

CONTOUR & FEATURE SURVEY OF LOT 17 #108 CAMBERWARRA DRIVE, CRAIGIE

HEIGHT DATUM A.H.D.

PLAN : 13194
C/T : 1561-527
AUTHORITY : CITY OF JOONDALUP
TOTAL LOT AREA : 710 m²
SCALE : 1 : 200 @ A3
SURVEY DATE : 08-12-2022
JOB : 18745



DRAFTED BY : BH
DATE : 08-12-2022
CHECKED BY : DKM

SURVEYING SOLUTIONS WA
LICENSED LAND SURVEYORS
9300 8137
www.surveyingsolutionswa.com.au

CHECK TITLE FOR EASEMENTS, RESTRICTIVE COVENANTS ETC.
THIS SURVEY DOES NOT GUARANTEE THE CORRECT POSITION OF BOUNDARY PEGS FOUND OR FENCE POSITIONS SHOWN, UNLESS A BOUNDARY RE-ESTABLISHMENT SURVEY HAS BEEN UNDERTAKEN BY SURVEYING SOLUTIONS WA. ALL FEATURES AND BUILDING POSITIONS ARE APPROXIMATE ONLY, AS THEY HAVE BEEN POSITIONED FROM MEASUREMENTS TAKEN FROM EXISTING PEGS, FENCES & WALLS.
A BOUNDARY RE-ESTABLISHMENT SURVEY IS RECOMMENDED PRIOR TO UNDERTAKING ANY SITE WORKS OR CONSTRUCTION.
INFORMATION SHOWN ON THIS SURVEY IS CURRENT AT THE DATE SHOWN. SURVEYING SOLUTIONS WA ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES THAT HAVE OCCURRED AFTER THIS DATE, TO SITE LEVELS AND FEATURES OR BUILDINGS. CADASTRAL BOUNDARY DIMENSIONS SHOWN HAVE BEEN OBTAINED FROM SURVEY PLANS AND ARE SUBJECT TO FIELD SURVEY UNLESS SHOWN OTHERWISE.

