

26th September 2023

for

Home Integrity Building Consultants
PO Box 163,
SCARBOROUGH. WA 6019

Application Number – UBC23/0095
Regulatory Services – City of Joondalup

**BUILDING DESCRIPTION – LIMESTONE FENCE & RETAINING WALL.
ADDRESS : LOT 494, HN. 124 COOK AVENUE,
HILLARYS. WA 6025**

Dear Tanya,

Please note below, response in addressing the items outlined in your letter to Home Integrity dated 15th August 2023.

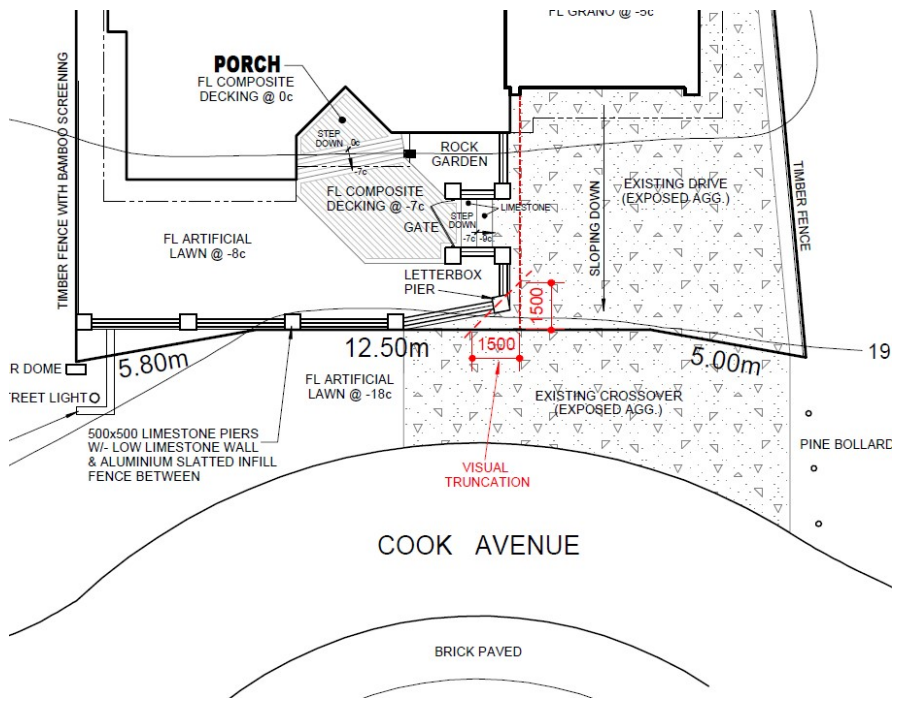
We would like to seek approval for the existing Limestone Fence & Retaining Wall as constructed with variations to the R-codes based on the justifications noted below.

- Due to the location of the property being adjacent to a traffic roundabout on a very busy road, being Cook Avenue, the fence & wall were built oversize & height to offer more protection to the residence & owners in the unfortunate event that a vehicle loses control & crashes into the property. As mentioned, Cook Avenue is a very busy road & a heavily used thoroughfare where not all drivers act in a responsible manner, negotiating the roundabout often at a speed in excessive of the legal limit....hence the owners desire to 'reinforce' the fence & wall structure to offer additional protection to their property.

- We acknowledge the infill slats do not meet the requirements of visually permeable, however as the residence & its FFL are positioned at a level somewhat higher than the front yard & verge, this enables residents to look 'out over' the top of the fence infill panels from the residence front windows & as such passive surveillance to the street is not compromised.

- The fence is truncated to the LH side of the driveway, to assist in getting a visual on approaching traffic when reversing a vehicle out from the driveway. We acknowledge the fence slightly encroaches the 1.5m visual truncation, but only a small portion of

one pier which will not excessively restrict a drivers view to approaching traffic. This is depicted on the Site Plan (Sheet 3) & in the diagram below.



- To rectify the fence & retaining wall to become fully compliant with R-code policies would come at a significant cost to the owners & given the cost of living by todays standards, they would very much like to avoid this additional expense.

Due to the minor nature of the variations requested, we hopefully anticipate an approval can be granted with the points noted previously in this letter taken into consideration.

Should you have any queries please contact Home Integrity using the details used in previous correspondence.

Thanks again for your assistance with this application Tanya.
We look forward to hearing from you.

Yours faithfully,

Nick Raynor
Home Design WA