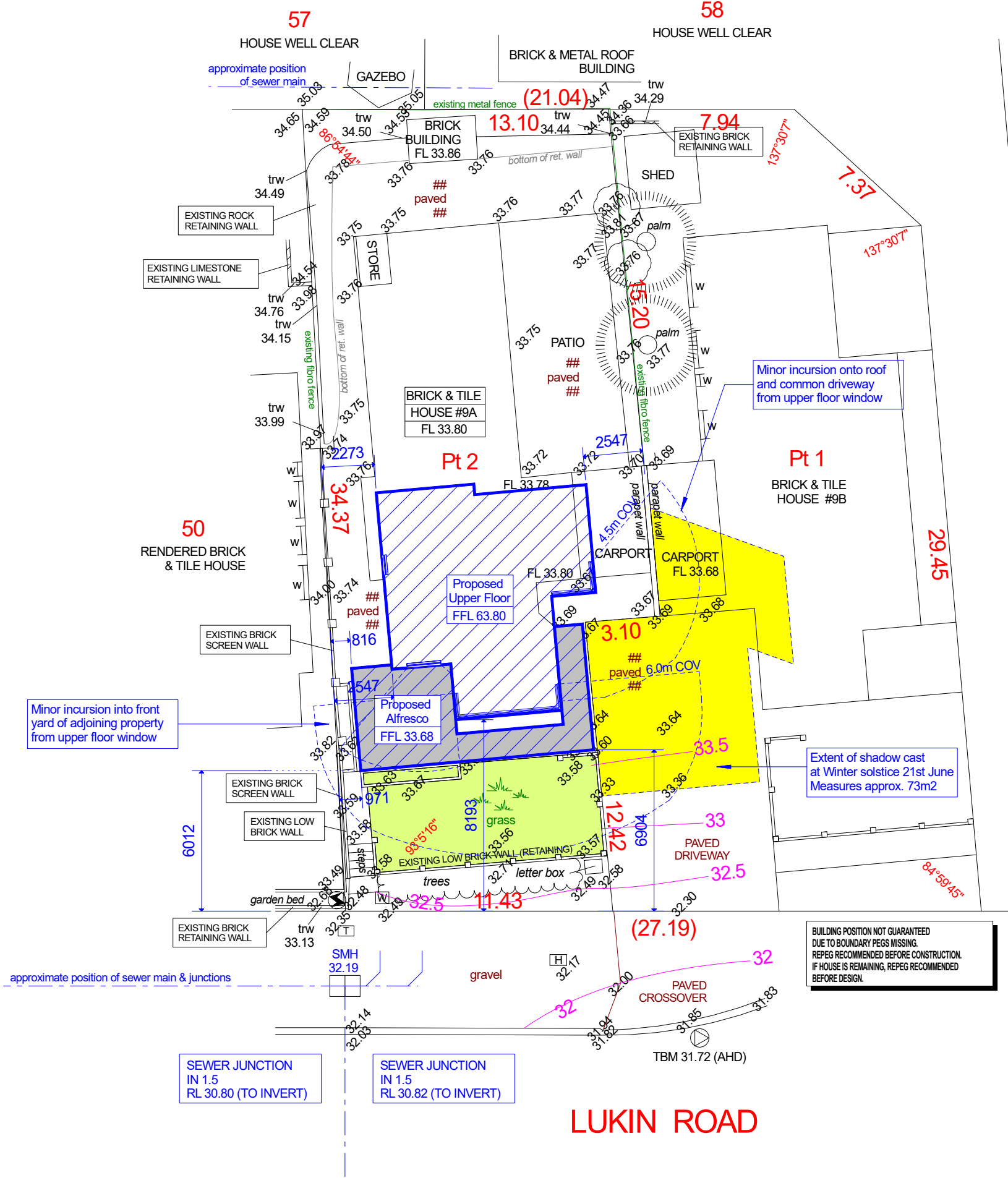


NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.

LOT No: 49

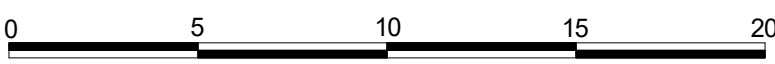
AREA: 901m²



BUILDING POSITION NOT GUARANTEED
DUE TO BOUNDARY PEGS MISSING.
REPEG RECOMMENDED BEFORE CONSTRUCTION.
IF HOUSE IS REMAINING, REPEG RECOMMENDED BEFORE DESIGN.



