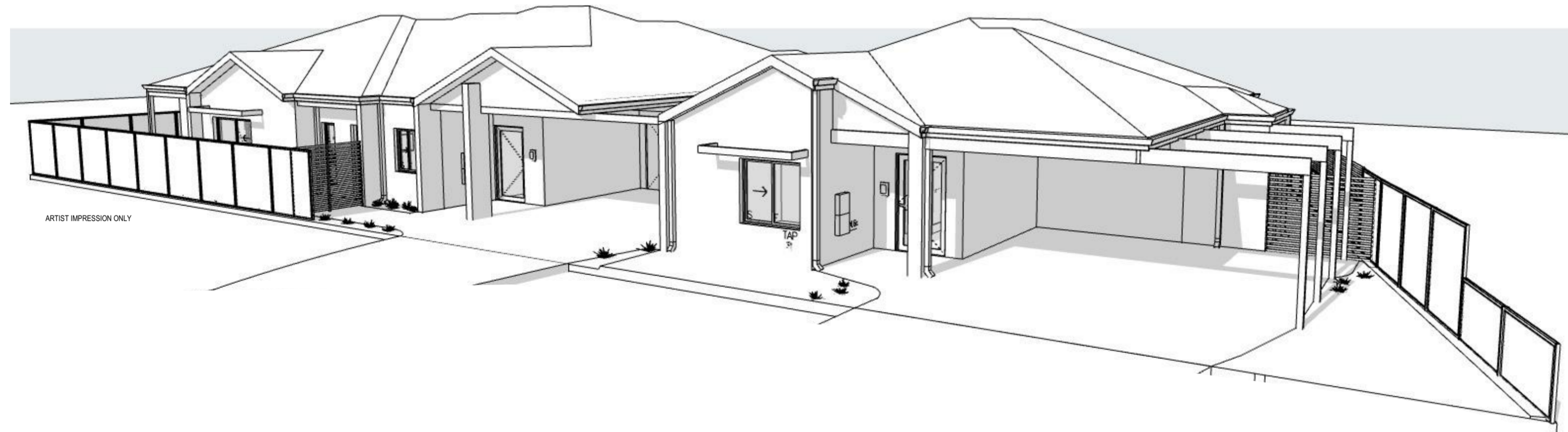


Sheet Index				
Layout ID	Layout Name	Issue Date	Revision	Remark
	COVER	2/11/2023 2:46 PM	02	
A100	SITE SURVEY	2/11/2023 2:46 PM	02	
A101	SITE PLAN	2/11/2023 2:46 PM	02	
A200	PROPOSED GROUND FLOOR PLAN	2/11/2023 2:46 PM	02	
A201	CIRCULATION & LANDSCAPE PLAN	2/11/2023 2:46 PM	02	
A300	ELEVATIONS	2/11/2023 2:46 PM	02	



ARTIST IMPRESSION ONLY

**Vision surveys CONSULTING**  
 69 Sandhurst Road,  
 SCARBOROUGH WA 6019  
 Tel: (08) 9144 0000 Fax: (08) 9144 0099  
 www.vision-surveys.com.au

**FEATURE & CONTOUR SURVEY**

REV#	DATE	DESCRIPTION	APPROVED
1.1	10/09/2023	Drafting Manager Corrections	

NOTE: THIS PLAN IS THE PROPERTY OF BOTH VISION SURVEYS CONSULTING AND ITS CLIENT. THIS PLAN SHOULD NOT BE REPRODUCED WITHOUT THE PERMISSION OF BOTH PARTIES. ALL DIMENSIONS SHOWN ON THIS PLAN ARE TO BE READ IN METERS UNLESS OTHERWISE SPECIFIED. THIS PLAN IS VALID ONLY FOR THE SITE AND CONDITIONS SPECIFIED ON THIS PLAN.

CLIENT: PULSE PROPERTY SOLUTIONS  
 ADDRESS: 12 PARKWAY, WARWICK  
 LOCAL GOVERNMENT: CITY OF JOONDALUP  
 LOT AREA: 759m<sup>2</sup> R CODE: R20/60 PLAN: P 9428 TITLE: 395-13A

