LOT 88

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

BUILDER TO ARRANGE FOR THE SEWER CONNECTION TO BE BROUGHT TO 1.5m FROM THE SURFACE PRIOR TO CONSTRUCTION

TERMITE RISK MANAGEMENT WILL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE 2019 PART 3.1.4 & PART 2.1.1 USING THE TERMICO TERMITE MANAGEMENT SYSTEM

CLIENT NOTE: REPAIRS / REINSTATEMENT TO DAMAGED KERBS AND / OR FOOTPATHS WHERE NECESSARY IS THE RESPONSIBILTY OF THE OWNER

CLIENT NOTE: BEWARE OF UNDERGROUND SERVICE RUN-INS WHEN DIGGING

CLIENT NOTE: STORMWATER DISPOSAL SHALL BE IN ACCORDANCE WITH THE COUNCIL APPROVED PLANS & CONDITIONS OF APPROVAL AND ANY SPECIFIED STRUCTURAL ENGINEER'S REQUIREMENTS (REFER TO ADDENDA)

NOTE: (IF APPLICABLE) PLASTIC GRATES TO THE BASE OF THE DOWNPIPES WITH STORMWATER PIPING TO RUN CLEAR OF ANY PAVED / CONCRETE AREAS

CLIENT NOTE: REMOVAL AND RE-INSTATEMENT OF FENCING AS NECESSARY TO BUILDER'S SCHEDULE IN ACCORDANCE WITH THE BUILDING ACT (2011) OWNER TO LIAISE & GAIN PERMISSION FROM ADJOINING LAND OWNER/S ACCORDINGLY AND GIVE 24 HOURS NOTICE PRIOR TO THE REMOVAL / RE-INSTATEMENT OF FENCING

NOTE: SOME BUILDING MATERIALS WILL BE PLACED IN THE VERGE RESERVE DURING THE COURSE OF CONSTRUCTION

CLIENT NOTE: MAX 50% IMPERVIOUS LANDSCAPING WITHIN FRONT SETBACK AREA FOR COUNCIL REQUIREMENT.

Scale 1:200

| 0 | 2 | 4 | 6 | 8 |

NOTE:
POSITIONS OF ALL SEWER MANHOLES, JUNCTIONS AND SEWER LINES ARE APPROXIMATE ONLY DUE TO LACK OF INFORMATION. PLEASE CONFIRM ALL POSITIONS WITH WATER CORP.

NOTE:
DEEP SEWER JUNCTION, CHECK WITH WATER CORP BUILDER AND PLUMBER CHECK GRADE.

NOTE:
APPROXIMATE SEWER ONLY CHECK WATER CORPORATION FOR JUNCTION INVERT AND DEPTH

CLIENT NOTE:
2m x 2m DESIGNATED PLANTING AREA FOR FUTURE TREE BY OWNER AFTER HANDOVER AS PER COUNCIL REQUIREMENTS

CONCRETOR NOTE: DROP GARAGE FOOTINGS BY 1c TO A MINIMUM OF 2 METRES FROM THE FRONT OF THE GARAGE PIERS (WHERE APPLICABLE)

SET-OUT PEGS BY LICENCED SURVEYOR

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

STORMWATER DISPOSAL
A= 1.8m DIA x 0.9m DEEP
B= 1.5m DIA x 0.9m DEEP

PLUMBER NOTE:
SEWER &/OR STORMWATER PRE-DRAIN AS REQUIRED TO PLUMBERS DISCRETION

Site plan labels

SEWER JUNCTION APPROX. INV: 4.1 APPROX. DEPTH: 2.3 APPROX. SEWER ONLY CHECK WATER CORP.

PEG FOUND OFFSET 0.6m x 0.6m

PEG FOUND OFFSET 0.2m

NOTE:
APPROX. SEWER CLEARANCE LINE. THIS LINE IS NOT AN EASEMENT. SETBACKS MUST BE CONFIRMED BY WATER CORP. BEFORE ANY DESIGN WORKS UNDERTAKEN. THIS LINE IS NOT DEFINITIVE.

