

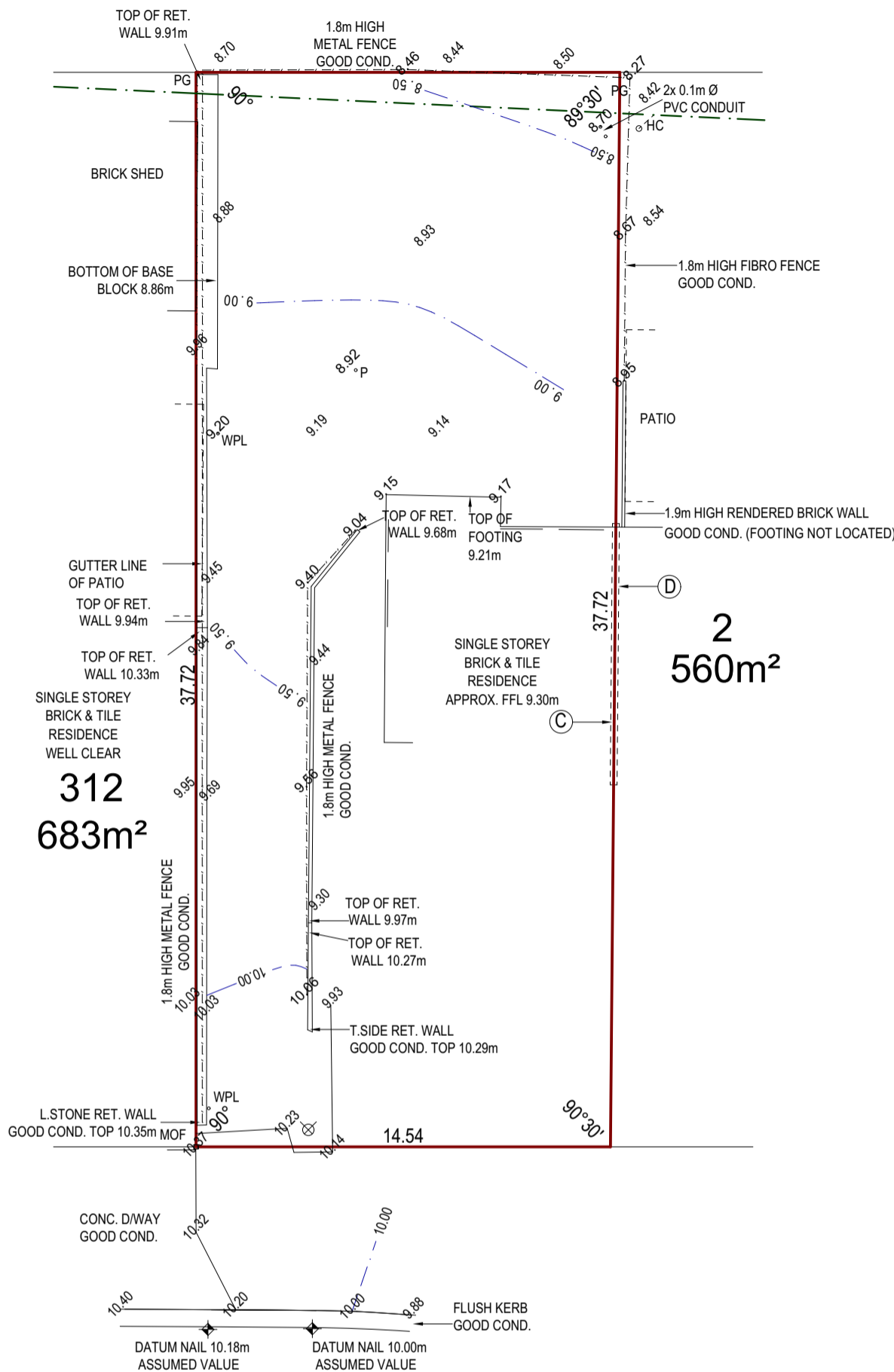
8930

PARKLAND
1695m²



SERVICE LEGEND

- POWER**
- CONSUMER POLE ○ CP
- POWER POLE ○ PP
- LIGHT POLE ○ LP
- STAY POLE ○ SP
- S. WIRE ANCHOR ○ SWA
- UNI PILLAR ⊗ P
- POWER CONDUITS ○ P
- GAS**
- PRE-LAID CONN. ○ GPL
- METER □ GM
- SEWERAGE**
- MANHOLE ○ SMH
- INSPECT. SHAFT ○ IS
- INSPECT. OPENING ○ IO
- HOUSE CONNECTION ○ HC
- HOUSE CONN. INDICATOR ○ HCI
- INSPECT. SHAFT CONNECTION ○ ISC
- TELE.**
- PIT □ TEL
- PRE-LAID CONN. ○ TPL
- DRAINAGE**
- MANHOLE ○ DMH
- GULLY PIT □ G
- LOT PIT ○ LDP
- HOUSE CONN. ○ DHC
- SIDE ENTRY PIT □ SEP
- COMBINATION ENTRY PIT □ CEP
- WATER**
- STOP VALVE ○ WSV
- HYDRANT ○ HY
- FLUSH POINT ○ FP
- WATER TAP ⊕ WTP
- WATER METER ⊕ M
- PRE-LAID CONN. ○ WPL
- SURVEY**
- DATUM NAIL ✦
- PEG FOUND ○ PF
- PEG DISTURBED ○ PD
- PEG GONE PG
- MARK ON FEATURE □ MOF