JOB NUMBER: VS009539

DRAWN BY: CHM	CHECKED BY: DS
DRAWING DATE: 10/09/2023	SURVEY DATE: 06/09/2023
DWG REF: PARKWAY 12 - FEATURE v1.1	

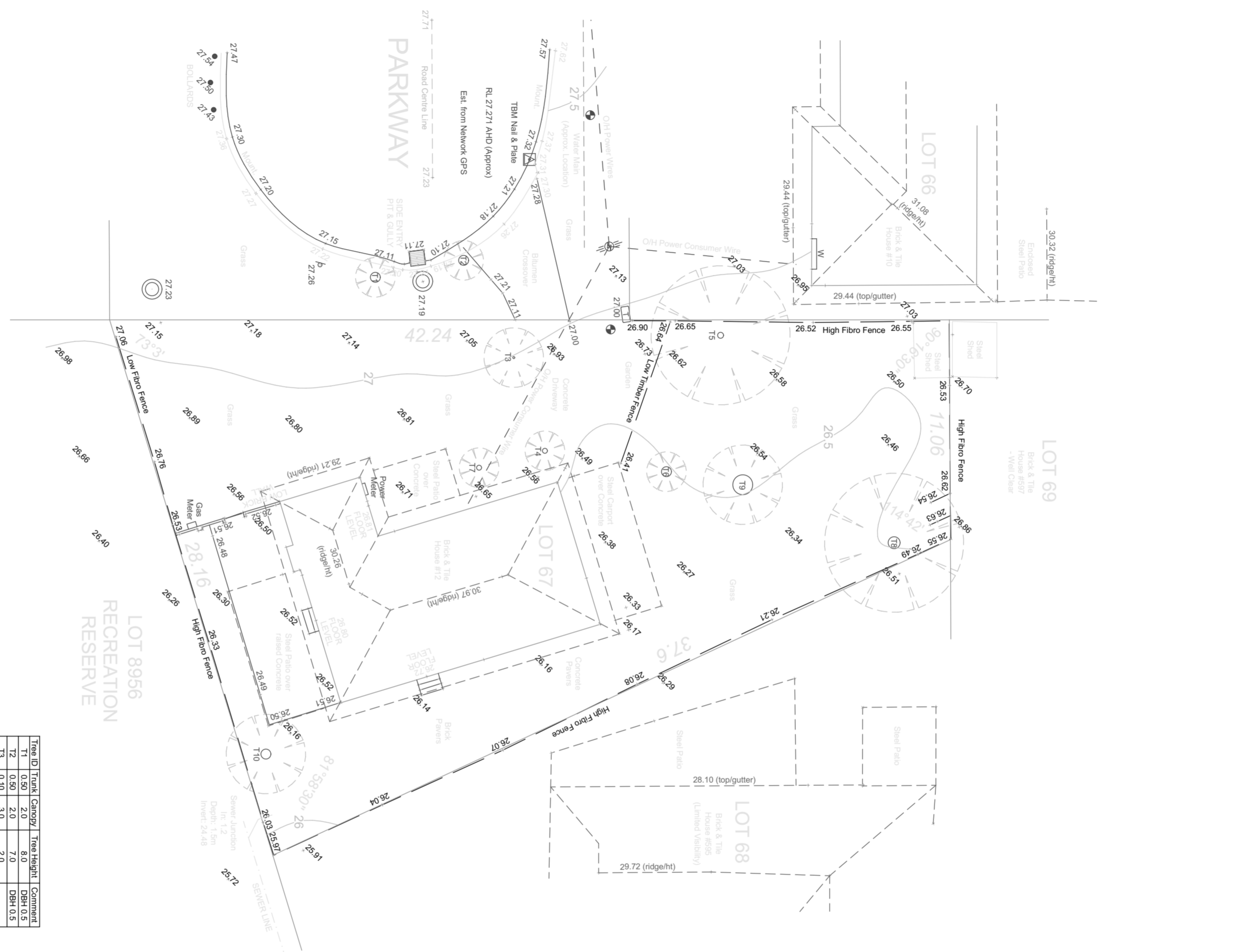
**SITE SURVEY**  
Scale 1:200

Tree ID	Trunk	Canopy	Tree Height	Comment
T1	0.50	2.0	8.0	DBH 0.5
T2	0.50	2.0	7.0	DBH 0.5
T3	0.10	3.0	2.0	
T4	0.25	2.0	4.0	
T5	0.50	7.0	8.0	
T6	0.50	2.0	4.0	
T7	0.50	2.0	4.0	
T8	0.60	7.0	6.0	
T9	1.00	4.0	2.5	
T10	0.50	4.0	2.0	

**DISCLAIMER:** LOT BOUNDARY DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY BUILDING OR OTHER STRUCTURE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND OTHER RELEVANT AUTHORITIES. THE SURVEYOR'S LIABILITY IS LIMITED TO THE INFORMATION PROVIDED AND DOES NOT EXTEND TO THE DESIGN OR CONSTRUCTION OF ANY BUILDING OR OTHER STRUCTURE.

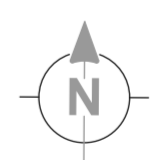
**DISCLAIMER:** THE SURVEYOR'S LIABILITY IS LIMITED TO THE INFORMATION PROVIDED AND DOES NOT EXTEND TO THE DESIGN OR CONSTRUCTION OF ANY BUILDING OR OTHER STRUCTURE.

**DISCLAIMER:** THE SURVEYOR'S LIABILITY IS LIMITED TO THE INFORMATION PROVIDED AND DOES NOT EXTEND TO THE DESIGN OR CONSTRUCTION OF ANY BUILDING OR OTHER STRUCTURE.