PROPOSED RESIDENCE
FFL 8.00

CONCRETE/PLUMBER NOTE: DROP SLAB TO SHOWER/S BY 25mm (REFUX VALVE TO SEWER JUNCTION)

STORE
GARAGE Grano @ -1c
230w BWK FROM -4c TO -2c
EDGE OF GRANO
TOP OF FOOTING @ -4c
PORCH Paved @ -1c

INSTANT GAS HWU

PANEL & POST RETAINING WALL (BY OWNER) T.O.W. 8.70

PANEL & POST RETAINING WALL (BY OWNER) T.O.W. 9.2

COMMERCIAL GULLY & GRATE CONNECTED TO STORMWATER SYSTEM

COMB. M'BOX GAS / ELEC

PAVED PATH

STEP DOWN R/WALL

PEG FOUND OFFSET 0.3m x 0.3m

PEG NOT FOUND

BEWARE: OVERHEAD POWER LINES IN AREA, ADVISE TRADES

APPROX. LOCATION OF DIST. BOX (REFER TO ADDENDA)

MAINTAIN 1.0m CLEARANCE TO LOW VOLTAGE POWERLINES AT ALL TIMES

PAVED CROSSOVER TO COUNCIL & DEVELOPER SPECIFICATIONS (REFER TO ADDENDA) (3.0mW x 2.0mD WINGS)

REFERENCE NAIL AT BASE OF KERB ASSUMED DATUM 10.00m

LAMBERTIA STREET

Dimensions (selected)

10,197 | 9,990 | 1,000
6,058
24,950
4,740
990 | 9,000 | 1,000

Title block

PROJECT No. D03750
SHEET No. 01 OF 9
SITE PLAN
DRAWN: VN-KG DATE: OCT' 23
SCALE: 1:200 CHK: SA
REV #: B

VARIATION
1/AM – 08/11/23 – SA – LC

CONTRACT DRAWINGS

These are the plans referred to in the Building Contract
CLIENT: _____
CLIENT: _____
BUILDER: _____
DATE: _____
No further structural changes
© COPYRIGHT

DreamStart HOMES
ACN 055 245 308 ~ B.C - 8867
Level 4, 302 Selby Street,
Osborne Park W.A. 6017
P.O Box 1522
Osborne Park W.A. 6916
PH (08) 6314 3444
FAX (08) 6314 3499

CONTOUR & FEATURE SURVEY

LOT	Lot 88 (DP 424471 - Unapproved)
ADDRESS	(#11) Lambertia Street, Greenwood
LGA	CITY OF JOONDALUP
CLIENT	HERRIDGE
ORDER #	D03750
GPS	Lat: -31.830432 Long: 115.794155
SSA No	AREA 557m²

CLIENT NOTE:
PROPOSED RETAINING WALL BY OWNER (SEPERATE BUILDING PERMIT)

OWNER TO PROVIDE STRUCTURAL ENGINEER'S CERTIFICATION STATING THE WALL HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE SUPPLIED DETAILS AND THAT IT IS SUITABLE TO SUPPORT ANY PROPOSED LOADS PLACED ON IT PRIOR TO THE BUILDER COMMENCING CONSTRUCTION
NOTE: REFER TO ENGINEERS DETAIL FOR PANEL & POST MAXIMUM HEIGHT

Services

ELEC.	U/Ground / O/Head	SEWER	Yes	ROADS	Bitumen	COASTAL	No
GAS	Yes	COMMS	Yes	PATH	Concrete	SOIL	Refer Eng. Site Report
WATER	Yes	DRAINAGE	Good	KERBS	Mountable / Nil	VEG.	Refer to Survey

GRANO & PAVING AREAS

	AREA	PERIMETER
Brick Paving		
CROSSOVER	32.45	28.82
DRIVEWAY	40.11	28.18
PORCH/PATH	2.55	6.88
	75.11 m²	63.88 m
Concrete Grano		
GARAGE	38.29	26.06
	38.29 m²	26.06 m