312
683m²

2
560m²

DELAWARE PL

BITUMEN

LOT RECORDS

LOT SERVICE	STATUS			
	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER	✓			
SEWERAGE	✓			
GAS		✓		✓
TELE.		✓		✓
DRAINAGE				✓
POWER	U/G	✓		
	O/H			✓

AREA: ESTAB 09/2021

COASTAL DISTANCE 1.5-10km

LOT: 1
AREA: 555 m²

APPROX. AHD +28.16m

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY

SEWER INVERT LEVEL	6.38
SEWER BROUGHT UP	0.00
DEPTH TO CONNECTION	2.32

GROUND COVER

SANDY / WEED

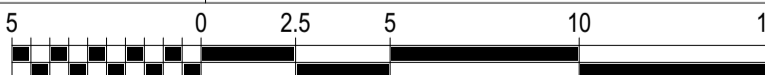
ⓈⓉ NOTE : EASEMENT - PARTY WALL

TITLE : FEATURE SURVEY	LOT : 1 No. 8/A DELAWARE PL	
CLIENT : MACPHERSON	SUBURB : KALLAROO	SSP : 1973
BUILDER : 101 RESIDENTIAL	AUTHORITY : CITY OF JOONDALUP	C/T : 1936/287



P: (08) 9354 8511
W: www.linkssurveying.com.au
E: info@linkssurveying.com.au

UBD REF : 185 Q 3	GPS : S 31.78731°	E 115.75611°
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NOTE: This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996	SHEET 1 of 1	BUILDER'S REF 2304016R	SURVEYED 16/05/23	SCALE @ A3 1:200	DWG No 47310-01-100	REV A
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THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....



BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

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REV:	DESCRIPTION:	INT:	DATE:
'1'	NEW CONTRACT & FINAL CHANGES: SMC (ITEMS 1-14)	LS	05.07.23
'2'			
'3'			
'4'			
'5'			
'6'			
'7'			
'8'			

CLIENT: MACPHERSON & SERRAT

SITE ADDRESS: LOT 1 (#8A) DELAWARE PLACE KALLAROO WA 6025

SALES: CSM DRAWN: LS CHECKED: KB

101 LIFE - THE PALM

SITE EXISTING

DATE: 28/07/2023 SHEET N°: 01 of 11
SCALE: 1:200
REVISION N°: 01 JOB N°: 2304016

LOT INFORMATION

ZONING: R40
 SITE AREA: 219.70m² + 58m² = (277.70m²)
 ALLOWED COVER: 55% (208m²)
 ACTUAL COVER: 50% (123.32m²)

PLANNING: YES
 PLANNING NOTES: NO

SITE CLASSIFICATION : A
 FOOTING DETAIL : A85
 WIND CATEGORY : N1
 COASTAL CONDITIONS : (MODERATE) R3

STORMWATER NOTE:
 STORMWATER DISPOSAL VIA SOAKWELLS TO COUNCIL REQUIREMENTS.

STANDARD NCC NOTE:
 - DWELLING TO BE CONSTRUCTED IN ACCORDANCE WITH NCC & A.S.
 - SMOKE ALARMS INTERCONNECTED & HARDWIRED AS PER AS3786-2014
 - STORMWATER AND SURFACE WATER DRAINAGE TO COMPLY WITH NCC AND LOCAL AUTHORITY REQUIREMENTS.

LANDSCAPING NOTE:
 MIN 50% OF STREET SETBACK AREA TO BE PERVIOUS AREAS (SOFTSCAPED) BY OWNER AFTER HANDOVER

CONCRETE NOTE:
 SET SHOWER RECESSES DOWN 50mm & FIT REFLUX VALVE
 MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS

SITE ANALYSIS

ZONING: R40
 MINIMUM LOT SIZE REQUIRED = 180m²
 AVERAGE LOT SIZE REQUIRED = 220m²
 MAXIMUM BUILDING SITE COVERAGE = 55%

SITE AREA ALLOCATION:
 UNIT 1 (U1) EXCLUSIVE AREA = 250.36m²
 UNIT 2 (U2) EXCLUSIVE AREA = 219.70m²
 COMMON (C) AREA = 86.57m²

COMMON AREA (CA) ALLOCATION
 U1 + U2 = 250.36 + 219.70 = 470.06
 U1 = (250.36 ÷ 470.06) x 86.57 = 46.11m²
 U2 = (219.70 ÷ 470.06) x 86.57 = 40.46m²

HOUSE AREA (HA)
 UNIT 2 (HA2) = 123.32

SITE COVERAGE NO COMMON AREA:
 UNIT 2 = HA2 ÷ U2 x 100
 123.32 ÷ 219.70 x 100 = 56.13

SITE COVERAGE w/ COMMON AREA
 UNIT 2 = HA2 ÷ (U2 + CA) x 100
 123.32 ÷ (219.70 + 86.57) x 100 = 40.27%

LANDSCAPING CALCULATIONS:

SITE AREA: 219.70m² + 40.46m² COMMON
 PROPERTY ALLOCATION = 260.16m²

LANDSCAPING REQ'D: 20% x 260.16m² = 52.03m²
SOFT LANDSCAPING PROVIDED: 42m² = 16.0%
PERMEABLE PAVING 52m² = 4.0% TO CONTRIBUTE TOWARDS TOTAL 20% LANDSCAPE AREA.