AUSTRALIAN HEIGHT DATUM (AHD)
DERIVED FROM SEWER MANHOLE
R7132 LID LEVEL.



SITE PLAN 1:200 at A3

SURVEYOR SITE INSPECTION REPORT

ELECTRICITY: UNDERGROUND	GAS: NOT SIGHTED
PHONE: YES	WATER: YES
SEWERAGE: YES, ABOUT 1.6m DEEP (TO INVERTS)	
ROAD: BITUMEN	
KERB: MOUNTABLE (cracked)	
FOOTPATH: NIL	
VEGETATION: ESTABLISHED GARDENS	
SOIL: SAND & POSSIBLE LIMESTONE AT DEPTH	
VIEWS: NIL	
REPEG: REQUIRED	
REPEG TYPE: OLD SURVEY AREA	

TITLE DETAILS

Strata Lot No: 2
Lot No: 1718
Strata Plan: 13561
FOL: 993

LEGEND

T.B.M.	STREET LAMP	HYDRANT	PILLAR
POWER DOME	TREE	STOP VALVE	SEWERAGE MANHOLE
PHONE	POWER POLE	SEWERAGE MANHOLE	SEWERAGE MANHOLE
Communication Pit	GRATED DRAIN	Sewerage Inspection Lid	WATER TAP
SIDE ENTRY PIT	DRAINAGE MANHOLE	PRE-LAID WATER PIPE	
TREE STUMP	FENCE END		
PALM TREE	WATER METER		

R. G. LESTER & ASSOCIATES
LICENSED LAND & ENGINEERING SURVEYORS

SHOP 7, NORTH BEACH PLAZA
1 NORTH BEACH ROAD
NORTH BEACH, WA 6020
PH: 9448 5009 - FX: 9203 6722
admin@lestersurveys.com.au