SITE COVERAGE

ZONED R20
SITE AREA 557.47m²
SITE COV. AREA 234.06m²
SITE COV. =42.0%

SETBACK AVERAGING 6.00m
B: 17.60m² - F: 5.71m² 11.89m²

OUTDOOR LIVING REQUIREMENTS

	REQUIRED	ACHIEVED
OUTDOOR LIVING	30.0m²	122.6m²
UNCOVERED AREA	20.0m²	117.4m²

COTTAGE SURVEYS LICENSED SURVEYORS
87-89 Guthrie St, Osborne Park WA 6017
PO Box 1611, Osborne Park BC WA 6917
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au
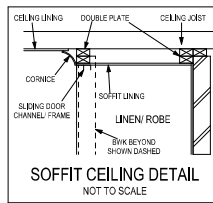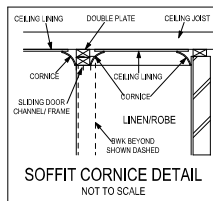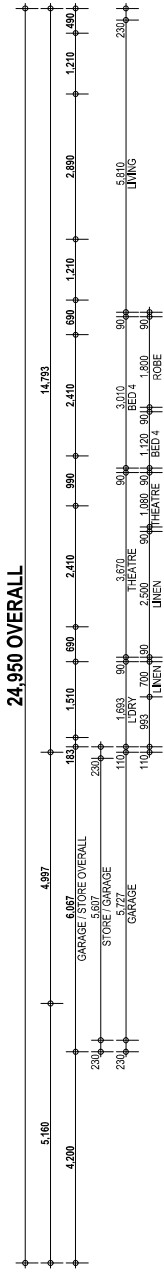JOB: 554452 DATE: 07 Sep 23 DRAWN: J. Jee

NOTES:
- COLORBOND ROOF @ 24°43 PITCH
- NON-COASTAL ZONE
- N1 WIND CLASSIFICATION (AS PER ENGINEERS SITE CLASSIFICATION REPORT)
- 30c HIGH CEILING THROUGHOUT - UNLESS NOTED OTHERWISE (NOTE: WINDOW HEADS AT 27c, DOUBLE ANGLES & BWK OVER ALL DOORS & SLIDING DOORS)
- 1c FACE BWK AS INDICATED ON ELEVATIONS
- 2c FACE BRICKWORK TO THE REMAINDER OF RESIDENCE

FIXING CARPENTER NOTE:
- CARPENTRY AS PER BELOW UNLESS NOTED OTHERWISE (REFER TO ADDENDA)
- 450D SHELF & RAIL @ 1700 AFL TO ANY ROBE OR WIR (UNO)
- 4x 450D SHELVES @ 400 CTRS TO ANY LINEN OR WIP, BOTTOM SHELF @ 500 AFL (UNO)
- SUPPORT PANELS REQUIRED FOR SPAN OVER 1,800 (SHOWN DASHED WHERE APPLICABLE) OR, AS REQUIRED TO FIXING CARPENTERS DISCRETION

SOFFIT CORNICE DETAIL — NOT TO SCALE

SOFFIT CEILING DETAIL — NOT TO SCALE

NOTE:
EXTERNAL FACE BRICK SIZE: 290L x 90W x 162H
ALL COURSE HEIGHTS SHOWN ARE TO STANDARD BRICK COURSING
EXTERNAL FACE BRICKWORK TO BE IN ONE THIRD BOND COURSING
FIRST COURSE OF BWK ABOVE FOOTING & SLAB TO BE 76mm CORED BRICK

ROOF CARPENTER NOTE: BOX OUT CEILING JOISTS OVER HOTPLATE

CEILING FIXER NOTE: CORNICE TO BE INSTALLED AFTER LAM. PANTRY TO KITCHEN

CONCRETE/PLUMBER NOTE: DROP SLAB TO SHOWER/S BY 25mm (REFUX VALVE TO SEWER JUNCTION)

13,618 OVERALL
24,950 OVERALL

CLIENT NOTE:
RESTRICTIVE HEAD HEIGHT CLEARANCE TO MANUAL ROLLER DOOR

ROOF CARPENTER NOTE:
BOX OUT CEILING JOISTS OVER GARAGE CONDUITS (REFER SHEET '4' FOR LOCATIONS)

G.O.W. WITH PGI FLASHING & TERMITE BARRIER TO ATTACHED PIERS (REFER TO DETAIL 'C' SHEET '8')

CONCRETE NOTE:
DROP GARAGE FOOTINGS BY 1c TO A MINIMUM OF 2 METRES FROM THE FRONT OF THE GARAGE PIERS (WHERE APPLICABLE)

BRICKLAYER NOTE:
RAKE OUT MORTAR JOINT 15mm TO SUIT HARDIFLEX LINING (SHOWN DASHED)

BRICKLAYER NOTE:
INTERNAL LEAF OF BWK UP TO 33c (SHOWN DASHED)

BRICKLAYER NOTE:
PROVIDE STRAIGHT JOINT BETWEEN 1c & 2c FACE BWK

Rooms: DINING (LAM.), LIVING (LAM.), KITCHEN (LAM.), BED 4 (CARPET), THEATRE (CARPET), LINEN, L'DRY, STORE, GARAGE, WIP (LAM.), SCULL. (LAM.), BED 3 (CARPET), BATH, WC, BED 2 (CARPET), ENS, WIR, BED 1 (CARPET), ENTRY (LAM.), PORCH, WIR, ROBE