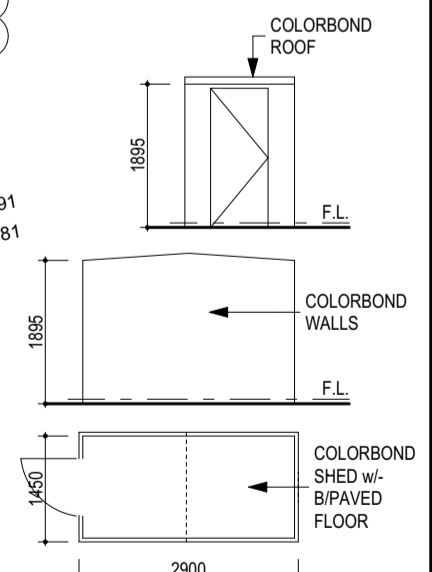
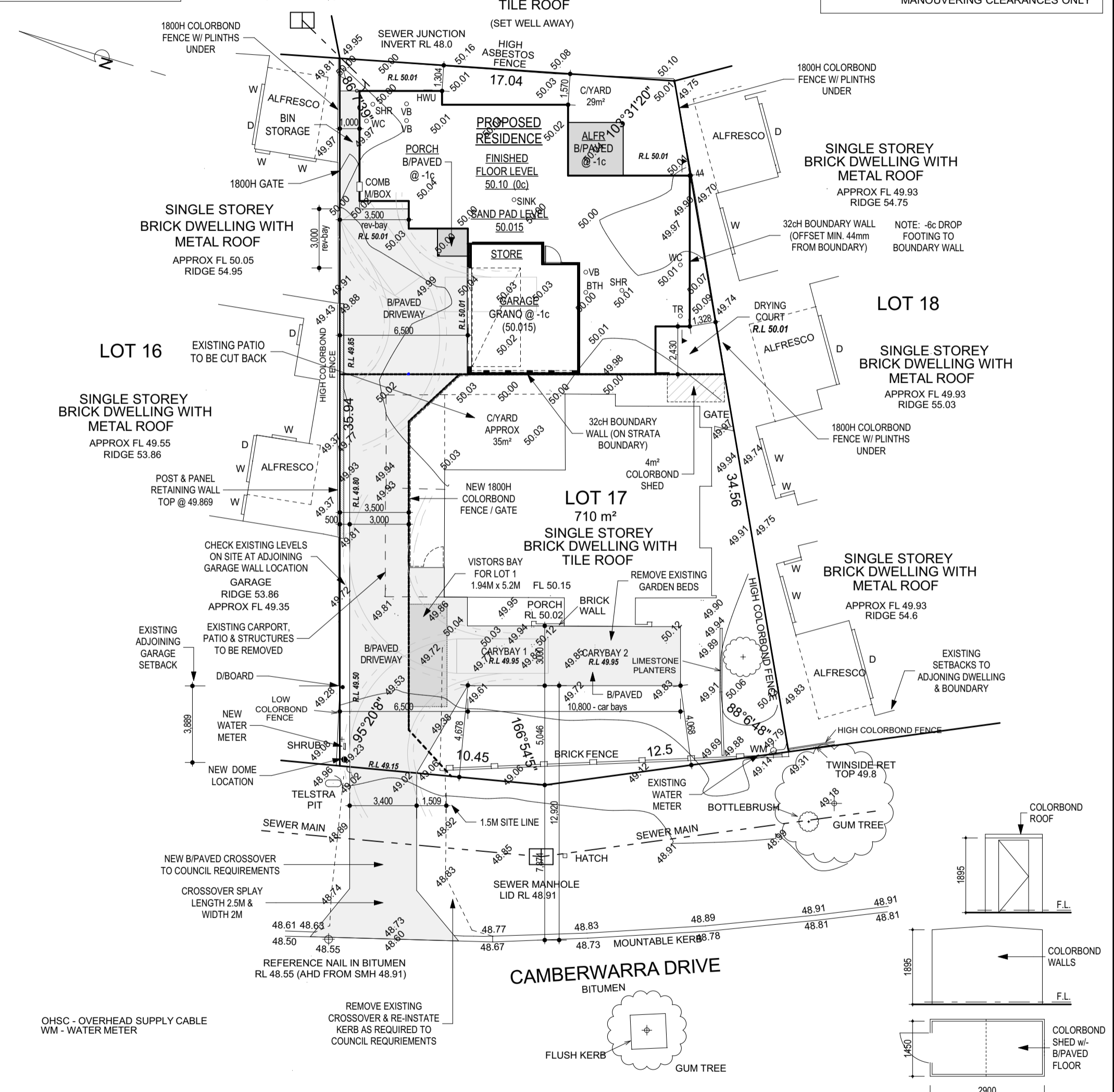
DIAL 1100 BEFORE YOU DIG

NOTE : NO BOUNDARY CORNER MARKS FOUND, UNLESS OTHERWISE STATED.

VEHICLE SWEEP PATH
AUSTRALIAN STANDARD AS 2890.1
SCALE 1:200

POWER - OVERHEAD
WATER - YES
SEWERAGE - YES
GAS - YES
TELSTRA - YES
HYDRANTS - REFER TO WATER CORP E-PLAN
DRAINAGE - GOOD
ROAD - BITUMEN
KERB - MOUNTABLE
FOOTPATH - NONE
VIEWS - NONE
OVERHANGING TREES - NONE
SIGNIFICANT ENCROACHMENTS - NONE
BUSH FIRE PRONE AREA - YES

— DENOTES THE B85 BASE DIMENSION SWEEP PATH
- - - - DENOTES THE B85 DESIGN TEMPLATE WHICH INCLUDES 300mm MANOEUVERING CLEARANCES ONLY



NOTE: DWELLING EXPOSED TO BUSH FIRE ATTACK LEVEL OF BAL-12.5 CONSTRUCTION TO COMPLY WITH A.S.3959-2018. REFER TO ADDENDA FOR CONSTRUCTION REQUIREMENTS.

NOTE: BUILDER TO PROVIDE REFLUX VALVE TO HOME DUE TO NO HOB'S TO SHOWER RECESS/ES.

