

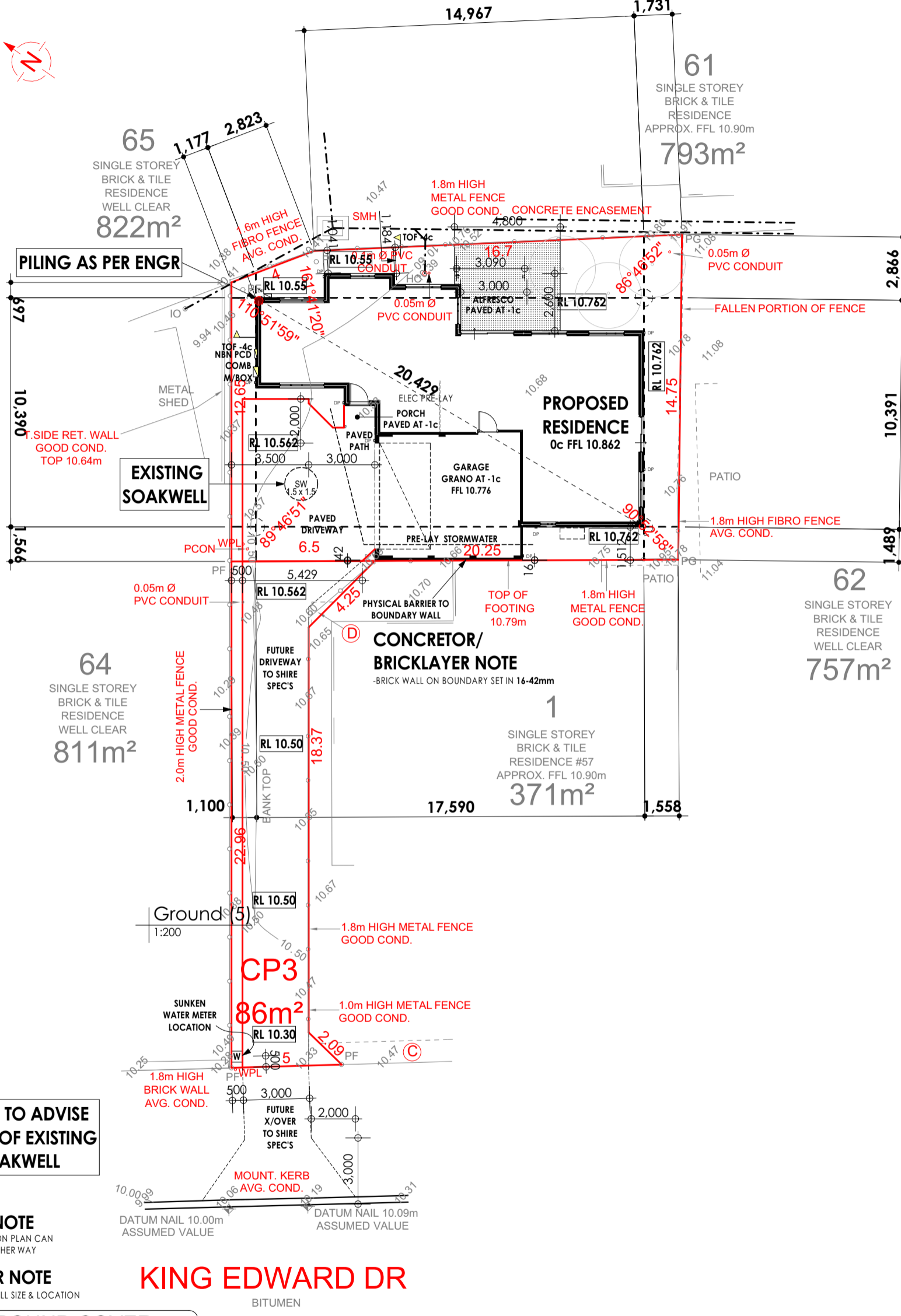


73 CHALLENGE BOULEVARD WANGARA 6065  
PH: 6200 2022 E: info@idealthomes.com.au

SHEET: 1 of 8

SIGNATURES		DRAWN / AMENDMENTS	
CLIENT 1: .....	DATE: .....	12/07/23 FINANCE KO	
CLIENT 2: .....	DATE: .....	22/08/23 WORKING DWGS BB / AB	
BUILDERS: .....	DATE: .....	04/09/23 SITING BB	
		12/09/23 GAS MBOX BB	
		03-11-23 VO 75476 PAW	
		05/12/23 PSVO 75442 AB/BB	
		06/12/23 ENG CHK AB	