SIGNED CLIENT / S

WITNESS

SIGNED BUILDER

WITNESS

DATE

(BUILDER) **Switch Homes**

CLIENT / S: **BRANSON**

SITE ADDRESS: **STRATA LOT 2 #9A LUKIN ROAD, HILLARYS**

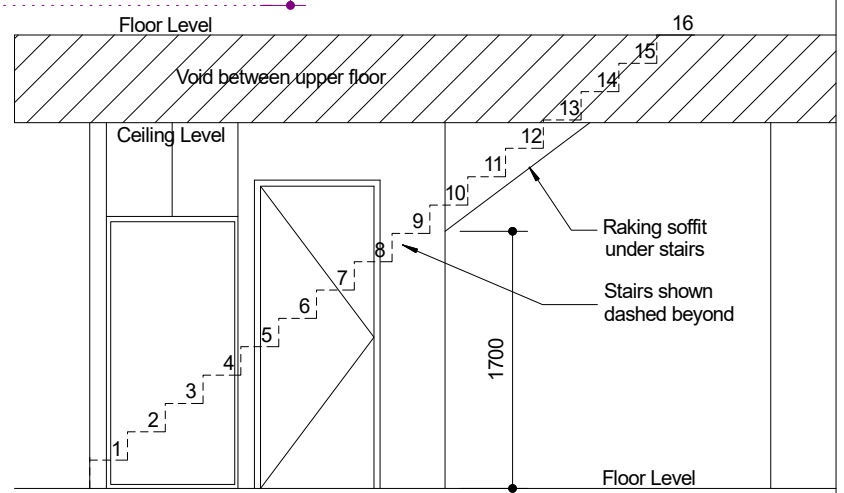
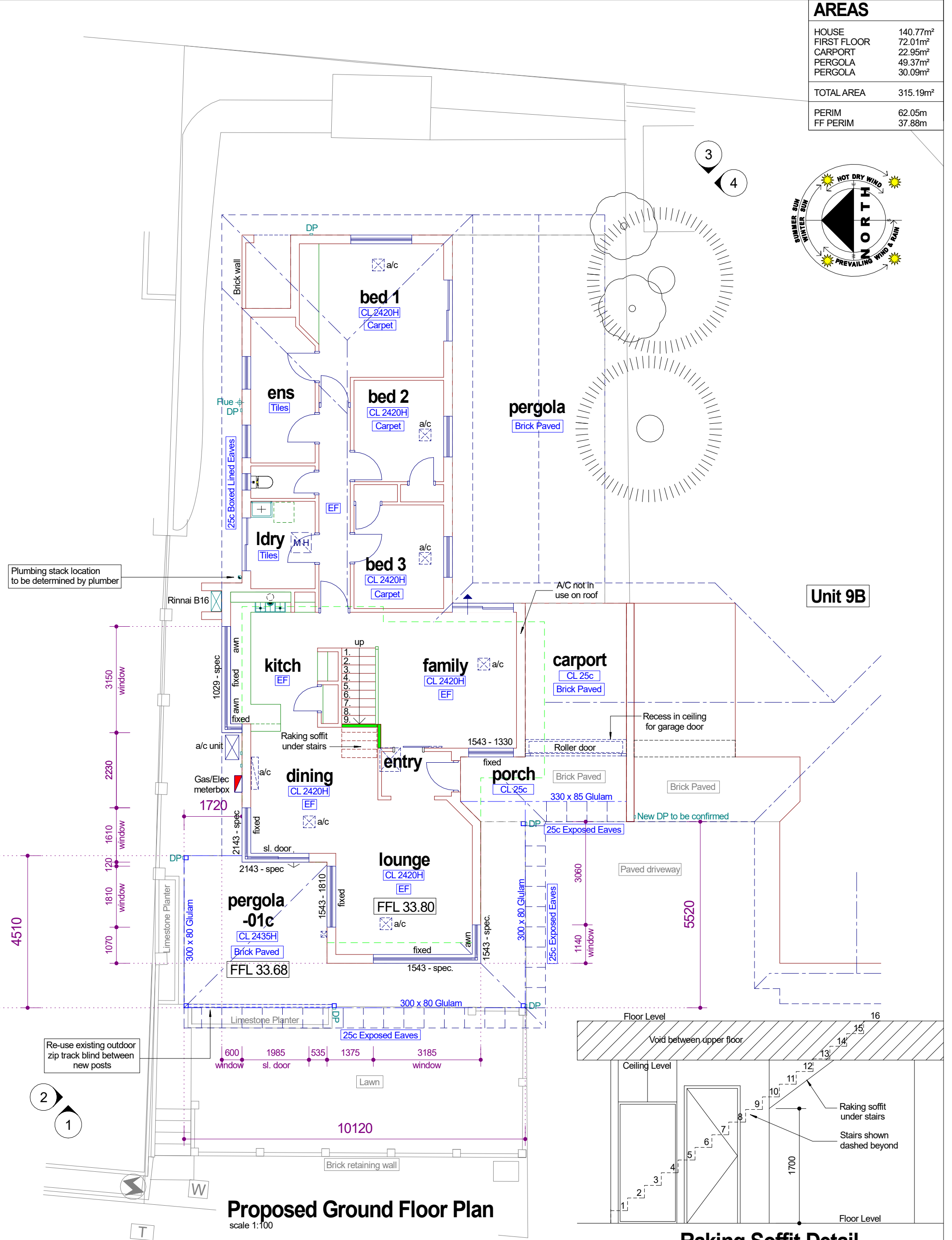
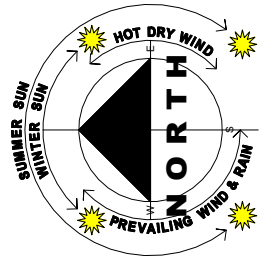
Local Authority: **CITY OF JOONDALUP**

VARIATIONS [all sheets]	DWN.	DATE	CHK.

SHEET No: **1 of 1**

JOB No: **DS07384**

AREAS	
HOUSE	140.77m ²
FIRST FLOOR	72.01m ²
CARPOR	22.95m ²
PERGOLA	49.37m ²
PERGOLA	30.09m ²
TOTAL AREA	315.19m²
PERIM	62.05m
FF PERIM	37.88m



Unit 1/42
Westchester Road,
MALAGA WA 6090
ph: 9248 6122
fax: 9248 6144

PROPOSED ADDITIONS FOR
SCOTT AND KYLIE BRANSON
9A LUKIN ROAD,
HILLARYS

date: 30/10/2023
drawn: J.B.
scale: 1:100
series: 4 OF 6

Rev.	Date	Issue	Int.
A	14/7/2022	ISSUED FOR COMMENT	JB
B	1/8/2022	ISSUED FOR COMMENT	JB
C	10/8/2022	ISSUED FOR COSTINGS	JB
D	22/6/2023	ISSUED FOR PLANNING	JB
E	30/10/2023	ISSUED FOR PLANNING	JB

A.04
J/N:502

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DISCLAIMER

PLEASE NOTE THAT WHILE CARE WAS TAKEN IN PREPARING THIS SET OF PLANS AND ELEVATIONS, ANY CONSTRUCTION WORK, ALTERATIONS OR RENOVATIONS SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY. DISCREPANCIES SHOULD BE RESOLVED IMMEDIATELY.