NOTE: BUILDER TO PROVIDE STORMWATER DISPOSAL TO LOCAL AUTHORITIES REQUIREMENTS

NOTE: TERMITE TREATMENT WILL BE IN ACCORDANCE WITH THE NCC BCA PART 3.1.3, PART 2.1.1 & PART 1.0.7

TYPICAL SHED DETAIL
SCALE 1:200

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A3

PROPOSED DEVELOPMENT FOR:
ZALU PTY LTD
LOT 17 (#108)
CAMBERWARRA DRIVE,
CRAIGIE

DETAILS	DATE
PLANNING	08/12/2023
PLANNING_REV A	02/02/2024

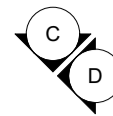
SITE PLAN	
SCALE 1:200	
JOB No J1489	SHEET 06 OF 06
DRAWN BY AD	LOCAL AUTHORITY CITY OF JOONDALUP

**ZONED R20/40
OPEN SPACE REQUIRED 45%**

LOT 2 AREA: 282m² + (CP) 37.5m² = 319.5m²
 - TOTAL FOOTPRINT 161.83m² = 157.67m²
 +TOTAL LOT AREA %
 = 49.34% OPEN SPACE

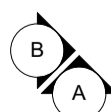
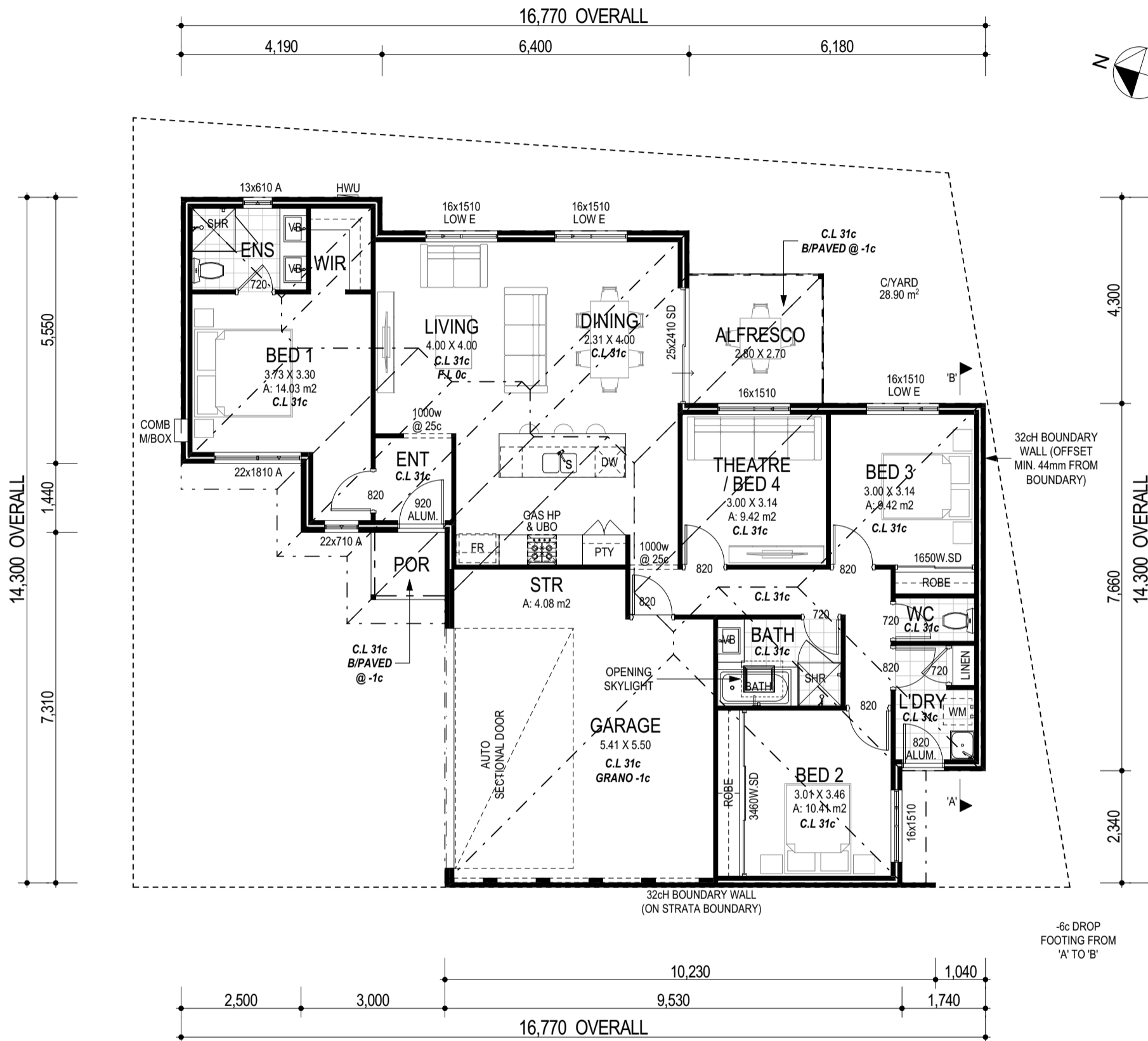
NOTE: DWELLING EXPOSED TO
BUSH FIRE ATTACK LEVEL OF BAL-12.5
 CONSTRUCTION TO COMPLY WITH
 A.S.3959-2018. REFER TO ADDENDA
 FOR CONSTRUCTION REQUIREMENTS.