NO STRUCTURAL CHANGES (PRINTED DATE: 16/01/2024)



**SERVICE LEGEND**

<b>POWER</b>	
CONSUMER POLE	○ CP
POWER POLE	○ PP
LIGHT POLE	○ LP
STAY POLE	○ SP
S. WIRE ANCHOR	○ SWA
UNI PILLAR	⊗
CONDUIT	○ PCON
<b>GAS</b>	
PRE-LAID CONN.	○ GPL
METER	□ GM
<b>SEWERAGE</b>	
MANHOLE	○ SMH
INSPECT. SHAFT	○ IS
INSPECT. OPENING	○ IO
HOUSE CONNECTION	○ HC
HOUSE CONN. INDICATOR	○ HCI
INSPECT. SHAFT CONNECTION	○ ISC
<b>TELE.</b>	
PIT	□ TEL
PRE-LAID CONN.	○ TPL
<b>DRAINAGE</b>	
MANHOLE	○ DMH
GULLY PIT	□
LOT PIT	○ LDP
HOUSE CONN.	○ DHC
SIDE ENTRY PIT	□
COMBINATION ENTRY PIT	□
<b>WATER</b>	
STOP VALVE	○ WSV
HYDRANT	○ HY
FLUSH POINT	○ FP
WATER TAP	⊕ WTP
WATER METER	⊕ M
PRE-LAID CONN.	○ WPL
<b>SURVEY</b>	
DATUM NAIL	◆
PEG FOUND	○ PF
PEG DISTURBED	○ PD
PEG GONE	PG
STAKE FOUND	○ STF

**LOT RECORDS**

LOT SERVICE	STATUS			
	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER	✓			
SEWERAGE	✓			
GAS		✓		✓
TELE.		✓		✓
DRAINAGE				✓
POWER	U/G	✓		
	O/H			✓

AREA: ESTAB 02/2023  
COASTAL DISTANCE 1.5-10km  
LOT: 2  
AREA: 289 m<sup>2</sup>  
APPROX. AHD + 35.59m

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY  
SEWER INVERT LEVEL 8.25  
SEWER BROUGHT UP 1.30  
DEPTH TO CONNECTION 0.84