**SYMBOL LEGEND:**

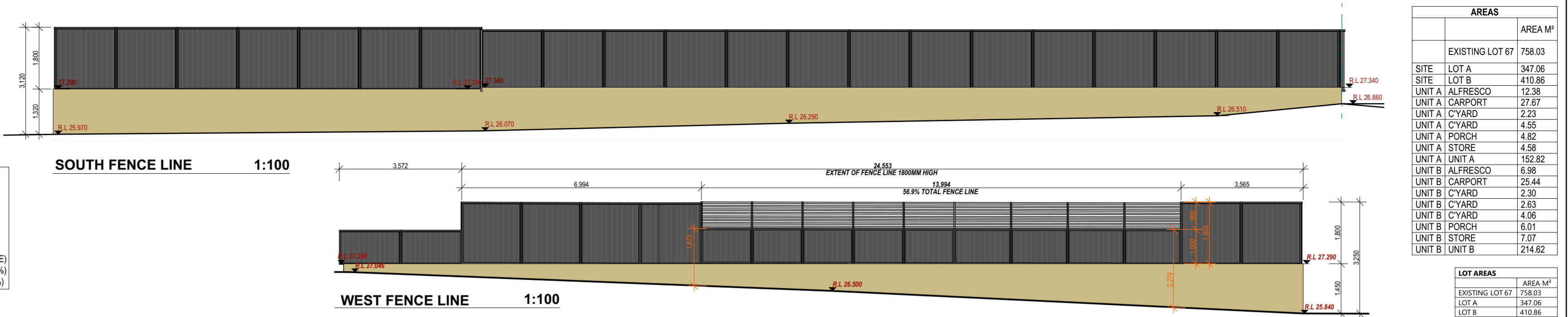
	WATER METER		POWER POLE		WINDOW		DRAINAGE GULLY		POWER POLE
	DRAINAGE PIT		TEMP. BENCHMARK		TOWERS PIT		SIGN POLE		POWER POLE



SURVEY CO-ORDINATES: ARBITRARY  
 SURVEY DATUM: AHD (APPROX.)

**SUBDIVISION NOTE - PROPOSED LOTS SHOWN  
2 X GREEN TITLE. NO CURRENT SUBDIVISION**

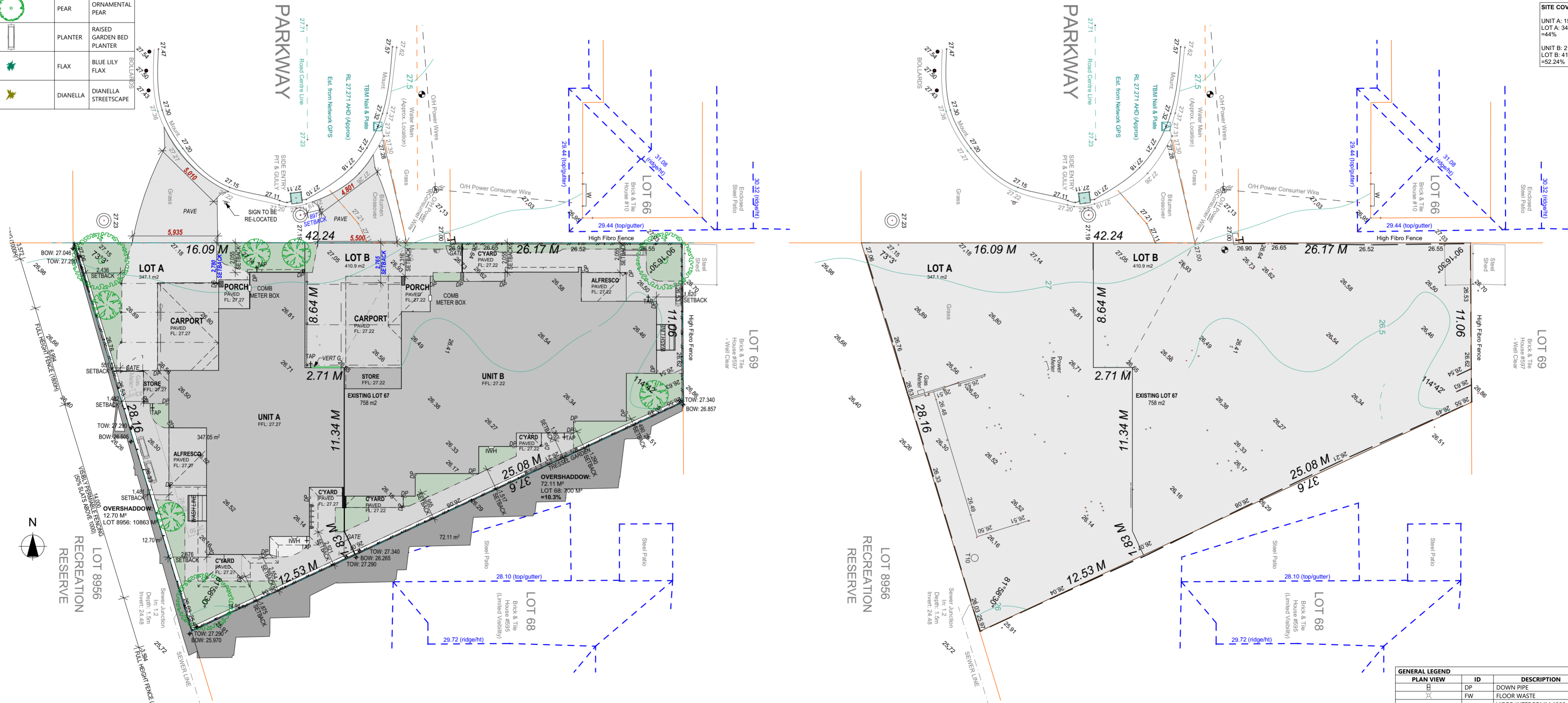
LANDSCAPE LEGEND			LANDSCAPING/PAVING AREAS
PLAN VIEW	ID	DESCRIPTION	
	ROO	KANGAROO PAW	LOT AREA - 757.92M <sup>2</sup> PAVING - 275.27M <sup>2</sup> LOT A = PAVING 162.92M <sup>2</sup> LOT B = PAVING 112.35M <sup>2</sup>
	MYRTLE	CREPE MYRTLE	
	PAVE	PAVING	LANDSCAPING - 101.56M <sup>2</sup> - 13.3% (TOTAL SITE) LOT A - LANDSCAPING = 57.05M <sup>2</sup> (16.4%) LOT B - LANDSCAPING - 44.51M <sup>2</sup> (10.8%)
	GB	GARDEN BED/SOFT LANDSCAPE	
	PEAR	ORNAMENTAL PEAR	
	PLANTER	RAISED GARDEN BED PLANTER	
	FLAX	BLUE LILY FLAX	
	DIANELLA	DIANELLA STREETSCAPE	