BUILDING REQUIREMENTS NOTE

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST NCC, LOCAL GOVERNMENT REQUIREMENTS AND THE AUSTRALIAN STANDARDS.

ENGINEER NOTE

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS.

EXISTING SERVICES NOTE

BUILDER TO LOCATE, ISOLATE AND RE-ROUTE EXISTING SERVICES AS REQUIRED. ENSURE ALL WORK IS CARRIED OUT UNDER THE RELEVANT AUSTRALIAN STANDARDS AND INDUSTRY CODES.

ROOF PLUMBER NOTE

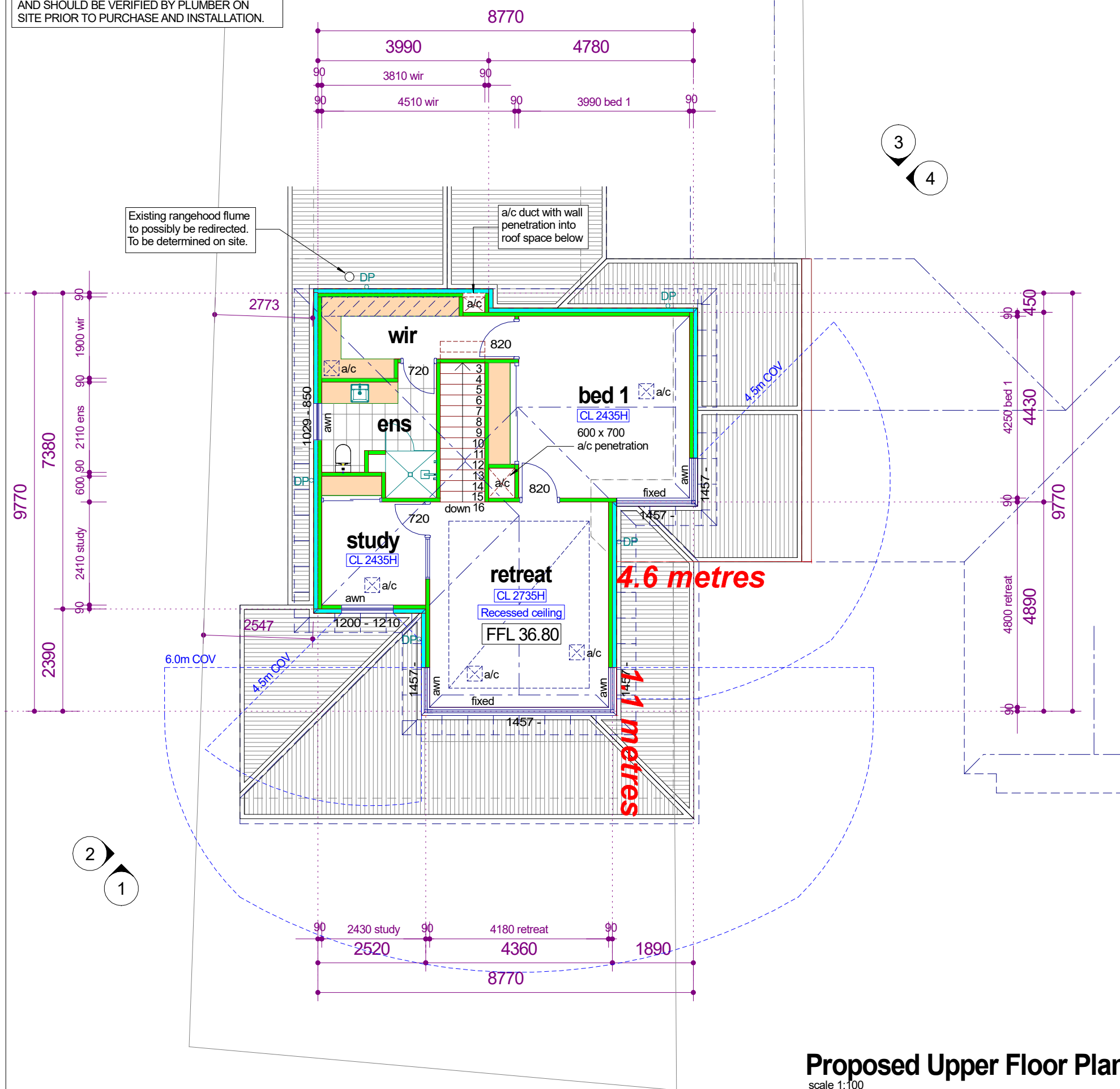
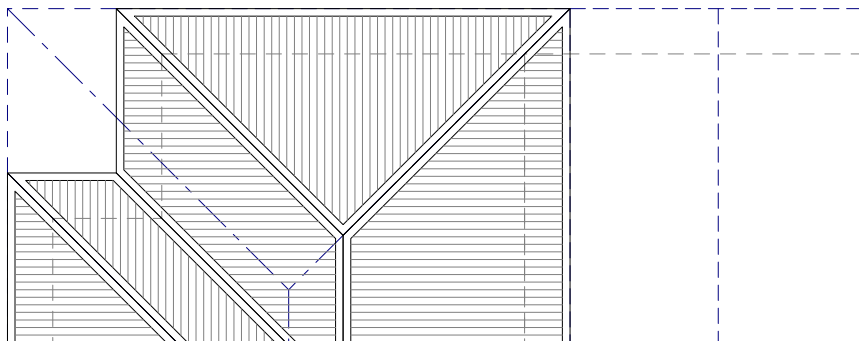
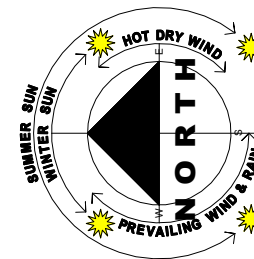
PLUMBER TO ENSURE ADEQUATE RWP ARE INSTALLED, RWP SHOWN ARE SUGGESTED ONLY. PIPE TO EXISTING SYSTEM WHERE POSSIBLE. SIZES AND LOCATION ARE SUGGESTED ONLY AND SHOULD BE VERIFIED BY PLUMBER ON SITE PRIOR TO PURCHASE AND INSTALLATION.