TERMITE TREATMENT NOTE:

TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.4 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:
 *CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600
 *MASONRY IN ACCORDANCE WITH AS3700
 *PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

GROUND COVER

SANDY / WEED

Proposed Mass Brick Retaining. Mass Brick Retaining (required)

©(D) NOTE : EASEMENT - PARTY WALL

TITLE : FEATURE SURVEY	LOT : SSL 4 No. 8C DELAWARE PL
CLIENT : MACPHERSON & SERRAT	SUBURB : KALLAROO
BUILDER :	SSP : 1973
	AUTHORITY : CITY OF JOONDALUP
	C/T : 1936/287
	UBD REF : 185 Q 3
	GPS : S 31.78731°
	E 115.75611°
SHEET 1 of 1	BUILDER'S REF 2310015M
SURVEYED 16/05/23	SCALE @ A3 1:200
DWG No 47310-01-100	REV A

ALL DIMENSIONS SHALL BE TAKEN BETWEEN BRICKWORK OR STRUCTURAL FRAMING AND DO NOT INCLUDE PLASTER OR GYPROCK MARGIN. ALL DIMENSIONS TO TAKE PREFERENCE OVER SCALING

redink
 BUILDERS REGISTRATION N° 12049
 16 FROBISHER STREET
 OSBORNE PARK WA 6017
 Phone (08) 9208 1111 Fax (08) 9208 1122
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THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT:

OWNERDATE.....
 OWNERDATE.....
 BUILDERDATE.....

VARIATIONS:

REV.	DESCRIPTION:	INT.	CHK.	DATE:
1'	CONTRACT, SVO1	HC	--	03.11.23
2'	SVO2, (11 ITEMS)	TK	--	16.11.23
3'	SVO, REV3,4,5	-	TK	12.12.23

CLIENT: **MACPHERSON & SERRAT**

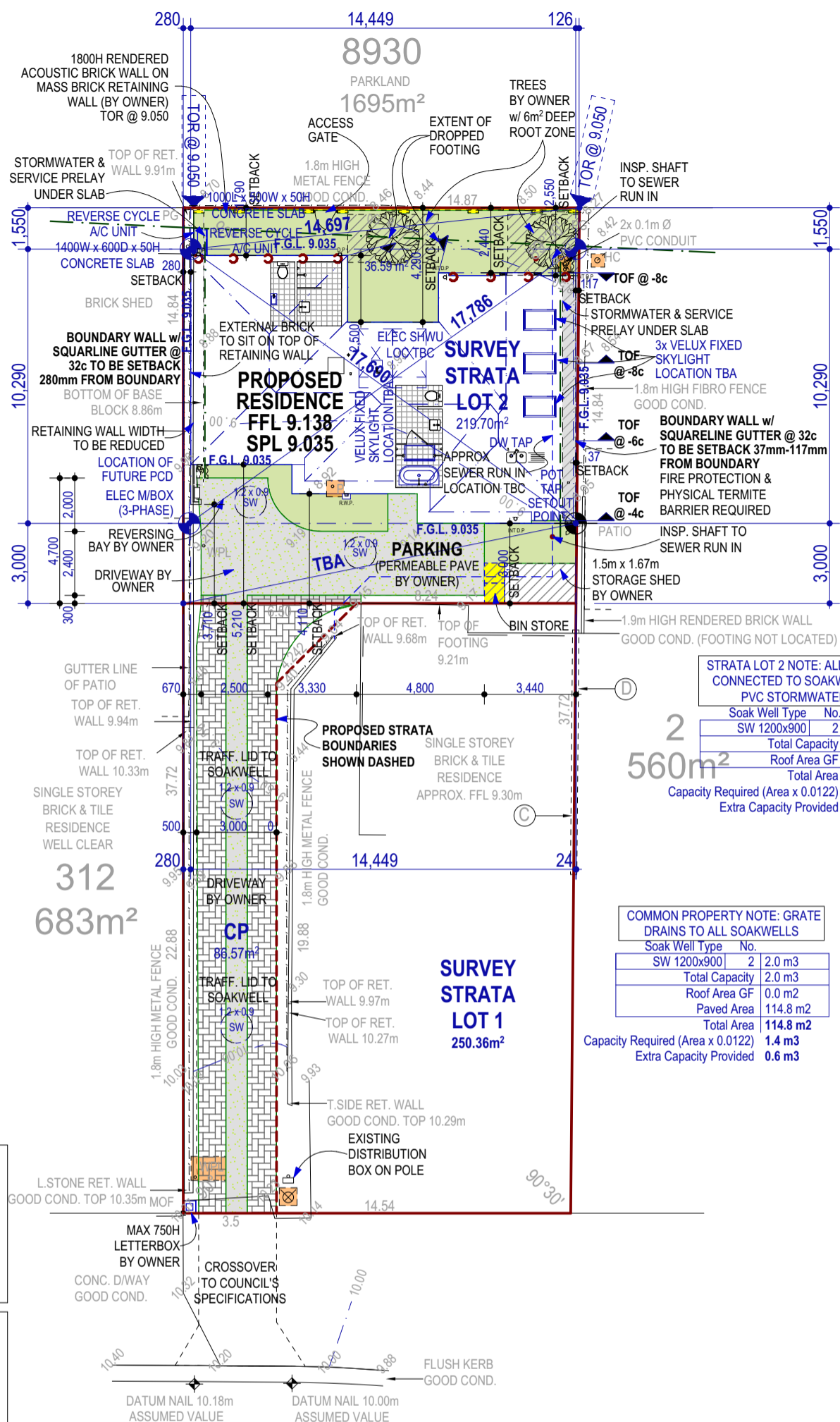
SITE ADDRESS:
SSL 4 (#8C) DELAWARE PLACE
KALLAROO WA 6025