**CLIENT TO ADVISE EXTENT OF EXISTING SOAKWELL**

**CLIENT NOTE**  
-FLOOR LEVELS ON PLAN CAN VARY 100mm EITHER WAY

**PLUMBER NOTE**  
-ASSESS SOAKWELL SIZE & LOCATION

**GROUND COVER**  
SANDY / WEED / BUILDING RUBBLE

**KING EDWARD DR**

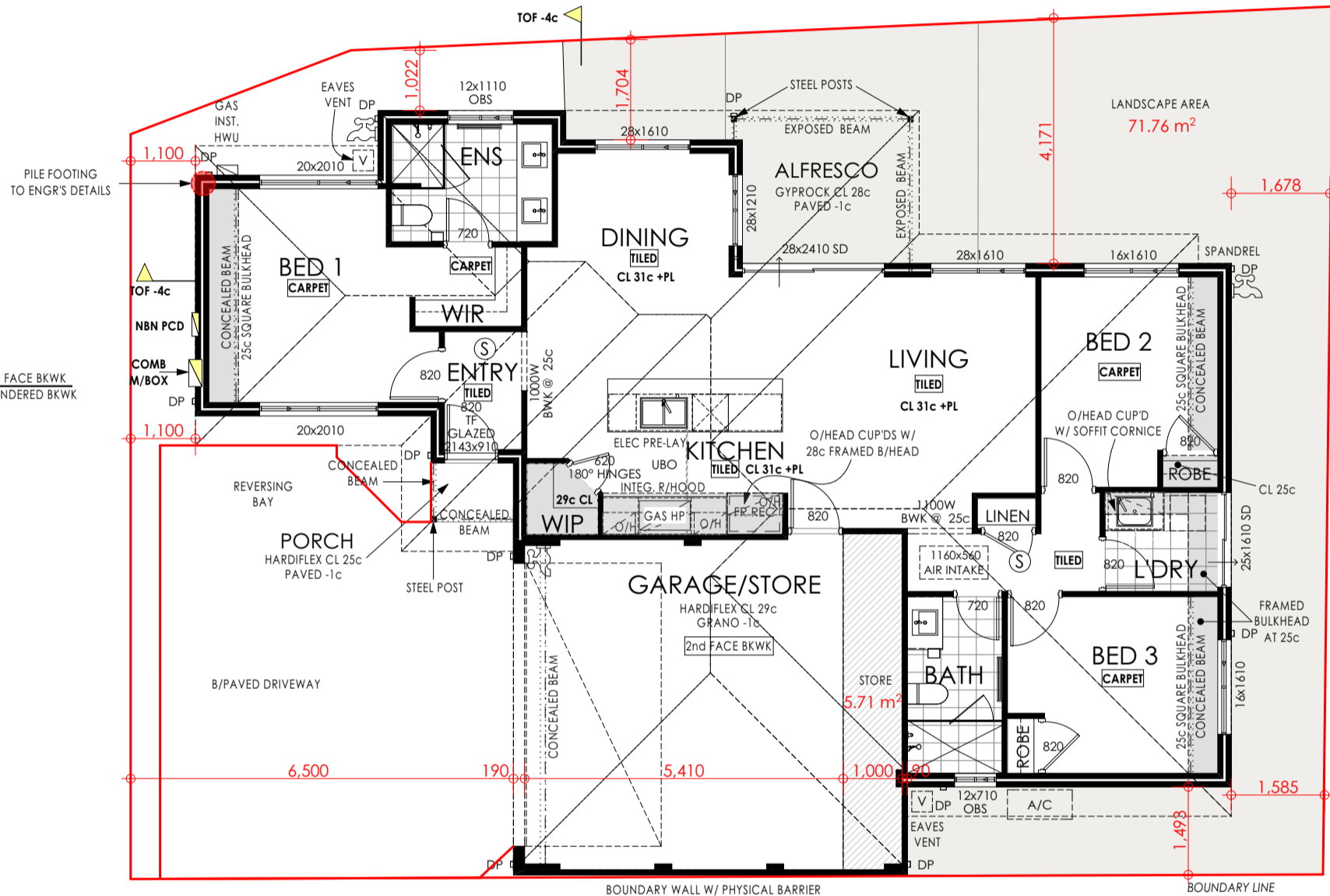
NOTE : EASEMENT - INTRUSION (D)  
NOTE : SERVICE EASEMENT - UNDERGROUND POWER (C)

TITLE : FEATURE SURVEY	LOT : 2 No. 57/A KING EDWARD DR
CLIENT : PEMBER & PEMBER	SUBURB : HEATHRIDGE
BUILDER : IDEAL HOMES	SSP : 86290
	AUTHORITY : CITY OF JOONDALUP
	C/T : 4035/54
	UBD REF : 165 N 5
	GPS : S 31.75614° E 115.75095°
	5 0 2.5 5 10 15
NOTE This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996	SHEET 1 of 1
	BUILDER'S REF I23095
	SURVEYED 22/08/23
	SCALE @ A3 1:200
	DWG No 48014-01-100
	A

**CEILIN**  
CEILING LEV  
UNLESS NOTE



3  
4



2  
1

RENDERED BKWK  
2c FACE BKWK

BUILDING AREA	
HOUSE	114.81
GARAGE/STOR	37.95
ALFRESCO	8.01
PORCH	1.40
	<b>162.17 m²</b>
PERIMETER	
HOUSE	58.36
ROOF AREA	
ROOF AREA	173.12

**FLOOR PLAN**

73 CHALLENGE BOULEVARD WANGARA 6065  
PH: 6200 2022 E: info@idealhomes.com.au

CLIENT  
**PEMBER**  
PROPOSED RESIDENCE  
**SL 2 (#57A) KING EDWARD DRIVE,  
HEATHRIDGE**

HOUSE TYPE: **INDIVIDUAL**

SIGNATURES

CLIENT 1: ..... DATE: .....