NOTE: OUTDOOR RETRACTABLE BLINDS
 TO LIVING / DINING & BED 3 WINDOWS



AREA

GROUND FL	126.61
GARAGE	35.22
ALFRESCO	7.56
PORCH	2.16
TOTAL	171.55 m ²
PERIMETER	62.32 m



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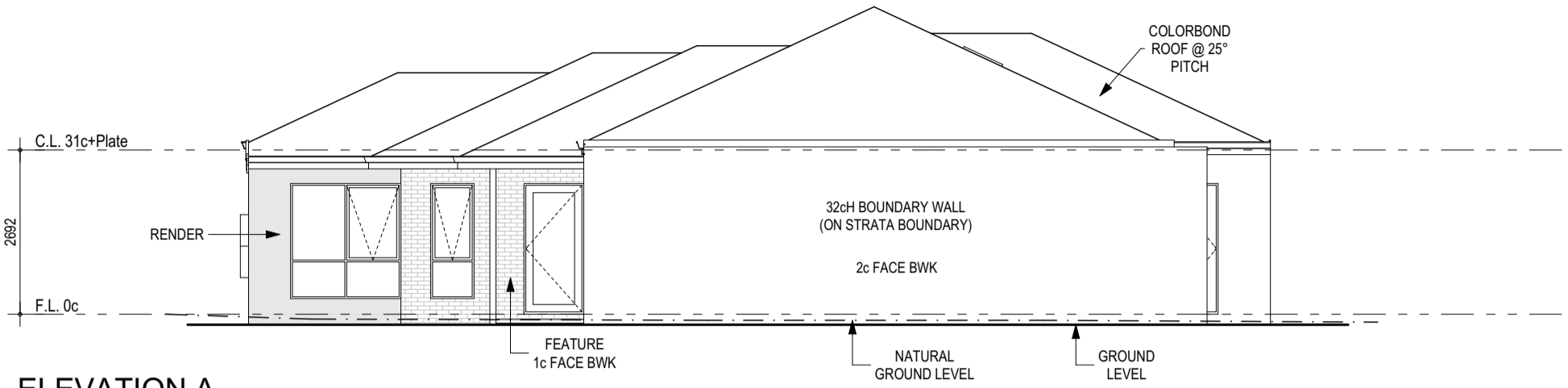
FLOOR PLAN
 SCALE 1:100