SALES: CSM DRAWN: HC

CHOICE - CUSTOM

SITE PLAN

DATE: 13/12/2023 SHEET N°: 02 of 12
 SCALE: 1:100, 1:200
 REVISION N°: 03 JOB N°: 2310015M



SERVICE LEGEND

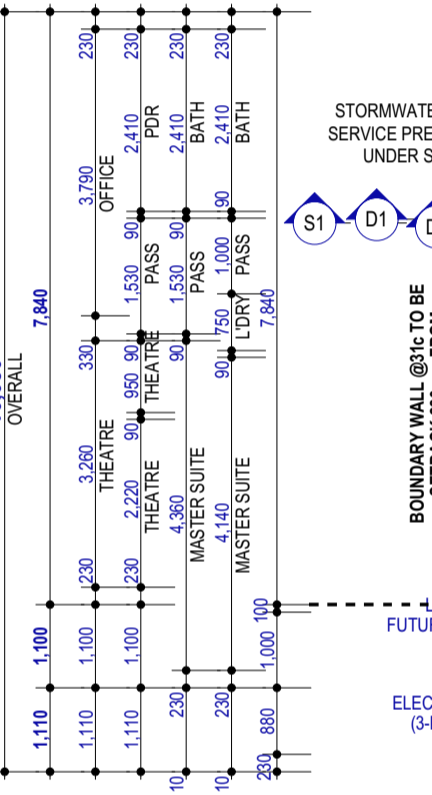
POWER	
CONSUMER POLE	○ CP
POWER POLE	○ PP
LIGHT POLE	○ LP
STAY POLE	○ SP
S. WIRE ANCHOR	○ SWA
UNI PILLAR	⊗
POWER CONDUITS	○ P
GAS	
PRE-LAID CONN.	○ GPL
METER	□ GM
SEWERAGE	
MANHOLE	○ SMH
INSPECT. SHAFT	○ IS
INSPECT. OPENING	○ IO
HOUSE CONNECTION	○ HC
HOUSE CONN. INDICATOR	○ HCI
INSPECT. SHAFT CONNECTION	○ ISC
TELE.	
PIT	□ TEL
PRE-LAID CONN.	○ TPL
DRAINAGE	
MANHOLE	○ DMH
GULLY PIT	□
LOT PIT	○ LDP
HOUSE CONN.	○ DHC
SIDE ENTRY PIT	□
COMBINATION ENTRY PIT	□
WATER	
STOP VALVE	○ WSV
HYDRANT	○ HY
FLUSH POINT	○ FP
WATER TAP	⊕ WTP
WATER METER	⊕ M
PRE-LAID CONN.	○ WPL
SURVEY	
DATUM NAIL	◆
PEG FOUND	○ PF
PEG DISTURBED	○ PD
PEG GONE	○ PG
MARK ON FEATURE	□ MOF

LOT RECORDS

STATUS	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
LOT SERVICE				
WATER	✓			
SEWERAGE	✓			
GAS		✓		✓
TELE.		✓		✓
DRAINAGE				✓
POWER	U/G	✓		
	O/H			✓
AREA:	ESTAB 09/2021			
COASTAL DISTANCE	1.5-10km			
LOT:	1			
AREA:	555 m ²			
APPROX. AHD	+ 28.16m			
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.				
SEWER CONNECTION POSITION APPROXIMATE ONLY				
SEWER INVERT LEVEL	6.38			
SEWER BROUGHT UP	0.00			
DEPTH TO CONNECTION	2.32			

NOTES:
 EXTERNAL WALLS CONSISTS OF 230mm WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.
 ALL INTERNAL WALLS ARE PLASTERED UNLESS NOTED OTHERWISE.
 DOWNPIPES & FLOOR WASTES POSITIONED AT PLUMBERS DISCRETION. FINAL POSITION MAY VARY TO PLAN.
 CEILING INSULATION TO HOUSE & GARAGE TO BCA REQUIREMENTS AS PER ADDENDA.
 2340h (28c) INTERNAL DOORS THRU'OUT
 31c CEILINGS UNLESS OTHERWISE NOTED.

