

City of Joondalup

90 Boas ave, Joondalup WA 6027

Subject: Change of Use**Additional Information**

Dear Sir/Madam,

I am writing to you in regards to providing the additional information for the Change of use at Padbury_65 Pinnaroo drive.

Nature of the Business: The nature of the business is to provide home salon. This will result in changing the garage into the salon and require the cars to be park outside.

Method of Sales: The main method of sales will be done via the online payment system or via an eftpos machine located at the business. This is to ensure security of the business and that transactions can be done without the potential of “no payments”. Majority of sales will occur at the time of the treatment

Storage requirements: There will be shelving installed and vanities with cabinets provided which will house the required storage proponents

Equipment Used: The equipment used for this proposed business are hair dryer & hair clippers

Operating Hours:

Monday: 09:00 – 18:00

Tuesday: 09:00 – 18:00

Wednesday: 09:00 – 18:00

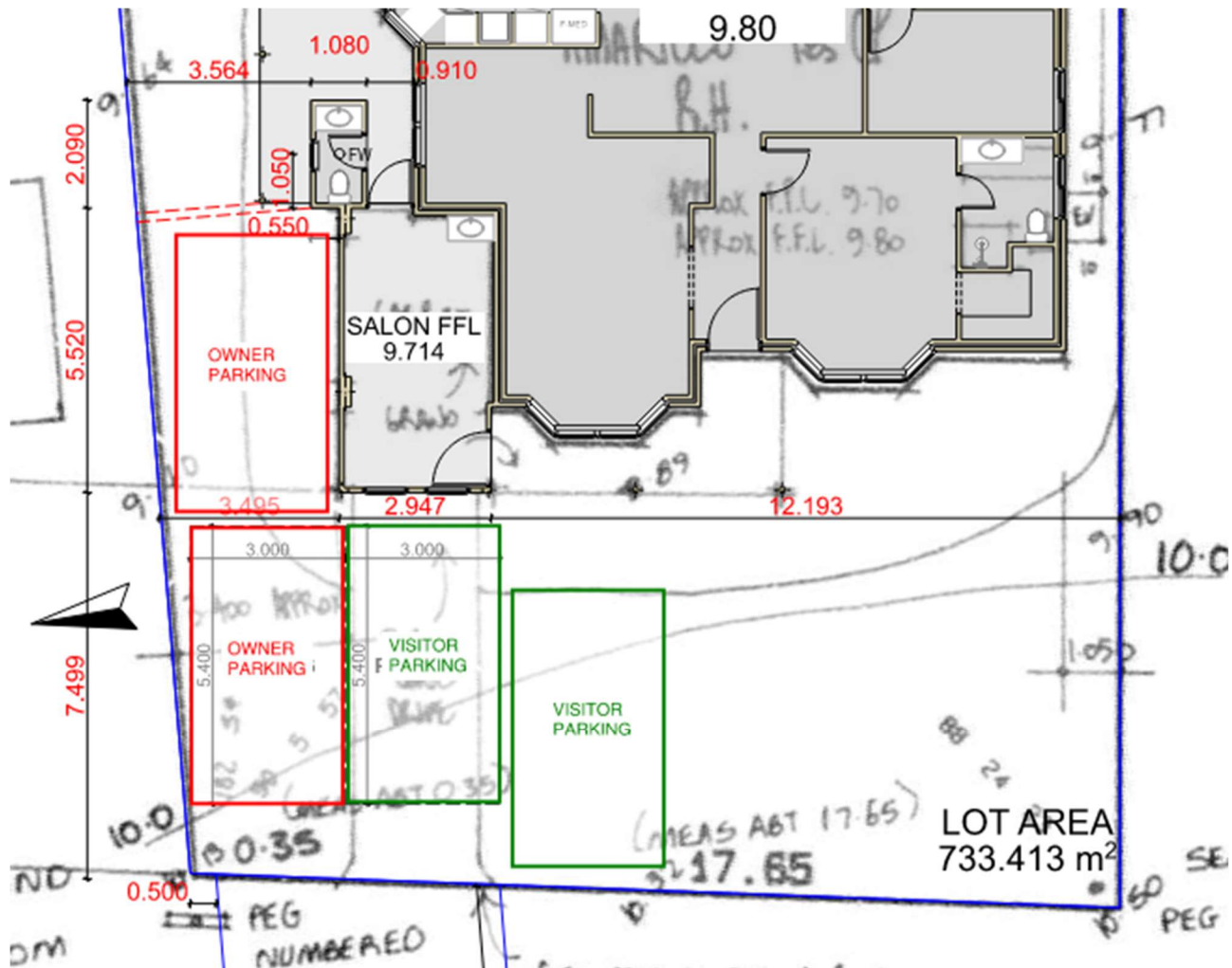
Thursday: 09:00 – 18:00

Friday: 09:00 – 18:00

Saturday: 09:00 – 16:00

Staffing requirements: The business will be operated by the sole business owner and will not have any staff members

Proposed number of customers to the site: On-site parking is available for customers, the intention is that there will be only one customer at a time as it is a home base salon booked via appointments and not a walk in style arrangement. There is opportunity for clients to overlap and therefore space is available for two visitor parking bays at a given time however it will be unlikely that they will be overlapped more than 10 minutes.



Noise Mitigation: The proposed business will be operating indoors within an enclosed structure and therefore will not impose additional noise onto the neighbouring properties.

Harmful substances: There will not be any harmful sustenance on site and will only require lubricating oils for the machines and disinfectant to ensure cleanliness.

Pollution Mitigation: There will not be any pollution or odours from the proposed business

Visitor limitations: The business will operate under a booking system which will not allow a walk in service and therefore restrict the amount of visitors at any given time

Impact to the street scape: The business will be operating indoors and therefore will not impact the character of the neighbourhood, in fact the minor modifications will improve the aesthetics. This will also maintain the municipal inventory of the heritage place which is residential and not alter the sole purpose of the structure

Please feel free to contact me if any further clarification is required in regards to the change of Use.

Thank you,

Michael Stojevski
(Director)

Date: 24/12/2023