AREAS		
EXISTING LOT 67		758.03
SITE	LOT A	347.06
	LOT B	410.86
UNIT A	ALFRESCO	12.38
UNIT A	CARPORT	27.67
UNIT A	C'YARD	2.23
UNIT A	C'YARD	4.55
UNIT A	PORCH	4.82
UNIT A	STORE	4.58
UNIT A	UNIT A	152.82
UNIT B	ALFRESCO	6.98
UNIT B	CARPORT	25.44
UNIT B	C'YARD	2.30
UNIT B	C'YARD	2.63
UNIT B	C'YARD	4.06
UNIT B	PORCH	6.01
UNIT B	STORE	7.07
UNIT B	UNIT B	214.62

LOT AREAS	
EXISTING LOT 67	758.03
LOT A	347.06
LOT B	410.86

**SITE COVERAGE:**  
UNIT A: 152.82 M<sup>2</sup>  
LOT A: 347.06 M<sup>2</sup>  
=44%  
UNIT B: 214.62 M<sup>2</sup>  
LOT B: 410.86 M<sup>2</sup>  
=52.24%



**SITE PLAN**  
Scale 1:200

**LOT PLAN**  
Scale 1:200

GENERAL LEGEND		
PLAN VIEW	ID	DESCRIPTION
	DP	DOWN PIPE
	FW	FLOOR WASTE
	INC	VIDEO INTERCOMM 1300 AFL POWER & NETWORK SUPPLY AS REQUIRED
	INCS	VIDEO INTERCOMM INTERNAL SCREEN 1300 AFL POWER & NETWORK SUPPLY AS REQUIRED
	IWH	INSTANTANEOUS WATER HEATER
	MB	COMB METER BOX
	MH	ACCESS HATCH
	TAP	GARDEN TAP
	VERT G	VERTICAL GARDEN PLANTER
	WASH LINE	WASHING LINE

**FIRE/ COMPLIANCE NOTES**

PLANS MUST BE READ IN CONJUNCTION WITH FIRE ENGINEERS & BUILDING SURVEYORS REPORT

EACH UNIT IS TO BE DESIGNED AS A SOLE OCCUPANCY UNIT, BOUNDING CONSTRUCTION FOR EACH BEDROOM IS NOT REQUIRED  
 REFER TO FIRE ENGINEERING REPORT  
 FIRE DETECTION CONTROL INDICATING EQUIPMENT AND DIRECT BRIGADE ALARM, MUST BE PROVIDED TO DEVELOPMENT  
 REFER TO FIRE ENGINEERS REPORT FOR LOCATIONS & INSTALMENT REQUIREMENTS  
 FIRE SPINKLER SYSTEM IS REQUIRED TO DEVELOPMENT- REFER TO FIRE ENGINEERS REPORT.