CLIENT 2: ..... DATE: .....

BUILDERS: ..... DATE: .....

NO STRUCTURAL CHANGES (PRINTED DATE: 16/01/2024)

DRAWN / AMENDMENTS

12/07/23 FINANCE KO  
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PLANNING DRAWINGS

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**BCA ENERGY  
EFFICIENCY REQUIREMENTS  
MAY ALTER THIS DESIGN**

Dimensions take preference  
over scaling & to be  
checked on site prior to  
commencing construction

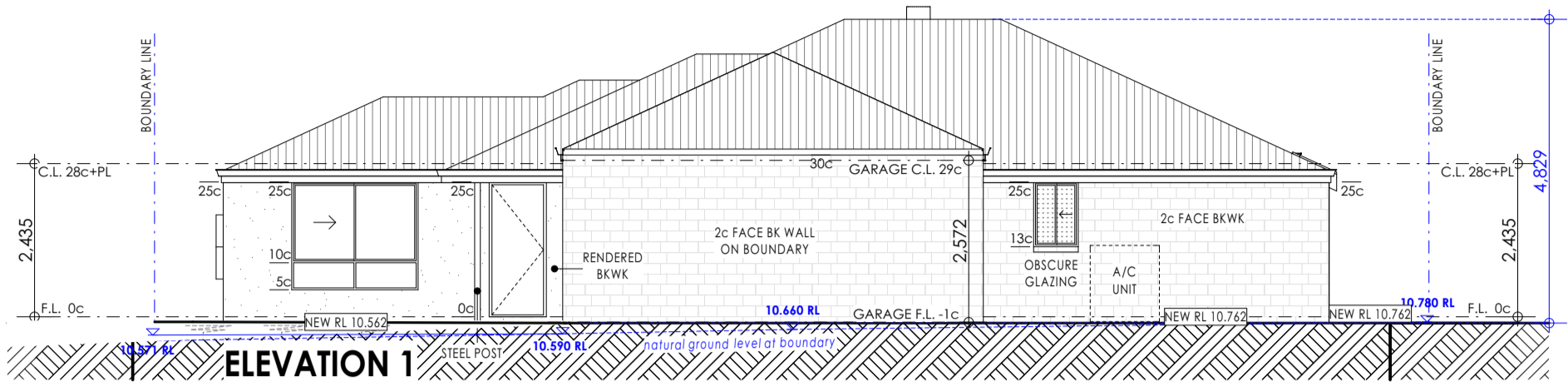
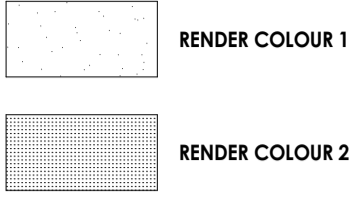
JOB NO: **123095**