JOB No **J1489** SHEET **01 OF 06**

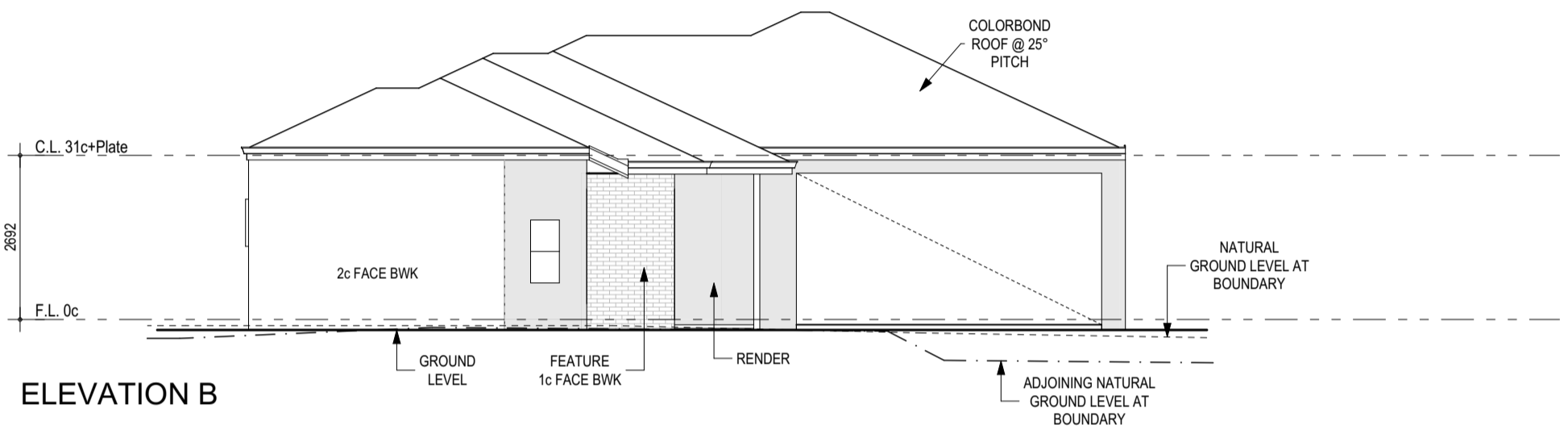
DRAWN BY **AD** LOCAL AUTHORITY **CITY OF JOONDALUP**

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