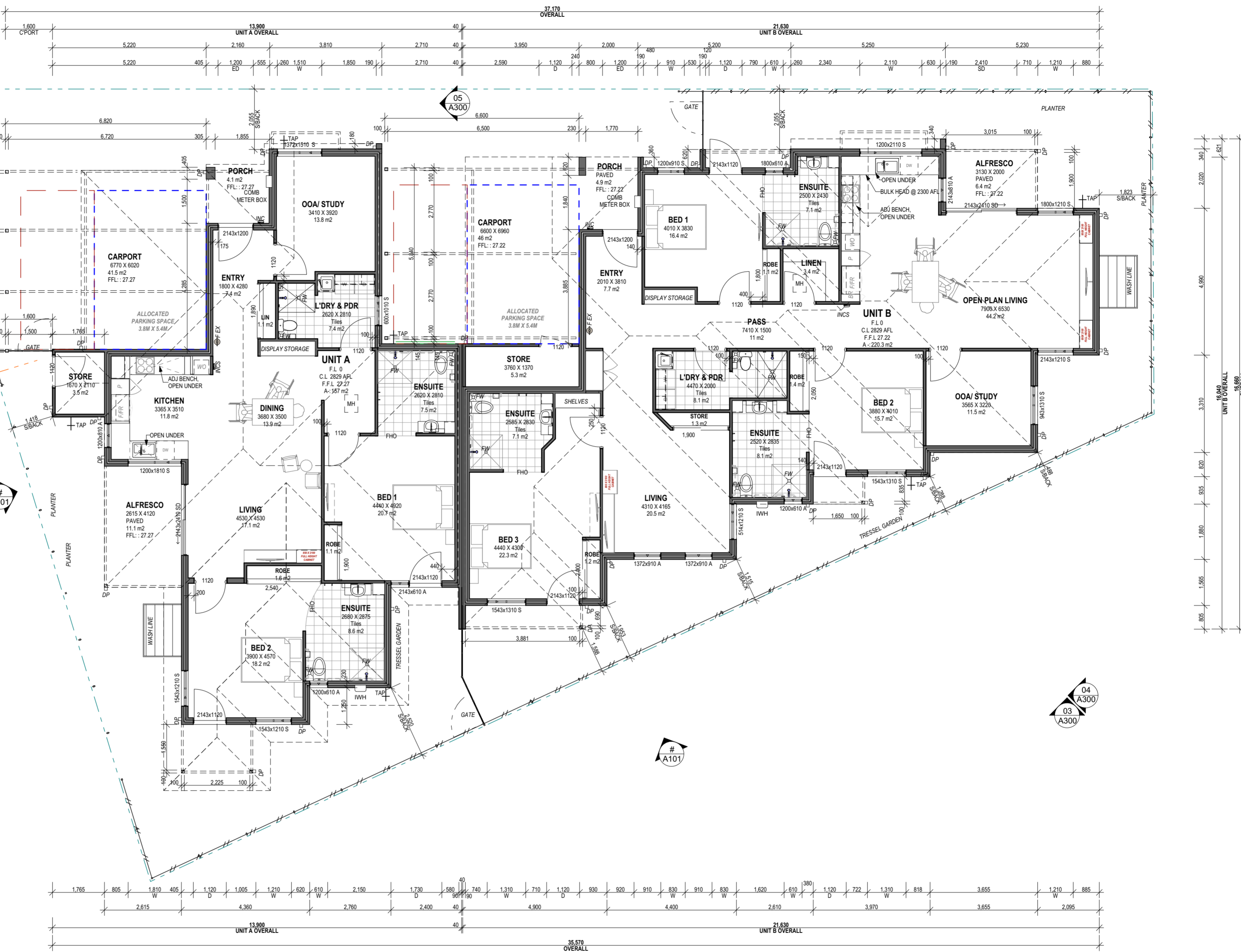
GENERAL LEGEND	PLAN VIEW	ID	DESCRIPTION
	DP	DOWN PIPE	
	FW	FLOOR WASTE	
	INC	VIDEO INTERCOMM 1300 AFL, POWER & NETWORK SUPPLY AS REQUIRED	
	INCS	VIDEO INTERCOMM INTERNAL SCREEN 1300 AFL, POWER & NETWORK SUPPLY AS REQUIRED	
	IWH	INSTANTANEOUS WATER HEATER	
	MB	COMB METER BOX	
	MH	ACCESS HATCH	
	TAP	GARDEN TAP	
	VERT G	VERTICAL GARDEN PLANTER	
	WASH LINE	WASHING LINE	

AREAS		
	AREA	AREA M <sup>2</sup>
	EXISTING LOT 67	758.03
SITE	LOT A	347.06
SITE	LOT B	410.86
UNIT A	ALFRESCO	12.38
UNIT A	CARPORT	27.67
UNIT A	CYARD	2.23
UNIT A	CYARD	4.55
UNIT A	PORCH	4.82
UNIT A	STORE	4.58
UNIT A	UNIT A	152.82
UNIT B	ALFRESCO	6.98
UNIT B	CARPORT	25.44
UNIT B	CYARD	2.30
UNIT B	CYARD	2.63
UNIT B	CYARD	4.06
UNIT B	PORCH	6.01
UNIT B	STORE	7.07
UNIT B	UNIT B	214.62

INTERNAL DOOR NOTE:  
 INTERNAL DOORS HINGE SIDE TO BE OFFSET 100mm FROM WALL TO FRAME TO PROVIDE MIN 110 CLEARANCE.

WALL NOTE:  
 EXTERNAL WALLS: 230mm FB 1 WALLS UNLESS NOTED OTHERWISE  
 INTERNAL WALLS: 90mm BRICK WALLS INTERNAL  
 BATHROOMS SOLID MASONRY TO 1800H - REFER TO WALL SCHEDULE

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 General Notes  
 The Builder shall check all dimensions and levels on site prior to construction.  
 Notify any errors, discrepancies or omissions to Collective Design Agency.  
 Drawings shall not be used for construction purposes until issued for construction.  
 Do not scale drawings.  
 All boundaries and contours subject to survey.