GENERAL NOTES:
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL ENGINEERS DETAILS, ALL RELEVANT AUSTRALIAN STANDARDS & THE NATIONAL CONSTRUCTION CODE
- REFER TO ENERGY EFFICIENCY SHEETS FOR LIGHT/ VENT REQUIREMENTS
- CORNER PLASTER BEADS TO 45° CORNERS ONLY UNLESS OTHERWISE NOTED ON PLAN
- REMOTE CONTROL SECTIONAL DOOR TO GARAGE (REFER TO ADDENDA)
- LIFT OFF DOOR HINGES TO ALL ROOMS CONTAINING A WC
- DOORS LABELLED AS 'MB' TO BE M & B DOORS (REFER TO ADDENDA)
- REFER TO ADDENDA FOR BENCHTOP & CABINETRY MATERIALS & FINISHES
- CABINET MAKER TO CONFIRM VENTING REQUIREMENTS FOR ALL BUILT IN APPLIANCES (REFER TO ADDENDA)

BWK NOTES:
- FACE BWK TO INSIDE OF GARAGE TO BE 2nd FACE WITH CONCAVE JOINT
- DIMENSION TO BWK ONLY - PLASTER MARGIN NOT ALLOWED FOR
- HOLDING DOWN RODS TO BRICK PIERS WITH BEAM ABOVE
- HOLDING DOWN STRAPS TO PIERS WITHOUT BEAM ABOVE
- HOLDING DOWN STRAPS TO PERIMETER OF HOUSE
- FLASHING REQUIRED TO BWK ABOVE WINDOWS & SLIDING DOORS WHERE NO EAVES & MORE THAN 3c BRICKWORK ABOVE WINDOWS & SLIDING DOORS WITH AN EAVE
- 2nd FACE BRICKWORK MAY BE USED ON SINGLE FACE BRICK WALLS WHERE REQUIRED. THE APPEARANCE OF THE 1st AND 2nd FACE OF THE SELECTED BRICK MAY VARY SIGNIFICANTLY
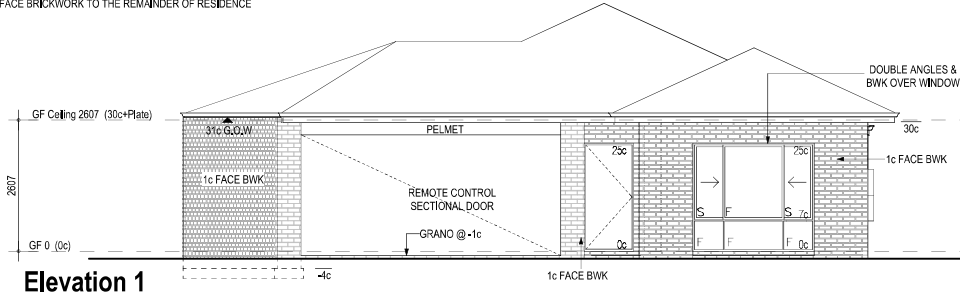
ROOF NOTES:
- ROOF TIE DOWN IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS
- ROOF COVER INSTALLED TO MANUFACTURERS SPECIFICATIONS
- TRIPLE GRIP CONNECTORS TO RAFTER-PITCHING BEAMS CONNECTIONS
- COLLAR TIES TO UNDERSIDE OF RIDGE BEAM
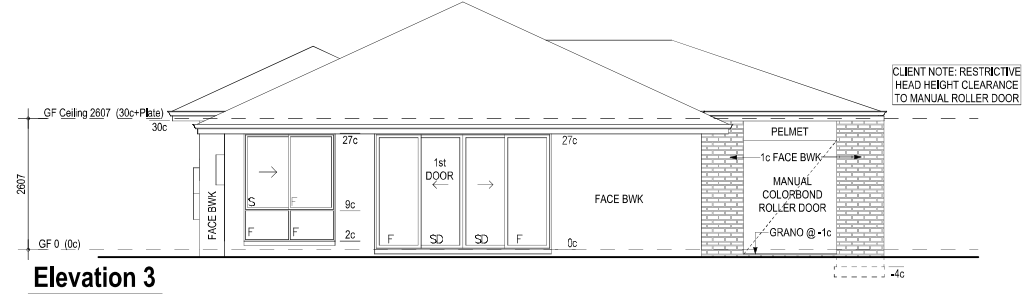- ALL ROOF & CEILING TIMBER TO BE H2 TREATED