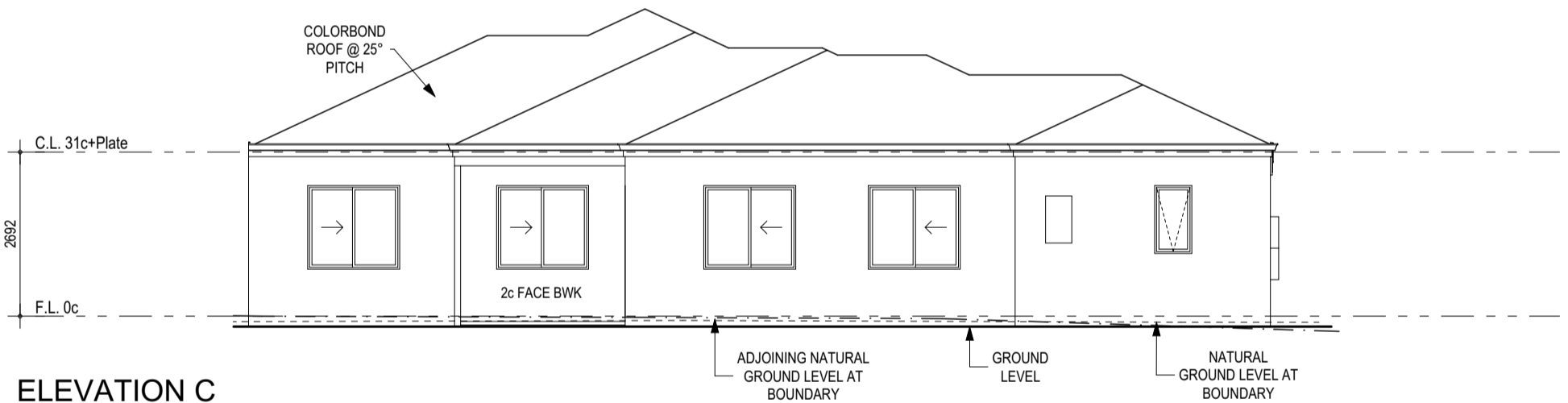
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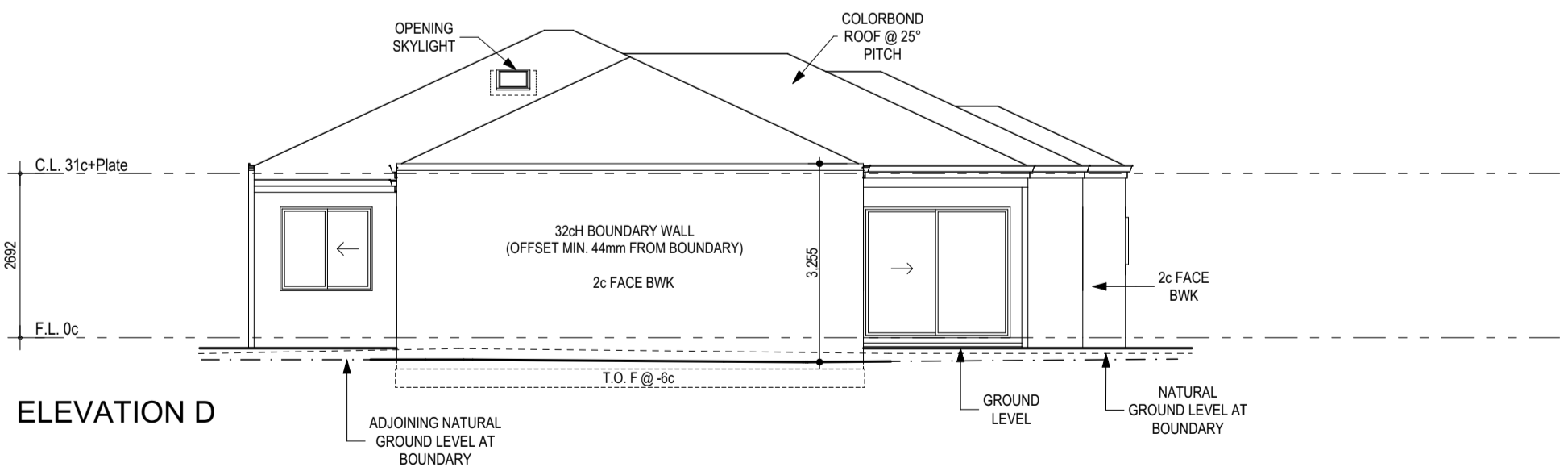
ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