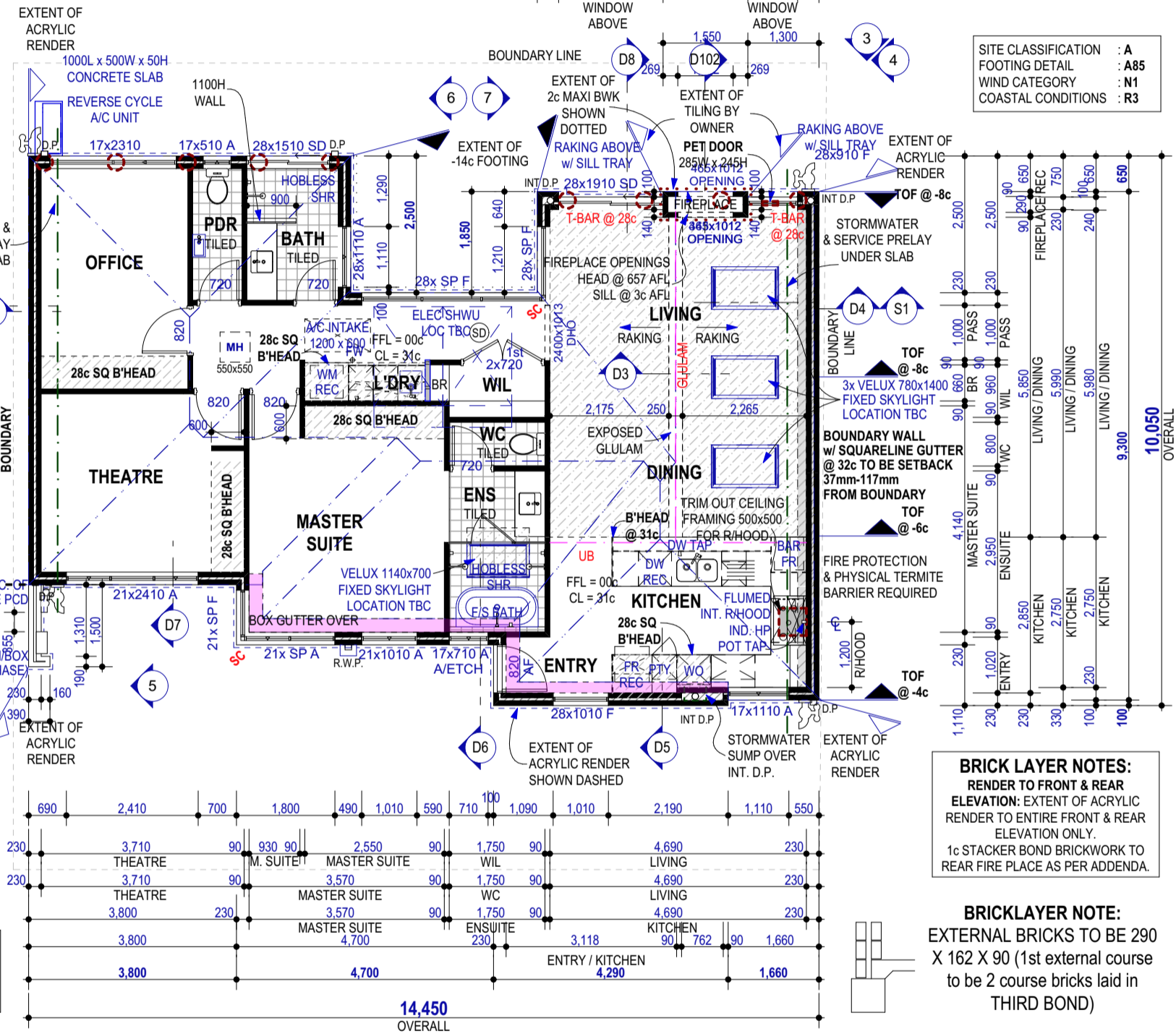
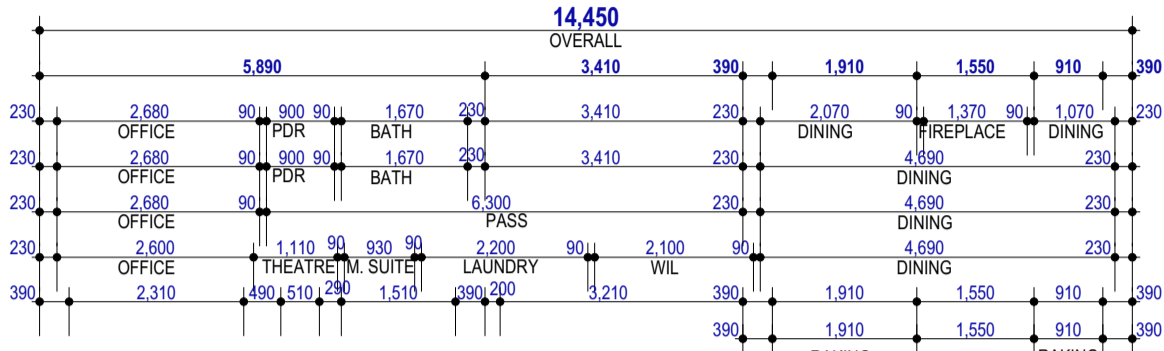
DOUBLE GLAZING NOTE:
 DOUBLE GLAZING TO ALL WINDOWS AND SLIDING DOORS EXCLUDING ANY TIMBER JOINERY.