QUOTE NO: **Q23117.3**

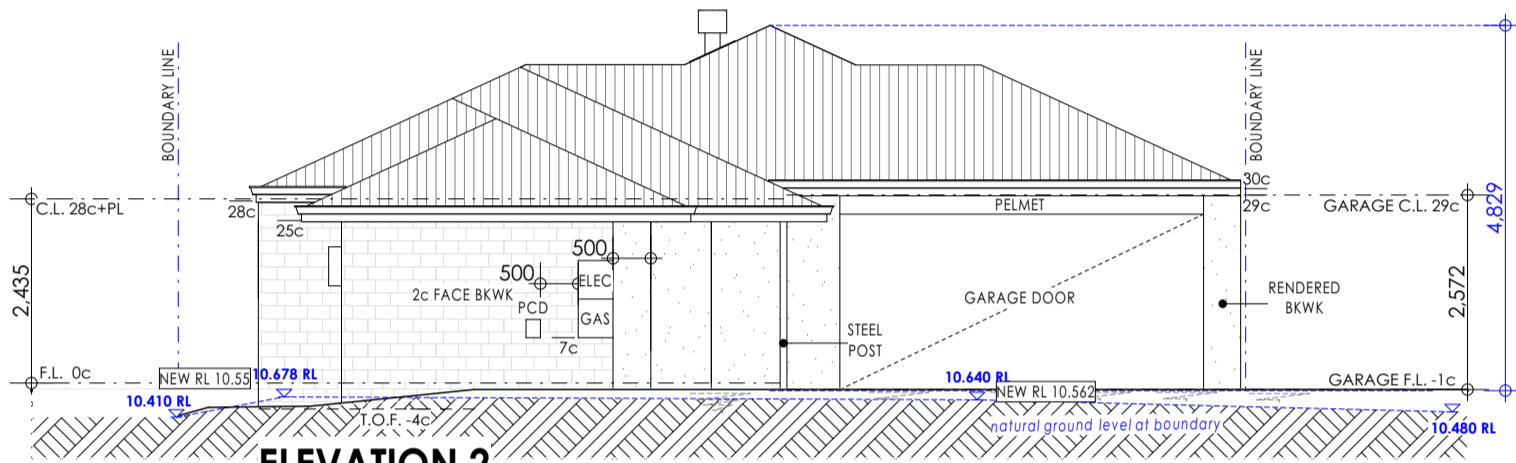
SCALE: 1:100

SHEET: **2 of 4**

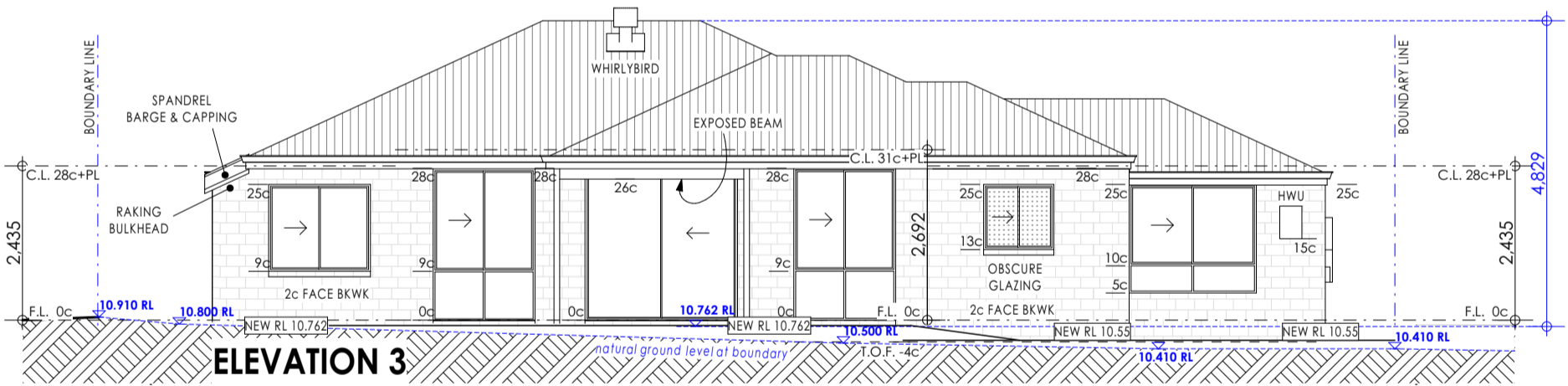
**25° PITCH  
METALDECK ROOF**  
-ROOF FRAME TO COMPLY WITH AS1684  
**R3**-CORROSION CLASSIFICATION  
**N1**-WIND CLASSIFICATION