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LOT 17 (#108)
CAMBERWARRA DRIVE,
CRAIGIE

DETAILS	DATE
PLANNING	08/12/2023
PLANNING_REV A	02/02/2024

ELEVATIONS	
SCALE 1:100	
JOB No J1489	SHEET 02 OF 06
DRAWN BY AD	LOCAL AUTHORITY CITY OF JOONDALUP



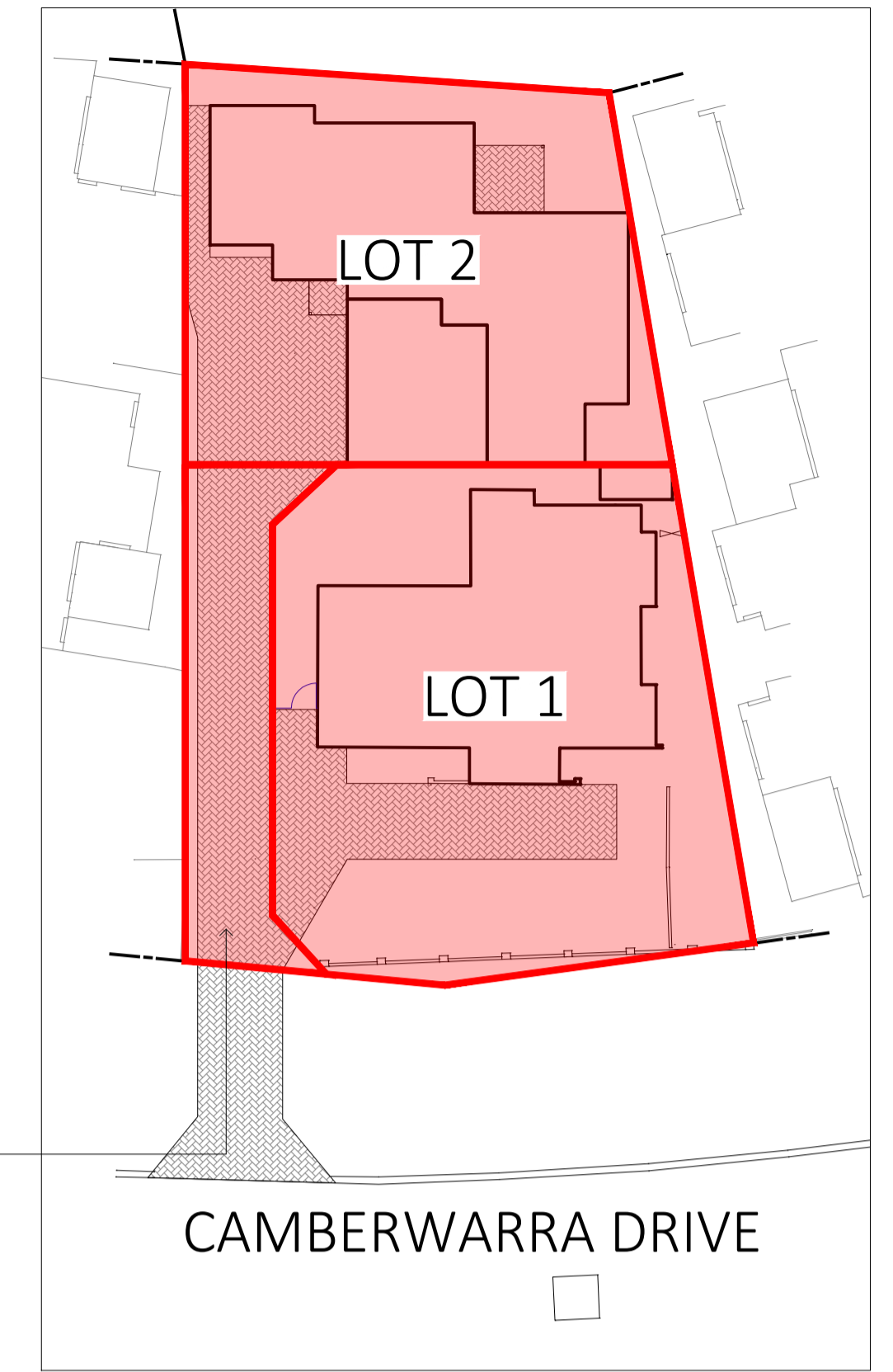
LOT AREAS	
LOT NUMBER	TOTAL AREA (m ²)
LOT 1	353.07
LOT 2	281.87
COMMON PROPERTY	75.6
TOTAL	710.54

LANDSCAPE AREAS (ALL LANDSCAPE)	
LOT NUMBER	TOTAL AREA (m ²)
LOT 1	119.2
LOT 2	54.0
COMMON PROPERTY	11
TOTAL LANDS. AREA*	184.2

*COMBINED AREAS OF GARDEN AND LAWN

LANDSCAPE AREAS (MIN 1.5m WIDE)	
LOT NUMBER	TOTAL AREA (m ²)
LOT 1	114.1
LOT 2	39.3
COMMON PROPERTY	0
TOTAL LANDS. AREA**	153.42

**COMBINED AREAS OF GARDEN AND LAWN WITH A MINIMUM WIDTH OF 1.5m



01 LOT PLAN PLAN SCALE 1:250

PLANT SCHEDULES

MIX 1

Key	Botanic Name	Pot	Qty.
Ergl	Eremophila glabra (prostrate)	130mm	1
LoLi	Lomandra 'LimeTuff'	130mm	2
Myin	Myoporum insulare (prostrate)	130mm	1

MIX 2

Key	Botanic Name	Pot	Qty.
Loll	Lomandra 'Little Lime'	130mm	39

MIX 3

Key	Botanic Name	Pot	Qty.
Acco	Acacia cognata 'Limelight'	130mm	2
Dire	Dichondra repens	130mm	4
GrCo	Grevillea 'Coral Fusion'	130mm	2
Lebr	Leucophyta brownii	130mm	2
Welo	Westringia 'Low Horizon'	130mm	2

MIX 4

Key	Botanic Name	Pot	Qty.
Asel	Aspidistra elatior	130mm	16
Asni	Asplenium nidus	130mm	12
Dire	Dichondra repens	130mm	33
Phxa	Philodendron xanadu	130mm	25

MIX 5

Key	Botanic Name	Pot	Qty.
Cagl	Casuarina glauca	130mm	10
Thma	Thysanolaena maxima 'Tiger grass'	130mm	10