PLUMBER NOTE:
 PLUMBER TO INSTALL FLOOR WASTES WHERE REQUIRED IN ACCORDANCE WITH THE HEALTH ACT & NCC.

FLASHING NOTE:
 ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCORE FLASHING AS PER A.S.

ENGINEERS NOTE:
 ALL ENGINEERS NOTATIONS, BEAM LAYOUTS & STRUCTURAL COLUMNS AS PER ENGINEERS DRAWINGS.



FIXING CARPENTER NOTE:
 WIL:
 4x 450d SHELVES
 NOTE: UPRIGHT SUPPORT PANELS REQUIRED FOR SHELVING EXCEEDING 1800mm. EXACT LOCATIONS DETERMINED ON SITE AT FIXING CARPENTERS DISCRETION

SITE CLASSIFICATION : A
 FOOTING DETAIL : A85
 WIND CATEGORY : N1
 COASTAL CONDITIONS : R3

BRICK LAYER NOTES:
 RENDER TO FRONT & REAR
 ELEVATION: EXTENT OF ACRYLIC RENDER TO ENTIRE FRONT & REAR ELEVATION ONLY.
 1c STACKER BOND BRICKWORK TO REAR FIRE PLACE AS PER ADDENDA.

BRICKLAYER NOTE:
 EXTERNAL BRICKS TO BE 290 X 162 X 90 (1st external course to be 2 course bricks laid in THIRD BOND)

AREAS		
Name	Area	Perimeter
HOUSE	119.287	53.100
	119.287 m ²	

ALL DIMENSIONS SHALL BE TAKEN BETWEEN BRICKWORK OR STRUCTURAL FRAMING AND DO NOT INCLUDE PLASTER OR GYPROCK MARGIN. ALL DIMENSIONS TO TAKE PREFERENCE OVER SCALING

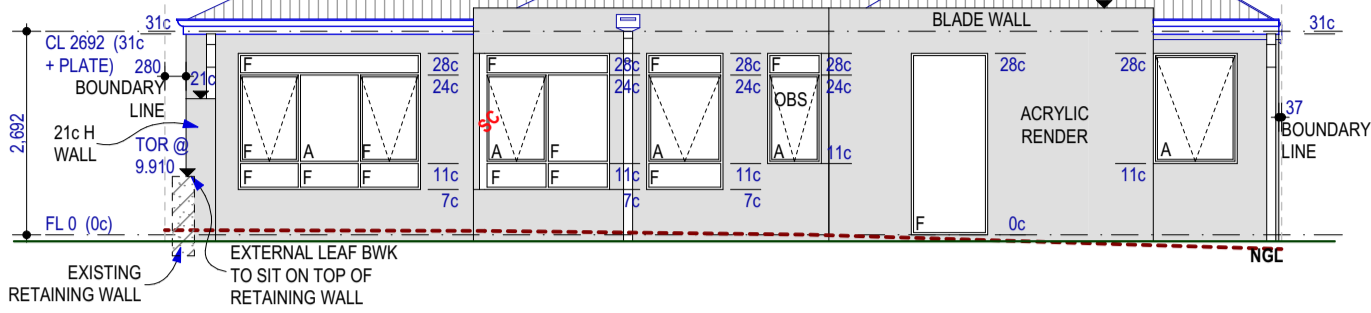
<p>redink BUILDERS REGISTRATION N° 12049 16 FROBISHER STREET OSBORNE PARK WA 6017 Phone (08) 9208 1111 Fax (08) 9208 1122 © Copyright 2006</p>	<p>THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT:</p> <p>OWNERDATE.....</p> <p>OWNERDATE.....</p> <p>BUILDERDATE.....</p>	<p>VARIATIONS:</p> <table border="1"> <tr> <th>REV:</th> <th>DESCRIPTION:</th> <th>INT:</th> <th>CHK:</th> <th>DATE:</th> </tr> <tr> <td>1'</td> <td>CONTRACT, SVO1</td> <td>HC</td> <td>--</td> <td>03.11.23</td> </tr> <tr> <td>2'</td> <td>SVO2, (11 ITEMS)</td> <td>TK</td> <td></td> <td>16.11.23</td> </tr> <tr> <td>3'</td> <td>SVO, REV3,4,5</td> <td></td> <td>TK</td> <td>12.12.23</td> </tr> </table>	REV:	DESCRIPTION:	INT:	CHK:	DATE:	1'	CONTRACT, SVO1	HC	--	03.11.23	2'	SVO2, (11 ITEMS)	TK		16.11.23	3'	SVO, REV3,4,5		TK	12.12.23	<p>CLIENT: MACPHERSON & SERRAT</p> <p>SITE ADDRESS: SSL 4 (#8C) DELAWARE PLACE KALLAROO WA 6025</p> <p>SALES: CSM DRAWN: HC</p>	<p>CHOICE - CUSTOM</p> <p>FLOOR PLAN</p> <p>DATE: 13/12/2023 SHEET N°: SCALE: 1:100 04 of 12</p> <p>REVISION N°: 03 JOB N°: 2310015M</p>
	REV:	DESCRIPTION:	INT:	CHK:	DATE:																			
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RENDER TO FRONT & REAR ELEVATION: EXTENT OF ACRYLIC RENDER TO ENTIRE FRONT & REAR ELEVATION ONLY. 1c STACKER BOND BRICKWORK TO REAR FIRE PLACE AS PER ADDENDA.