**PROPOSED FLOOR PLAN**  
 Scale 1:100

Drawn | Checked  
 Plot Date: 2/11/2023  
 Project NO. 002158RS  
 Project Status PLANNING APPROVAL

Client PULSE PROPERTY SOLUTIONS  
 Site: 12 PARKWAY WARWICK WA

Climate Zone CLIMATE ZONE - 5

DRAWING TITLE :  
**PROPOSED GROUND FLOOR PLAN**

PROJECT NAME :  
**SDA NEW BUILD**

REVISION NO.  
**02 - 2/11/2023**

PLANNING APPROVAL

DRAWING NO.  
**A200**

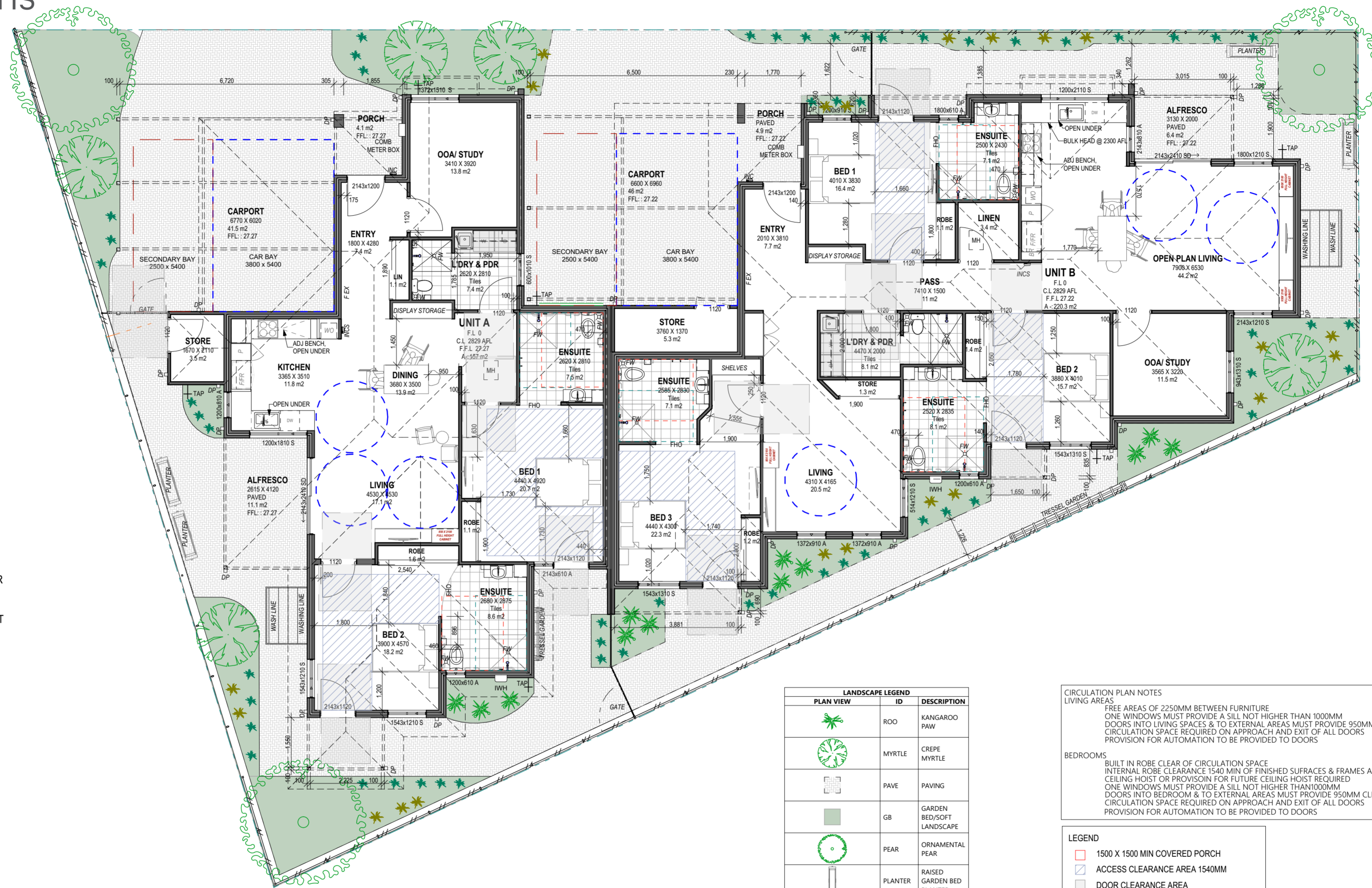
PAGE SIZE  
**A2**

AREAS BY ROOM		
UNIT	ROOM	AREA M <sup>2</sup>
UNIT A	LIN	1.13
UNIT A	ROBE	2.71
UNIT A	STORE	3.54
UNIT A	PORCH	4.08
UNIT A	L'DRY & PDR	15.45
UNIT A	ENTRY	7.38
UNIT A	ALFRESCO	11.10
UNIT A	KITCHEN	11.81
UNIT A	OOA/ STUDY	13.78
UNIT A	DINING	13.86
UNIT A	LIVING	17.11
UNIT A	BED 2	18.25
UNIT A	BED 1	20.65
UNIT A	CARPORT	41.46
UNIT A B1	ENSUITE	7.48
UNIT A B2	ENSUITE	8.59
UNIT A TOTAL	UNIT A	156.99
UNIT B	ROBE	3.66
UNIT B	STORE	6.60
UNIT B	LINEN	3.42
UNIT B	PORCH	4.92
UNIT B	ALFRESCO	6.37
UNIT B	ENTRY	7.66
UNIT B	PASS	10.98
UNIT B	OOA/ STUDY	11.48
UNIT B	BED 2	15.67
UNIT B	BED 1	16.45
UNIT B	LIVING	20.54
UNIT B	BED 3	22.26
UNIT B	OPEN PLAN LIVING	44.23
UNIT B	CARPORT	45.96
UNIT B B1	ENSUITE	7.06
UNIT B B2	ENSUITE	8.10
UNIT B B3	ENSUITE	7.09
UNIT B TOTAL	UNIT B	220.33