MIX 6

Key	Botanic Name	Pot	Qty.
Dlir	Dianella 'DR5000 (PBR) Little Rev'	130mm	14
Dylu	Dyopsis lutescens	5 Litre	7
Ligi	Liriope 'Evergreen giant'	130mm	11

TREES

KEY	BOTANIC NAME	POT	QTY.	HEIGHT (APPROX.)	WIDTH (APPROX.)
AFL	Agonis flexuosa 'Burgundy'	100 Litre	2	6 METRES	4 METRES
GTR	Gleditsia triacanthos inermis 'Shademaster'	200 Litre	2	12 METRES	7 METRES
PCE	Prunus cerasifera 'Nigra'	100 Litre	1	5 METRES	5 METRES

LEGEND

- Development Site
- Strata / Lot Boundary
- Dwelling
- Brick Paving
- Permeable Paving
- Turf
- Garden Bed
- Deep Soil Area
- Existing Small Tree
- Proposed Small Tree
- Proposed Medium Tree

Considered Space

EMAIL: info@consideredspace.com.au
 WEBSITE: www.consideredspace.com.au
 PHONE: +61 438 880 124

REV	DATE	DRAWN	APPROVED	ISSUE OR AMENDMENT
C	01.02.24	BM	CT	REISSUE FOR APPROVAL
B	06.12.23	BM	CT	ISSUE FOR APPROVAL
A	04.12.23	BM	CT	ISSUE FOR INFORMATION

STANDARD NOTES

- CONSTRUCTION: THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION UNLESS ISSUED AS REVISION 0 AND SIGNED AS APPROVE.
- SET OUT & DIMENSIONS: THE CONTRACTOR SHALL SET OUT ALL PATHS, WALLS, HARD SURFACES AND ELEMENTS EITHER ON SITE PRIOR TO CONSTRUCTION AND SHALL OBTAIN THE SUPERINTENDENT'S APPROVAL PRIOR TO WORKS COMMENCING. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. CHECK ALL DRAWING SCALES IN CONJUNCTION WITH DRAWING SIZE.
- SERVICES & SITE ASSETS: THE CONTRACTOR SHALL INVESTIGATE THE NATURE AND LOCATION OF ALL EXISTING SERVICES AND RETAINED SITE ASSETS AFFECTED BY THEIR WORKS. FAILURE TO TAKE DUE CARE SHALL NOT LIMIT THE CONTRACTOR'S LIABILITIES.
- REFERENCE: THE CONTRACTOR SHALL REFER TO ALL CONTRACT DOCUMENTS, THE SPECIFICATION AND DRAWINGS PRIOR TO AND DURING THE WORKS.
- DISCREPANCIES: NOTIFY SUPERINTENDENT OF ANY SUSPECTED OR KNOWN DISCREPANCIES OR ERRORS PRIOR TO THE COMMENCEMENT OF AFFECTED MATERIALS AND/OR CONSTRUCTION OF AFFECTED WORKS.
- RELEVANT STANDARDS: THE CONTRACTOR SHALL UNDERTAKE ALL PRICING AND WORKS IN ACCORDANCE WITH THE CURRENT INDUSTRY BEST PRACTICE AND ALL RELEVANT AUSTRALIAN STANDARDS.
- SERVICE LOCATOR: THE CONTRACTOR SHALL UNDERTAKE A DAL BEFORE YOU DIG PROCESS PRIOR TO COMMENCING WORKS ON SITE. THE CONTRACTOR SHALL ENGAGE A SERVICE LOCATOR TO MAP THE SPECIFIC LOCATIONS AND DEPTH OF ALL SERVICES AND ADVISE ALL RELEVANT STAFF AND SUBCONTRACTORS IN WRITING PRIOR TO COMMENCING WORKS ON SITE.

CLIENT
JUBILEE HOME BUILDERS

PROJECT
LOT 17 (180) CAMBERWARRA DRIVE, CRAIGIE, WA

DRAWING TITLE
LANDSCAPE PLAN

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DESIGNED BY: CT APPROVED BY: CT

DRAWING BY: BM DATE INITIALLY DRAWN: 24.11.2023

SCALE: 1:100 @ A1

DRAWING NUMBER: **JUB003-01-001**

REVISION: **C**