PLUMBING NOTES:
- NO FLUE PIPES TO FRONT ELEVATION ROOF
- DOWNPIPES TO ROOF SHALL BE AT CENTRES TO ROOF PLUMBERS DISCRETION
- EXTRA GUTTER OVERFLOW PROVISIONS MAY BE REQUIRED IN ACCORDANCE WITH NCC INSTALLED AT THE PLUMBERS DISCRETION
- REFER TO ADDENDA FOR MAKE & MODEL OF ALL FIXTURES & FITTINGS
- COLD PLUMBING ONLY TO DISHWASHER RECESS
- COLD WATER STOP COCK TO FR RECESS

HOUSE AREAS
HOUSE AREA	191.76
GARAGE	34.36
STORE	7.04
PORCH	1.00
	234.16 m²
PERIMETER	70.88

VARIATIONS
1/AM — 08/11/23 — SA — LC

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CLIENT: _____
CLIENT: _____
BUILDER: _____
DATE: _____
No further structural changes
© COPYRIGHT

CLIENT: **HERRIDGE**
ADDRESS: LOT 88 (#11) LAMBERTIA STREET, GREENWOOD, CITY OF JOONDALUP

PROJECT No. **D03750**
PROGRESS: FREEDOM SPEC
SHEET No. **2 OF 9**
FLOOR PLAN
DRAWN: VN-KG   DATE: OCT '23
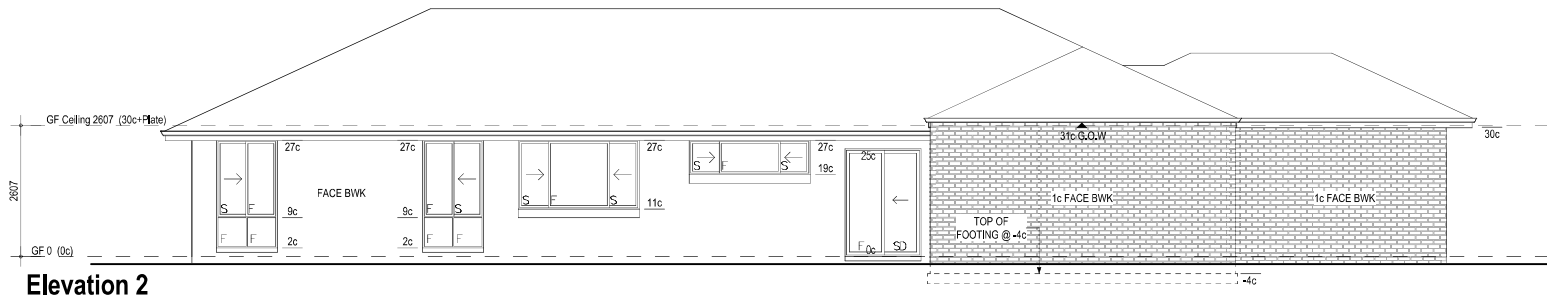SCALE: 1:100   CHK: SA

REV # **B**

NOTES:
- COLORBOND ROOF @ 24°43 PITCH
- NON-COASTAL ZONE
- N1 WIND CLASSIFICATION (AS PER ENGINEERS SITE CLASSIFICATION REPORT)
- 30c HIGH CEILING THROUGHOUT - UNLESS NOTED OTHERWISE (NOTE: WINDOW HEADS AT 27c, DOUBLE ANGLES & BWK OVER ALL DOORS & SLIDING DOORS)
- 1c FACE BWK AS INDICATED ON ELEVATIONS
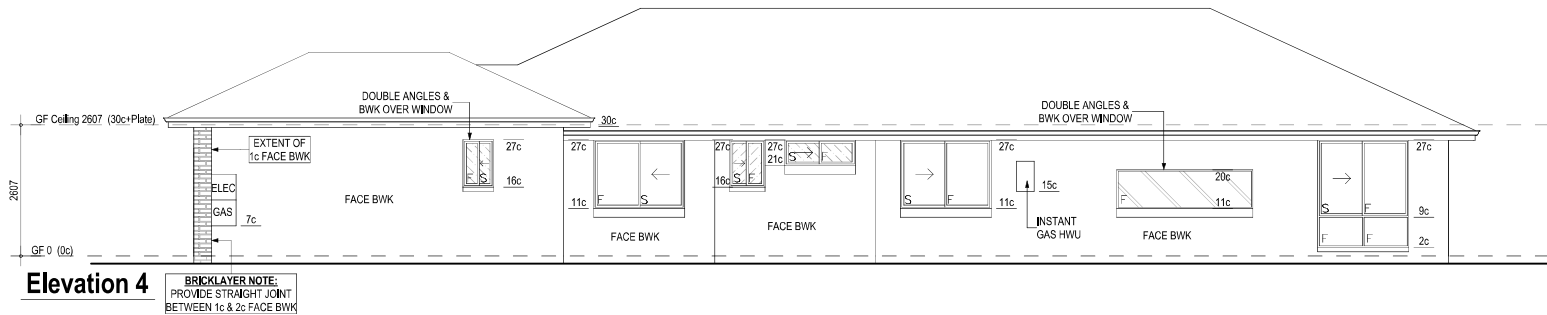- 2c FACE BRICKWORK TO THE REMAINDER OF RESIDENCE