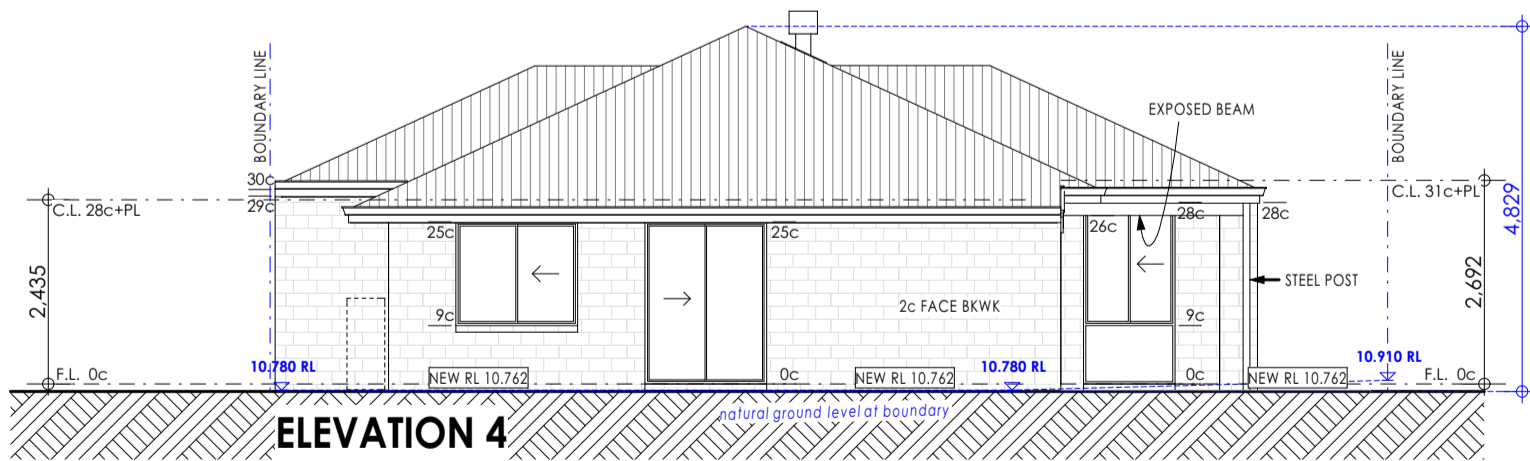
**ELEVATION 1**



**ELEVATION 2**




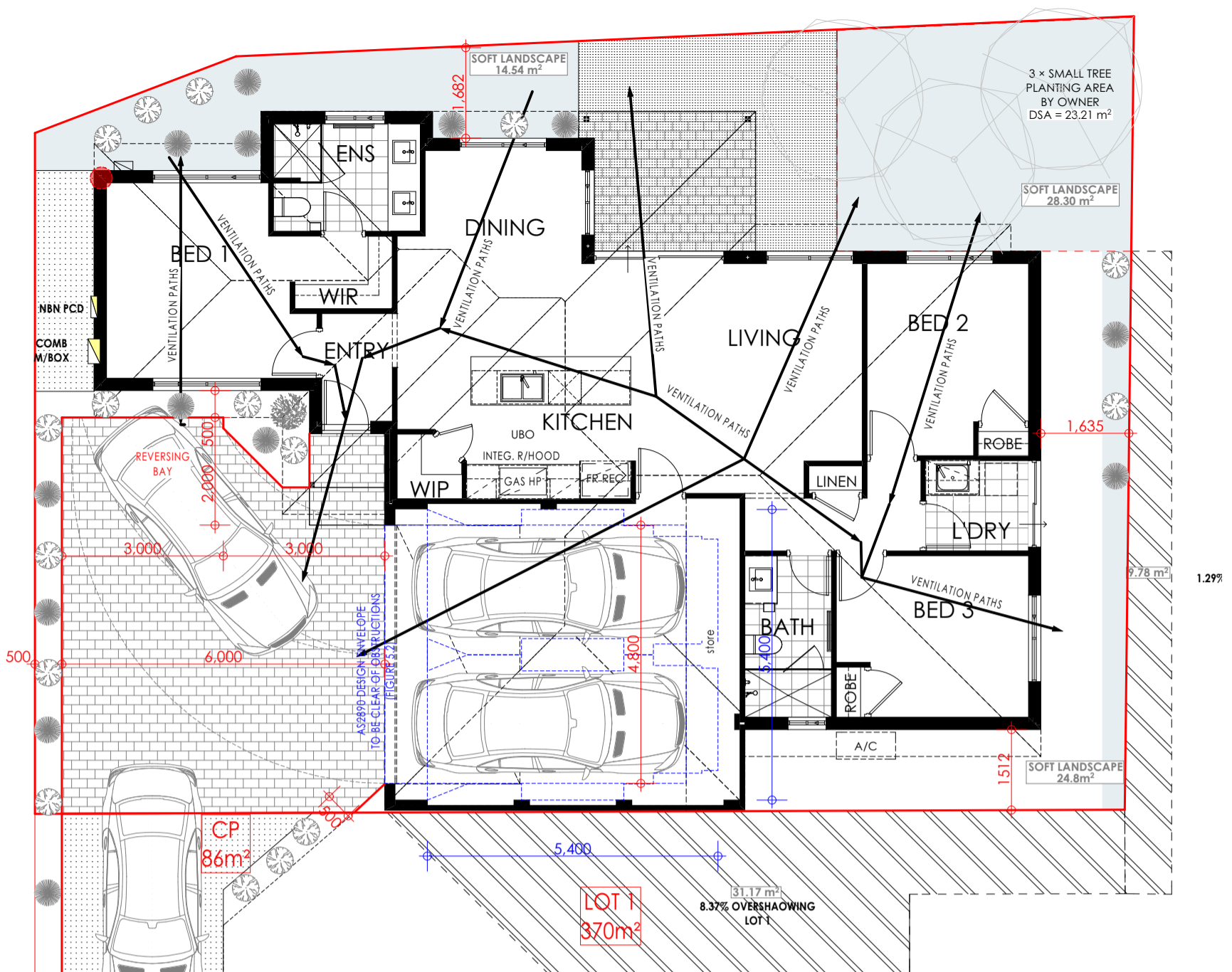
**ELEVATION 3**



**ELEVATION 4**

**ELEVATIONS**

 <p>73 CHALLENGE BOULEVARD WANGARA 6065 PH: 6200 2022 E: info@idealhomes.com.au</p>	<p>CLIENT <b>PEMBER</b> PROPOSED RESIDENCE <b>SL 2 (#57A) KING EDWARD DRIVE, HEATHRIDGE</b></p>	<p>SIGNATURES</p> <p>CLIENT 1: ..... DATE: .....</p> <p>CLIENT 2: ..... DATE: .....</p> <p>BUILDERS: ..... DATE: .....</p> <p>NO STRUCTURAL CHANGES (PRINTED DATE: 16/01/2024)</p>	<p>DRAWN / AMENDMENTS</p> <p>12/07/23 FINANCE KO 22/08/23 WORKING DWGS BB / AB 04/09/23 SITING BB 12/09/23 GAS MBOX BB 03-11-23 VO 75476 PAW 05/12/23 PSVO 