GUTTER AND DOWNPIPE NOTE

REPLACE GUTTERS, DOWNPIPES AND FASCIA TO NORTH AND EAST SIDE OF HOUSE. (NOT REQUIRED IN PERGOLA AREA).

CEILING INSULATION NOTE

NEW R4.0 CEILING INSULATION BATTS TO REAR OF EXISTING HOUSE.



Proposed Upper Floor Plan

scale 1:100



Unit 1/42
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MALAGA WA 6090
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fax: 9248 6144

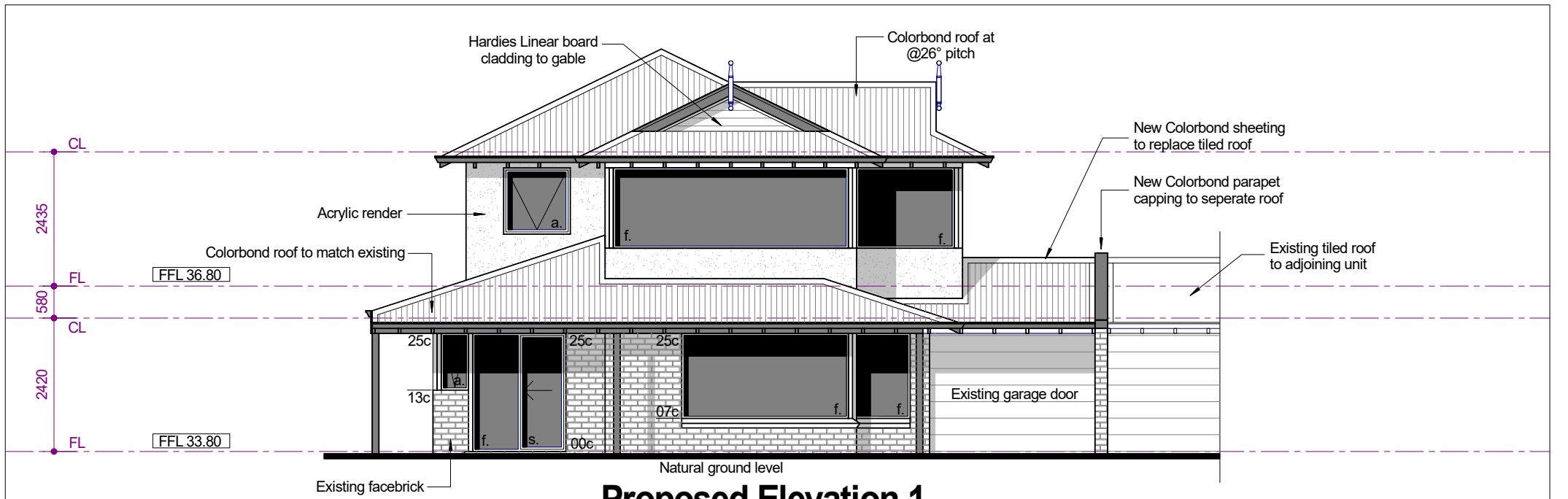
PROPOSED ADDITIONS FOR
SCOTT AND KYLIE BRANSON
9A LUKIN ROAD,
HILLARYS

date: 30/10/2023
drawn: J.B.
scale: 1:100
series: 5 OF 6

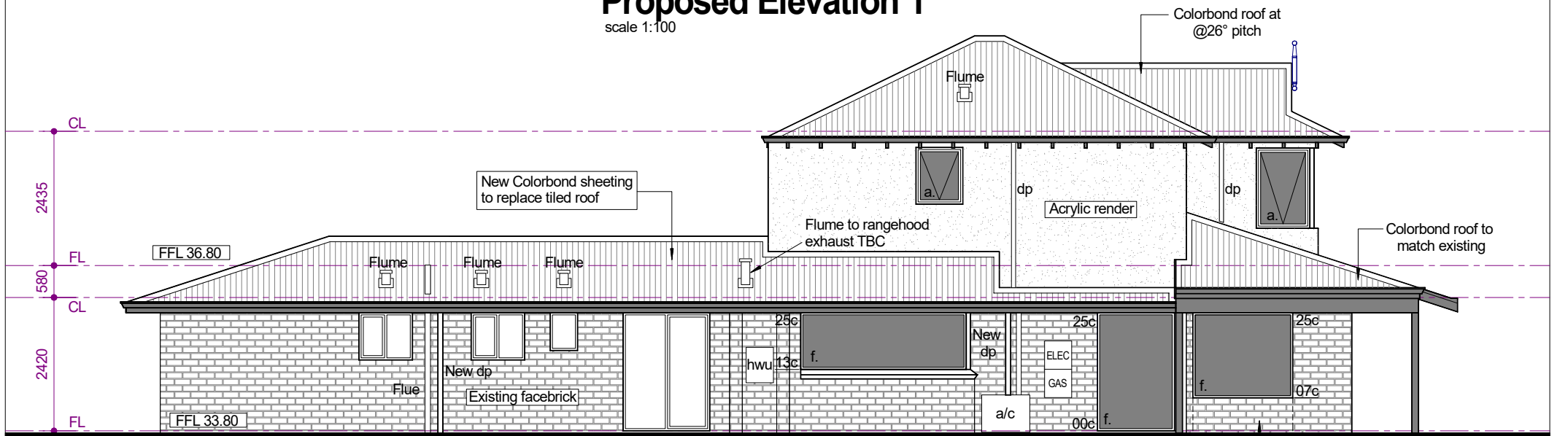
Rev.	Date	Issue	Int.
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B	1/8/2022	ISSUED FOR COMMENT	JB
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E	30/10/2023	ISSUED FOR PLANNING	JB