25° & 30° PITCH COLORBOND ROOF

METAL GUTTERS, FASCIA AND DOWNPIPES

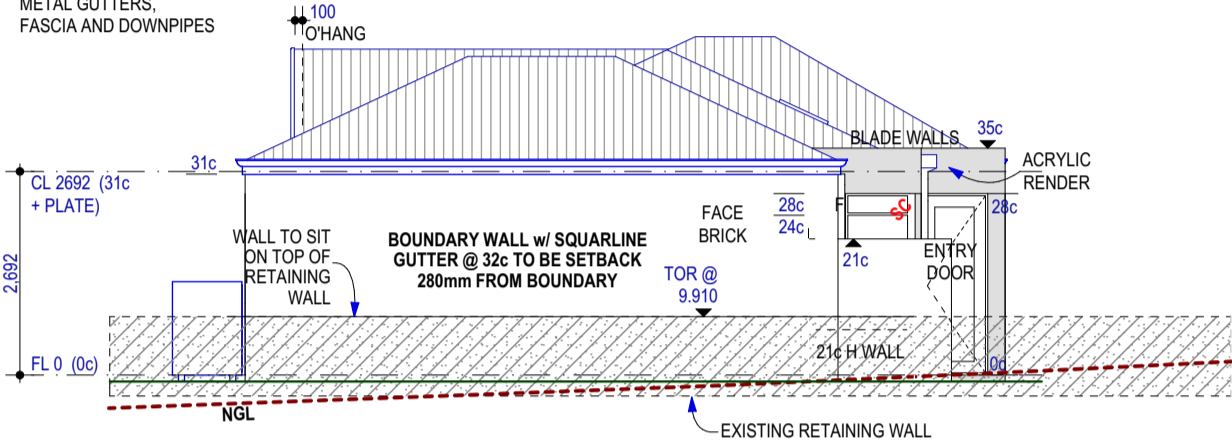
VELUX 1140x700 FIXED SKYLIGHT LOCATION TBC