### FIRE/ COMPLIANCE NOTES

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**CIRCULATION & LANDSCAPE PLAN**  
Scale 1:100

LANDSCAPE LEGEND		
PLAN VIEW	ID	DESCRIPTION
	ROO	KANGAROO PAW
	MYR	CREPE MYRTLE
	PAVE	PAVING
	GB	GARDEN BED/SOFT LANDSCAPE
	PEAR	ORNAMENTAL PEAR
	PLAN	RAISED GARDEN BED PLANTER
	FLAX	BLUE LILY FLAX
	DIANELLA	DIANELLA STREETSCAPE

**LANDSCAPING LEGEND**  
LOT AREA - 757.92M<sup>2</sup>  
PAVING - 316.05M<sup>2</sup>  
LANDSCAPING - 99.71M<sup>2</sup>  
13.08% OF SITE COVERAGE

**CIRCULATION PLAN NOTES**  
LIVING AREAS  
FREE AREAS OF 2250MM BETWEEN FURNITURE  
ONE WINDOWS MUST PROVIDE A SILL NOT HIGHER THAN 1000MM  
DOORS INTO LIVING SPACES & TO EXTERNAL AREAS MUST PROVIDE 950MM CLEARANCE  
CIRCULATION SPACE REQUIRED ON APPROACH AND EXIT OF ALL DOORS  
PROVISION FOR AUTOMATION TO BE PROVIDED TO DOORS  
BEDROOMS  
BUILT IN ROBE CLEAR OF CIRCULATION SPACE  
INTERNAL ROBE CLEARANCE 1540 MIN OF FINISHED SURFACES & FRAMES AND ALONG ANY PATH OF TRAVEL  
CEILING HOIST OR PROVISION FOR FUTURE CEILING HOIST REQUIRED  
ONE WINDOWS MUST PROVIDE A SILL NOT HIGHER THAN 1000MM  
DOORS INTO BEDROOM & TO EXTERNAL AREAS MUST PROVIDE 950MM CLEARANCE  
CIRCULATION SPACE REQUIRED ON APPROACH AND EXIT OF ALL DOORS  
PROVISION FOR AUTOMATION TO BE PROVIDED TO DOORS

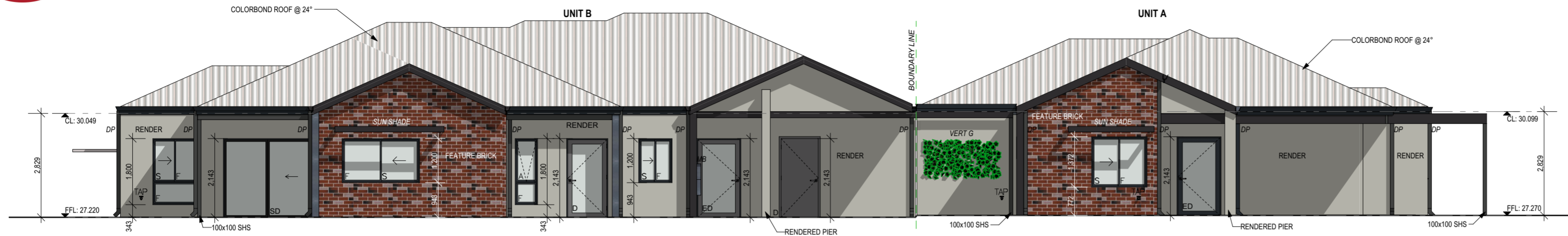
**LEGEND**

	1500 X 1500 MIN COVERED PORCH
	ACCESS CLEARANCE AREA 1540MM
	DOOR CLEARANCE AREA
	TURNING CIRCLE CLEARANCE AREA 2250MM
	TOILET CIRCULATION AREA 1900 X 2300MM
	SHOWER CIRCULATION SPACE