A.05
J/N:502

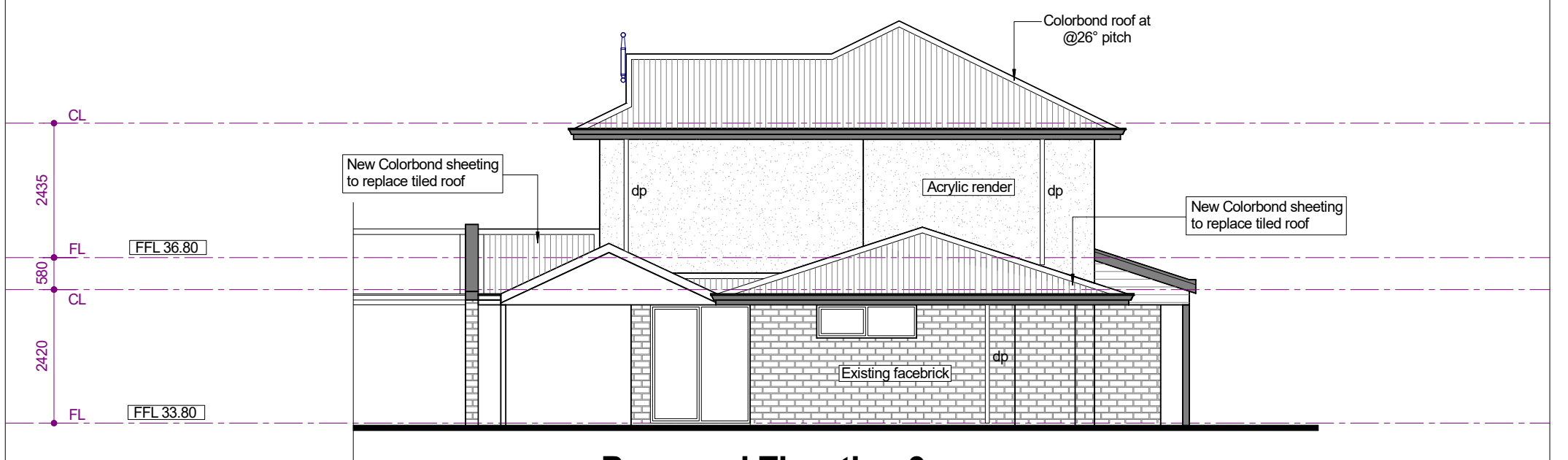
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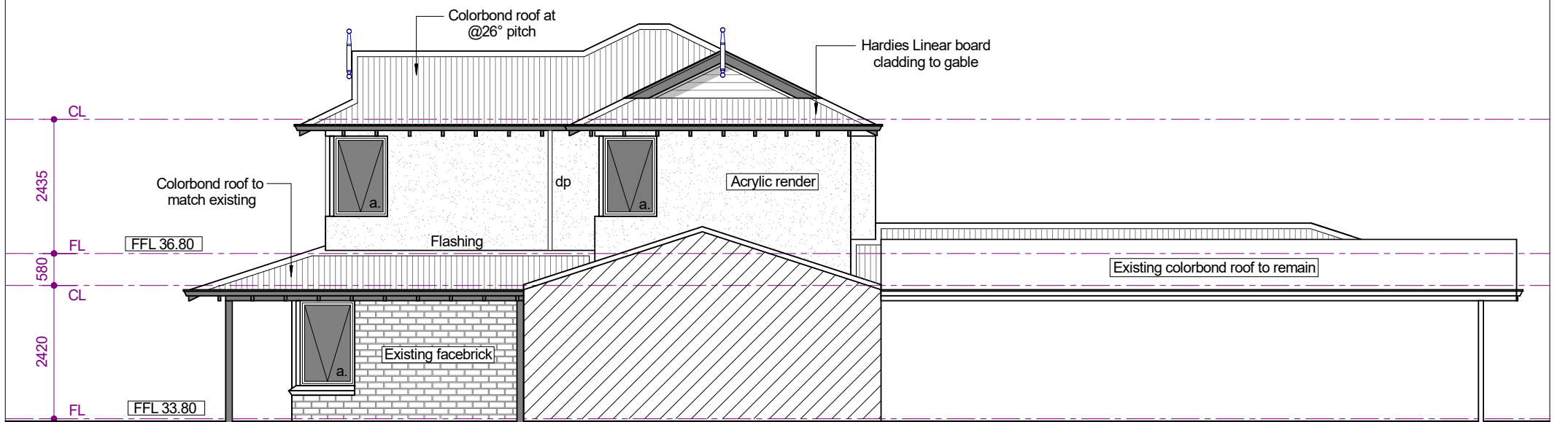
Proposed Elevation 1
scale 1:100



Proposed Elevation 2
scale 1:100



Proposed Elevation 3
scale 1:100



Proposed Elevation 4
scale 1:100



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series: 6 OF 6

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E	30/10/2023	ISSUED FOR PLANNING	JB

A.06
J/N:502

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