1 ELEVATION
1:100

25° & 30° PITCH COLORBOND ROOF

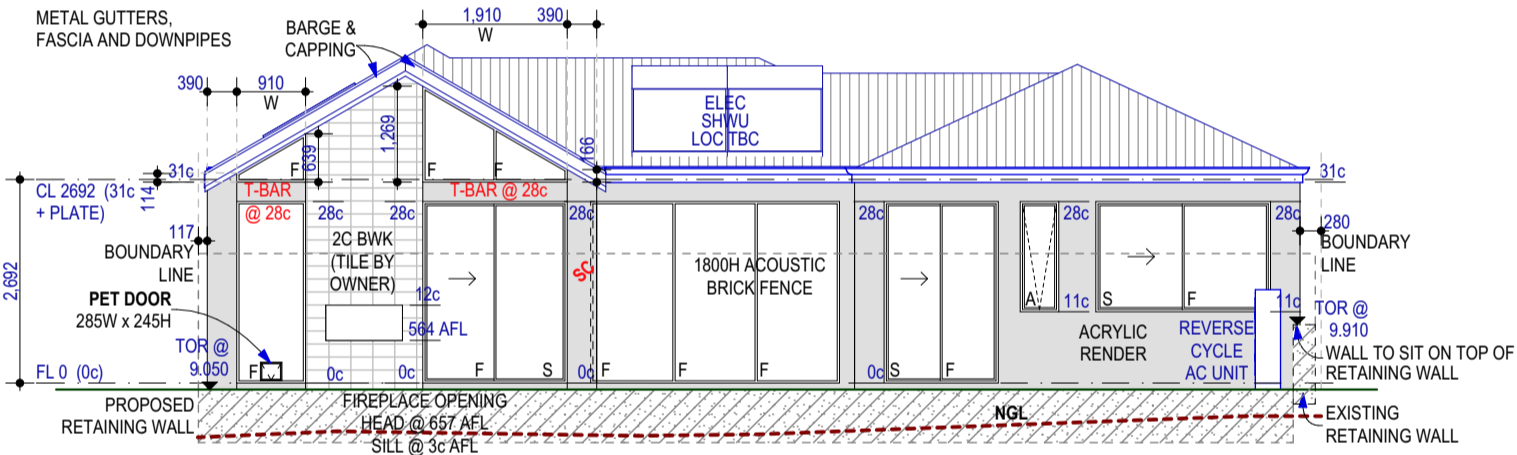
METAL GUTTERS, FASCIA AND DOWNPIPES



2 ELEVATION
1:100

25° & 30° PITCH COLORBOND ROOF

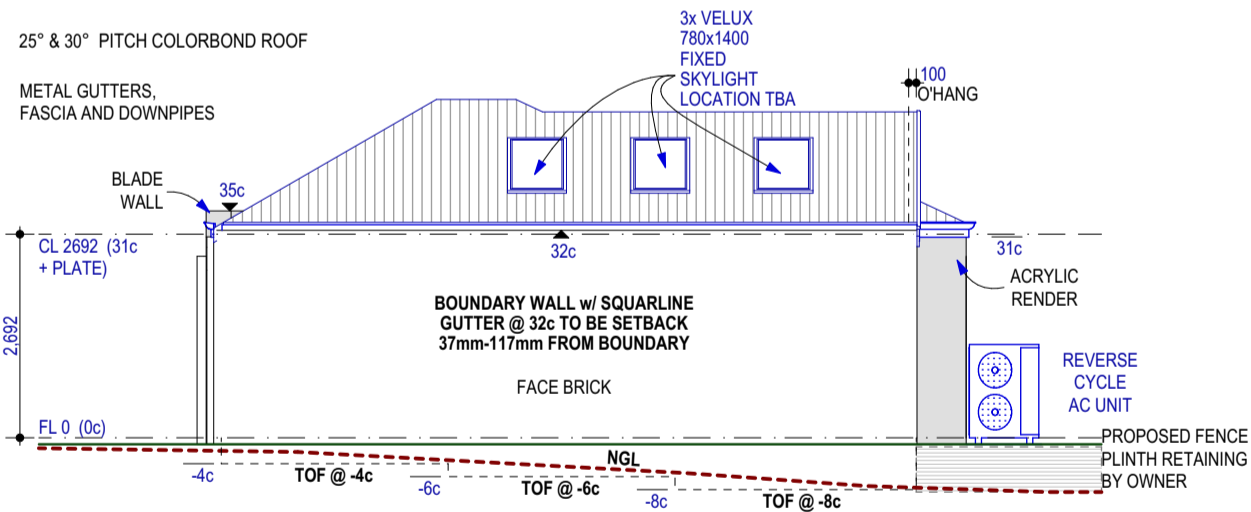
METAL GUTTERS, FASCIA AND DOWNPIPES



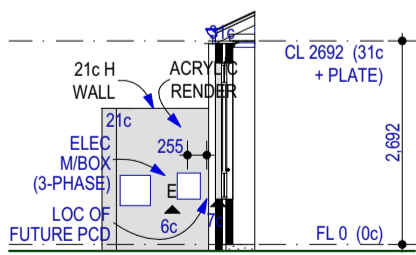
3 ELEVATION
1:100

25° & 30° PITCH COLORBOND ROOF

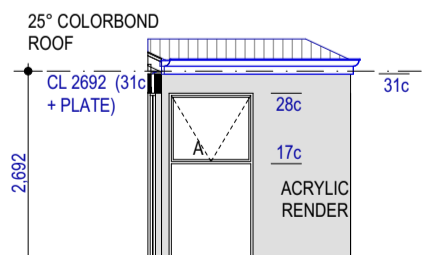
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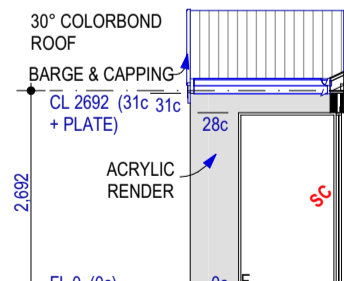
4 ELEVATION
1:100



5 ELEVATION
1:100



6 ELEVATION
1:100



7 ELEVATION
1:100

ALL DIMENSIONS SHALL BE TAKEN BETWEEN BRICKWORK OR STRUCTURAL FRAMING AND DO NOT INCLUDE PLASTER OR GYPSUM MARGIN. ALL DIMENSIONS TO TAKE PREFERENCE OVER SCALING



redink
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16 FROBISHER STREET
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3'	SVO, REV3,4,5	-	TK	12.12.23
4'				
5'				
6'				
7'				
8'				
9'				

CLIENT: **MACPHERSON & SERRAT**

SITE ADDRESS:
**SSL 4 (#8C) DELAWARE PLACE
KALLAROO WA 6025**

SALES: CSM DRAWN: HC

CHOICE - CUSTOM ELEVATIONS

DATE: 13/12/2023 SHEET N°: 05 of 12
SCALE: 1:100
REVISION N°: 03 JOB N°: 2310015M



ALL DIMENSIONS SHALL BE TAKEN BETWEEN BRICKWORK OR STRUCTURAL FRAMING AND DO NOT INCLUDE PLASTER OR GYPSUM MARGIN. ALL DIMENSIONS TO TAKE PREFERENCE OVER SCALING



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CLIENT:
MACPHERSON & SERRAT

SITE ADDRESS:
**SSL 4 (#8C) DELAWARE PLACE
 KALLAROO WA 6025**

SALES: CSM DRAWN: HC

**CHOICE - CUSTOM
 PERSPECTIVES**

DATE: 13/12/2023 SHEET N°:
 SCALE: 1:100 12 of 12

REVISION N°: 03 JOB N°: 2310015M