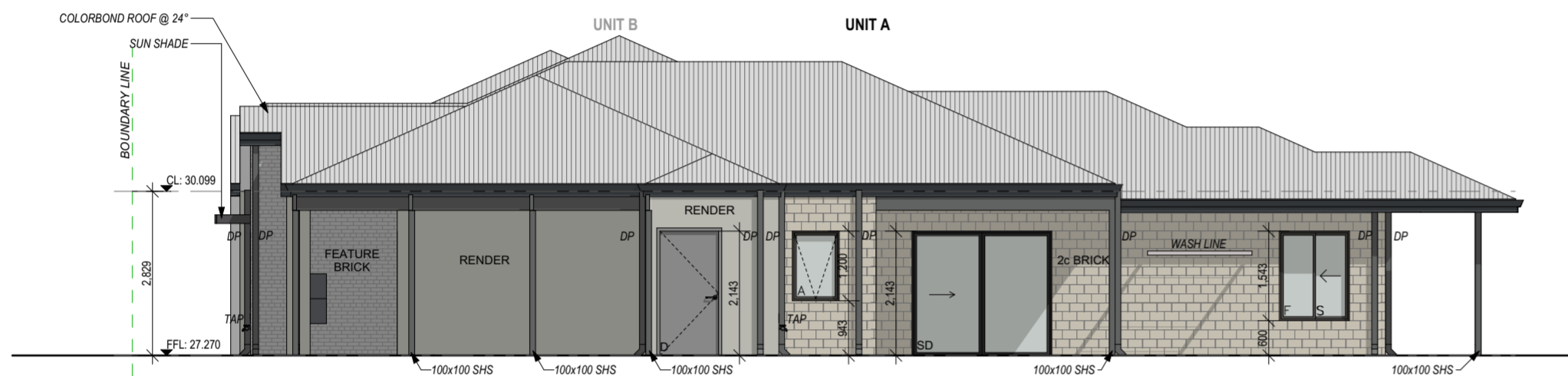
AREAS		
		AREA M <sup>2</sup>
	EXISTING LOT 67	758.03
SITE	LOT A	347.06
SITE	LOT B	410.86
UNIT A	ALFRESCO	12.38
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UNIT B	C'YARD	2.63
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UNIT B	STORE	7.07
UNIT B	UNIT B	214.62

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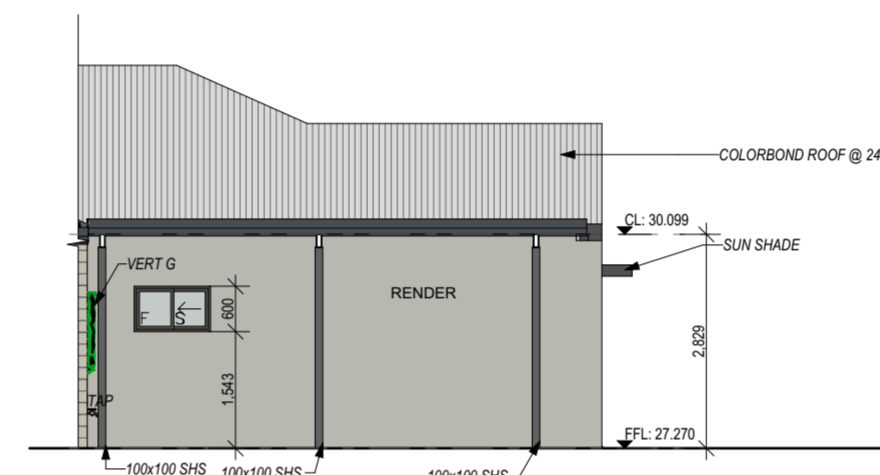
MATERIALS LEGEND	
SAMPLE	DESCRIPTION
	2c BRICKWORK - TBA
	COLORBOND - SHALE GREY
	FEATURE BRICK - TBA
	RENDER BRICKWORK - LIGHT COLOUR - TBA
	TRIM PAINT - TBA



**01**  
A200  
**NORTH ELEVATION**  
Scale 1:100



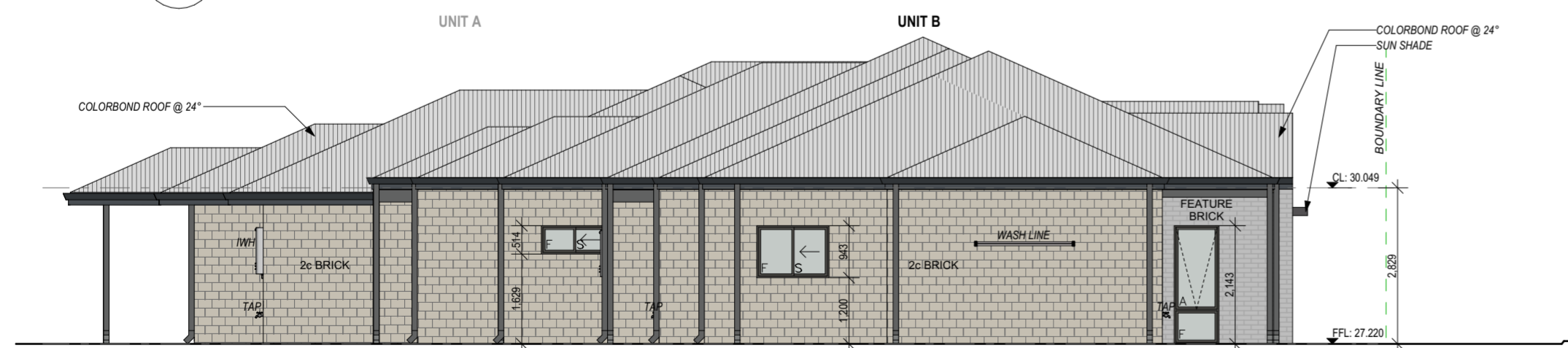
**02**  
A200  
**WEST ELEVATION**  
Scale 1:100



**05**  
A200  
**UNIT A EAST ELEVATION**  
Scale 1:100



**03**  
A200  
**SOUTH ELEVATION**  
Scale 1:100



**04**  
A200  
**EAST ELEVATION**  
Scale 1:100