75442 AB/BB 06/12/23 ENG CHK AB</p>	<p>PLANNING DRAWINGS</p> <p>© COPYRIGHT IDEAL HOMES</p> <p><b>BCA ENERGY EFFICIENCY REQUIREMENTS MAY ALTER THIS DESIGN</b></p> <p>Dimensions take preference over scaling &amp; to be checked on site prior to commencing construction</p>	<p>JOB NO: <b>123095</b></p> <p>QUOTE NO: <b>Q23117.3</b></p> <p>SCALE: 1:100</p> <p>SHEET: <b>4 of 4</b></p>
	<p>HOUSE TYPE: <b>INDIVIDUAL</b></p>				

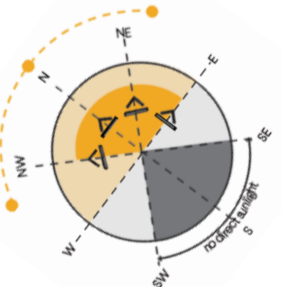


**LANDSCAPE LEGEND**

	Lagerstroemia Sioux	Crepe Myrtle	Tree	Pink	4-5m h
	Sapium sebiferum	Chinese Tallow	Tree	-	8-12m h
	Hakea Lissocarpha	Honey Bush	Shrub	White	1-1.5m h
	Bossiaea Eriocarpa	Brown Pea	Shrub	Red	0.6m h