Elevation 1

GF Ceiling 2607 (30c+Plate)
31c G.O.W
2607
PELMET
30c
25c 25c
1c FACE BWK
DOUBLE ANGLES & BWK OVER WINDOW
1c FACE BWK
REMOTE CONTROL SECTIONAL DOOR
GRANO @ -1c
S F S 7c
F F F 0c
0c
GF 0 (0c)
-4c
1c FACE BWK

Elevation 3

CLIENT NOTE: RESTRICTIVE HEAD HEIGHT CLEARANCE TO MANUAL ROLLER DOOR

GF Ceiling 2607 (30c+Plate)
30c
2607
27c 27c
1st DOOR
1c FACE BWK
FACE BWK
MANUAL COLORBOND ROLLER DOOR
FACE BWK
S 9c
F F 2c
F SD SD F 0c
GRANO @ -1c
GF 0 (0c)
-4c

Elevation 2

GF Ceiling 2607 (30c+Plate)
2607
31c G.O.W
30c
27c 27c 27c
S F S 25c
S F 19c
FACE BWK
1c FACE BWK 1c FACE BWK
9c 9c 11c
F S
F F F F
2c 2c 11c
F SD
0c
TOP OF FOOTING @ -4c
GF 0 (0c)
-4c

Elevation 4

GF Ceiling 2607 (30c+Plate)
2607
DOUBLE ANGLES & BWK OVER WINDOW
DOUBLE ANGLES & BWK OVER WINDOW
30c
EXTENT OF 1c FACE BWK
27c
27c 27c 27c 27c 20c 27c
ELEC
GAS
FACE BWK
16c
16c 21c
15c
11c
FACE BWK
7c
FACE BWK FACE BWK
11c
INSTANT GAS HWU
11c
FACE BWK
9c
F S S F S F F S
2c
GF 0 (0c)

BRICKLAYER NOTE:
PROVIDE STRAIGHT JOINT BETWEEN 1c & 2c FACE BWK

DreamStart HOMES
ACN 055 245 306 ~ B.C - 8867
Level 4, 302 Selby Street,
Osborne Park W.A. 6017
P.O Box 1522
Osborne Park W.A. 6916
PH (08) 6314 3444
FAX (08) 6314 3499

HOUSE AREAS	
HOUSE AREA	191.76
GARAGE	34.36
STORE	7.04
PORCH	1.00
	234.16 m²
PERIMETER	70.88

CLIENT:
HERRIDGE

ADDRESS:
LOT 88 (#11) LAMBERTIA STREET,
GREENWOOD
CITY OF JOONDALUP

PROJECT No.
D03750

SHEET No.
3 OF 9

DRAWN: VN-KG   DATE: OCT' 23
SCALE: 1:100   CHK: SA

PROGRESS
FREEDOM SPEC

ELEVATIONS

NOTE:
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290L x 90W x 162H
ALL COURSE HEIGHTS SHOWN ARE TO STANDARD BRICK COURSING
EXTERNAL FACE BRICKWORK TO BE IN ONE THIRD BOND COURSING

FIRST COURSE OF BWK ABOVE FOOTING & SLAB TO BE 76mm CORED BRICK

BRICKLAYER NOTE:
- FOR ODD COURSE HEIGHT WINDOW SILL USE 2c HIGH FINISHING SILL BRICK
- FOR EVEN COURSE HEIGHT WINDOW SILL USE 1c HIGH SOLID LONGREACH SILL BRICK

REV # B

H:\D ARCHI JOBS\D03750\D03750.plan