	PAVING BY BUILDER
	PAVING BY OWNER
	LAWN BY OWNER

**NOTE:**  
LANDSCAPING BY OWNER AFTER HANDOVER.  
MULCHING TO ALL GARDEN BEDS TO RETAIN WATER.



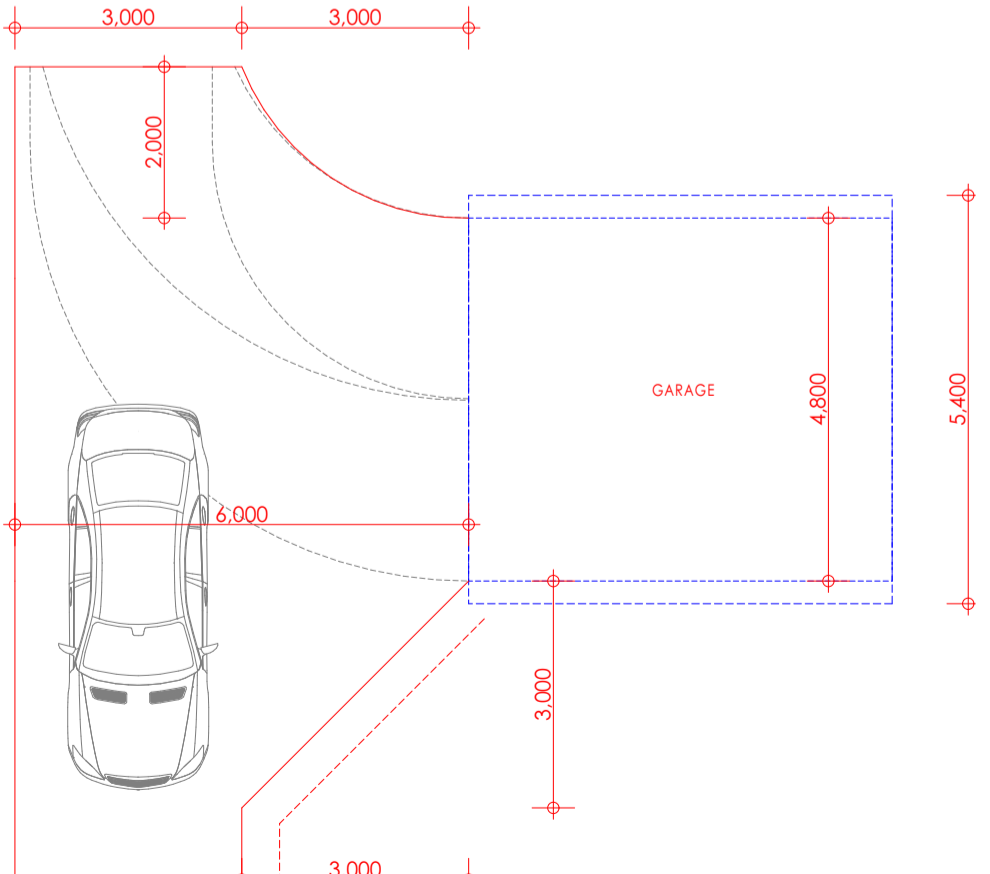
**11. TREE CANOPY AND DEEP SOIL AREAS - LANDSCAPE AREA**

**11.1**  
SITE AREA: 290m<sup>2</sup>+43m<sup>2</sup>=333m<sup>2</sup>  
20% OF SITE (MIN) = 66.60m<sup>2</sup>  
TOTAL LANDSCAPE AREA ACHIEVED = 71.75m<sup>2</sup> (21.54%)

**11.2 - N/A**  
**11.3 - N/A**  
**11.4 - N/A**

**11.5**  
1.5m MIN L'SCAPE SETBACKS NOTED

**11.6 - N/A**



**OVERLOOK / VENTILATION / LANDSCAPING AND TURNING CIRCLE 1:100**